



**AGENDA**  
**CITY COUNCIL REGULAR MEETING**  
**AUGUST 1, 2023 @ 6:00 PM**

Notice is hereby given the City Council for the City of Parker will meet on Tuesday, August 1, 2023 at 6:00 PM at the Parker City Hall, 5700 E. Parker Road, Parker, Texas, 75002. The City Council meeting will be open to the public and live streamed.

Pursuant to Texas Government Code § 551.127, notice is given that it is the intent of the City Council that a quorum of the Council will be physically present for the above-referenced meeting at Parker City Hall, 5700 E. Parker Road, Parker, Texas. Some council members or City employees may participate in this meeting remotely by means of video conference call in compliance with state law.

**CALL TO ORDER – Roll Call and Determination of a Quorum**

**EXECUTIVE SESSION START TO FINISH** – Pursuant to the provisions of Chapter 551, Texas Government Code the City Council may hold a closed meeting.

RECESS TO CLOSED EXECUTIVE SESSION IN ACCORDANCE WITH THE AUTHORITY CONTAINED IN:

Government Code Section 551.074 Personnel—To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee.

Government Code Section 551.071(1)—Consultation with City Attorney concerning Pending or Contemplated Litigation.

Government Code Section 551.071(2) – Consultation with Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter (Open Meetings Act).

RECONVENE REGULAR MEETING.

ANY APPROPRIATE DELIBERATION AND/OR ACTION ON ANY OF THE EXECUTIVE SESSION SUBJECTS LISTED ABOVE.

**PLEDGE OF ALLEGIANCE**

AMERICAN PLEDGE: I pledge allegiance to the flag of the United States of America; and to the republic for which it stands, one nation under God, indivisible with liberty and justice for all.

TEXAS PLEDGE: Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.

**PUBLIC COMMENTS** The City Council invites any person with business before the Council to speak to the Council. No formal action may be taken on these items at this meeting. Please keep comments to 3 minutes.

## ITEMS OF COMMUNITY INTEREST

- i. PARKS AND RECREATION COMMISSION (P&R) – WEDNESDAY, AUGUST 9, 2023, 5:00 PM
- SET PROPOSED TAX RATE - TUESDAY, AUGUST 15, 2023, 6:00 PM
- PUBLIC HEARING ON PROPOSED TAX RATE AND BUDGET – FINAL ACTION ON TAX RATE AND BUDGET, TUESDAY, SEPTEMBER 5, 2023, 6:00 PM

## PRESENTATIONS

- i. POLICE VEHICLES

**CONSENT AGENDA** Routine Council business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Councilmember or member of staff.

- 1. APPROVAL OF MEETING MINUTES FOR JULY 18, 2023. [CITY COUNCIL WORKSHOP – TEXAS OPEN MEETINGS ACT AND ETHICS OVERVIEW]
- 2. APPROVAL OF MEETING MINUTES FOR JULY 18, 2023. [REGULAR MEETING]

## INDIVIDUAL CONSIDERATION ITEMS

- 3. CONSIDERATION AND APPROPRIATE ACTION TO FILL A COUNCILMEMBER VACANCY THROUGH MAY 2024 BY EITHER SPECIAL ELECTION IN ACCORDANCE WITH TITLE 12, TEX. ELECTION CODE, § 201.054, OR BY COUNCIL APPOINTMENT AS AUTHORIZED BY TEX. LOC. GOV'T CODE § 22.010 FOR A TYPE A GENERAL LAW CITY WITH TWO YEAR TERMS AND ONE VACANCY; AND IF BY COUNCIL APPOINTMENT, APPOINTEE NOMINATIONS, IF ANY.
- 4. CONSIDERATION AND APPROPRIATE ACTION CONCERNING RESOLUTION NO. 2023-746 APPOINTING A COUNCILMEMBER TO SERVE EFFECTIVE AUGUST 1, 2023, THROUGH THE REGULARLY SCHEDULED ELECTION OF MAY 4, 2024, AND OATH OF OFFICE TO COUNCIL APPOINTEE, IF AN APPOINTMENT IS MADE.
- 5. CONSIDERATION OF AND/OR ANY APPROPRIATE ACTION ON PANORAMA STREET PRELIMINARY PLAT, SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10 CITY OF PARKER, COLLIN COUNTY, TEXAS. [MACHADO]
- 6. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2023-747 MAKING APPOINTMENTS TO THE ZONING BOARD OF ADJUSTMENT (ZBA).
- 7. AUTHORIZING STAFF AND ENGINEERING TO ADVERTISE AND PREPARE BID DOCUMENTS FOR THE 2024 STREET MAINTENANCE PROJECT.

## ROUTINE ITEMS

- 8. UPDATE(S):
  - FM2551
  - COMPREHENSIVE PLAN
  - CAPITAL IMPROVEMENTS PLAN
  - ANY ADDITIONAL UPDATES

## DONATION(S)

### 9. ACCEPTANCE OF DONATION(S) FOR POLICE, FIRE, AND CITY STAFF FOR THE RECORD (Each valued at between \$0 - \$500)

Maryam Boroujerdi donated 1 dozen mini Bundtins from Nothing Bundt Cakes valued at \$27.00 to City Staff.

## FUTURE AGENDA ITEMS

### 10. FUTURE AGENDA ITEMS

## ADJOURN

In addition to any specifically identified Executive Sessions, Council may convene into Executive Session at any point during the open meeting to discuss any item posted on this Agenda. The Open Meetings Act provides specific exceptions to the requirement that a meeting be open. Should Council elect to convene into Executive Session, those exceptions will be specifically identified and announced. Any subsequent action, as a result of this Executive Session, will be taken and recorded in open session.

I certify that this Notice of Meeting was posted on or before July 28, 2023, by 5:00 p.m. at the Parker City Hall, and required by Texas Open Meetings Act (TOMA) is also posted to the City of Parker Website at [www.parkertexas.us](http://www.parkertexas.us).

\_\_\_\_\_  
Date Notice Removed

\_\_\_\_\_  
Patti Scott Grey  
City Secretary

The Parker City Hall is Wheelchair accessible. Sign interpretations or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972 442 6811.



## Council Agenda Item

|                                  |                        |                   |
|----------------------------------|------------------------|-------------------|
| Budget Account Code:             | Meeting Date:          | See above.        |
| Budgeted Amount:                 | Department/ Requestor: | Council           |
| Fund Balance-before expenditure: | Prepared by:           | ACA/CS Scott Grey |
| Estimated Cost:                  | Date Prepared:         | July 24, 2023     |
| Exhibits:                        | <u>None</u>            |                   |

### AGENDA SUBJECT

PARKS AND RECREATION COMMISSION (P&R) – WEDNESDAY, AUGUST 9, 2023, 5:00 PM

SET PROPOSED TAX RATE - TUESDAY, AUGUST 15, 2023, 6:00 PM

PUBLIC HEARING ON PROPOSED TAX RATE AND BUDGET – FINAL ACTION ON TAX RATE  
AND BUDGET, TUESDAY, SEPTEMBER 5, 2023, 6:00 PM

### SUMMARY

Please review information provided.

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Patti Scott Grey</i> | Date: | 07/25/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |



## Council Agenda Item

|                                  |                        |   |
|----------------------------------|------------------------|---|
| Budget Account Code:             | Meeting Date:          | See above.  |
| Budgeted Amount:                 | Department/ Requestor: | Council   |
| Fund Balance-before expenditure: | Prepared by:           | ACA/CS Scott Grey for<br>City Administrator Olson |
| Estimated Cost:                  | Date Prepared:         | July 26, 2023                                     |
| Exhibits:                        | <b><u>Exhibits</u></b> |   |

### AGENDA SUBJECT

POLICE VEHICLES

### SUMMARY

Please review information provided.

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Kenneth Price</i>    | Date: | 07/26/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |

**Date** 06/22/2023  
**AE/AM** NH1/SNL

## Unit #

|             |      |             |           |              |                |
|-------------|------|-------------|-----------|--------------|----------------|
| <b>Year</b> | 2023 | <b>Make</b> | Chevrolet | <b>Model</b> | Silverado 1500 |
|-------------|------|-------------|-----------|--------------|----------------|

**Series** Work Truck 4x4 Crew Cab 5.75 ft. box 147.4 in. WB

**Vehicle Order Type** In-Stock **Term** 60 **State** TX **Customer#** 618708

|              |   |  |
|--------------|---|--|
| \$ 77,641.00 |   | Capitalized Price of Vehicle <sup>1</sup>                        |
| \$ 0.00      | * | License and Certain Other Charges <u>6.2500%</u> <b>State TX</b> |
| \$ 158.50    | * | Initial License Fee  |
| \$ 0.00      |   | Registration Fee   |
| \$ 0.00      |   | Other: Courtesy Delivery Fee                                     |
| \$ 12,240.50 | * | Capitalized Price Reduction                                      |
| \$ 0.00      | * | Tax on Capitalized Price Reduction                               |
| \$ 0.00      |   | Gain Applied From Prior Unit                                     |
| \$ 0.00      | * | Tax on Gain On Prior   |
| \$ 0.00      | * | Security Deposit   |
| \$ 0.00      | * | Tax on Incentive ( Taxable Incentive Total : \$0.00 )            |

**All language and acknowledgments contained in the signed quote apply to all vehicles that are ordered under this signed quote.**

## Order Information

|                        |                                   |
|------------------------|-----------------------------------|
| <b>Driver Name</b>     |                                   |
| <b>Exterior Color</b>  | (0 P) Black                       |
| <b>Interior Color</b>  | (0 I) Jet Black w/Cloth Seat Trim |
| <b>Lic. Plate Type</b> | Exempt                            |
| <b>GVWR</b>            | 0                                 |

|                    |   |
|--------------------|---|
| \$ 65,400.50       | Total Capitalized Amount (Delivered Price)                                      |
| \$ 1,013.71        | Depreciation Reserve @ <u>1.5500%</u>   |
| \$ 350.35          | Monthly Lease Charge (Based on Interest Rate - Subject to a Floor) <sup>2</sup> |
| <b>\$ 1,364.06</b> | <b>Total Monthly Rental Excluding Additional Services</b>                       |

### Additional Fleet Management

### Master Policy Enrollment Fees

\$ 0.00 Commercial Automobile Liability Enrollment  
Liability Limit \$0.00

|         |                            |
|---------|----------------------------|
| \$ 0.00 | Physical Damage Management |
|---------|----------------------------|

Comp/Coll Deductible 0 / 0

\$ 0.00 Full Maintenance Program <sup>3</sup> Contract Miles 0  
Incl: # Brake Sets (1 set = 1 Axle) 0

|                    |                    |
|--------------------|--------------------|
| OverMileage Charge | \$ 0.0550 Per Mile |
|--------------------|--------------------|

# Tires 0                      Loaner Vehicle Not Included

**\$ 0.00 Additional Services SubTotal**

|         |         |         |
|---------|---------|---------|
| \$ 0.00 | Use Tax | 0.0000% |
|---------|---------|---------|

**State .**

**\$ 1,364.06      Total Monthly Rental Including Additional Services**

\$ 4,577.90      Reduced Book Value at 60 Months

|           |   |
|-----------|---|
| \$ 395.00 | Service Charge Due at Lease Termination |
|-----------|---|

Quote based on estimated annual mileage of 15,000

(Current market and vehicle conditions may also affect value of vehicle)

(Quote is Subject to Customer's Credit Approval)

## Notes

Enterprise FM Trust will be the owner of the vehicle covered by this Quote. Enterprise FM Trust (not Enterprise Fleet Management) will be the Lessor of such vehicle under the Master Open - End (Equity) Lease Agreement and shall have all rights and obligations of the Lessor under the Master Open - End (Equity) Lease Agreement with respect to such vehicle. Lessee must maintain insurance coverage on the vehicle as set forth in Section 11 of the Master Open-End (Equity) Lease Agreement until the vehicle is sold.

**ALL TAX AND LICENSE FEES TO BE BILLED TO LESSEE AS THEY OCCUR.**

Lessee hereby authorizes this vehicle order, agrees to lease the vehicle on the terms set forth herein and in the Master Equity Lease Agreement and agrees that Lessor shall have the right to collect damages in the event Lessee fails or refuses to accept delivery of the ordered vehicle. Lessee certifies that it intends that more than 50% of the use of the vehicle is to be in a trade or business of the Lessee.

**LESSEE** City of Parker Texas

| BY | TITLE |
|----|-------|
|----|-------|

DATE \_\_\_\_\_

\* INDICATES ITEMS TO BE BILLED ON DELIVERY.

<sup>1</sup> Capitalized Price of Vehicle May be Adjusted to Reflect Final Manufacturer's Invoice. Lessee Hereby Assigns to Lessor any Manufacturer Rebates And/Or Manufacturer Incentives Intended for the Lessee, Which Rebates And/Or Incentives Have Been Used By Lessor to Reduce the Capitalized Price of the Vehicle.

<sup>2</sup> Monthly Lease Charge Will Be Adjusted to Reflect the Interest Rate on the Delivery Date (Subject to a Floor).

<sup>3</sup> The inclusion herein of references to maintenance fees/services are solely for the administrative convenience of Lessee. Notwithstanding the inclusion of such references in this [Invoice/Schedule/Quote], all such maintenance services are to be performed by Enterprise Fleet Management, Inc., and all such maintenance fees are payable by Lessee solely for the account of Enterprise Fleet Management, Inc., pursuant to that certain separate [Maintenance Agreement] entered into by and between Lessee and Enterprise Fleet Management, Inc.; provided that such maintenance fees are being billed by Enterprise FM Trust, and are payable at the direction of Enterprise FM Trust, solely as an authorized agent for collection on behalf of Enterprise Fleet Management, Inc.



Aftermarket Equipment Total

| Description                                 | (B)illed or (C)apped | Price        |
|---|----------------------|--------------|
| Custom Equipment - Cap Fleet Q# CAPQ-108461 | C                    | \$ 24,481.00 |
|   |                      |              |
| Total Aftermarket Equipment Billed          |                      | \$ 0.00      |
| Total Aftermarket Equipment Capitalized     |                      | \$ 24,481.00 |
| Aftermarket Equipment Total                 |                      | \$ 24,481.00 |

## VEHICLE INFORMATION:

2023 Chevrolet Silverado 1500 Work Truck 4x4 Crew Cab 5.75 ft. box 147.4 in. WB - US

Series ID: CK10543

## Pricing Summary:

|                    | INVOICE            | MSRP               |
|--------------------|--------------------|--------------------|
| Base Vehicle       | \$43,533.3         | \$45,300.00        |
| Total Options      | \$8,144.50         | \$8,700.00         |
| Destination Charge | \$1,895.00         | \$1,895.00         |
| <b>Total Price</b> | <b>\$53,572.80</b> | <b>\$55,895.00</b> |

## SELECTED COLOR:

Exterior: GBA-(0 P) Black  
Interior: H1T-(0 I) Jet Black w/Cloth Seat Trim

## SELECTED OPTIONS:

| CODE   | DESCRIPTION                                    | INVOICE    | MSRP       |
|--------|--|------------|------------|
| 1WT    | Preferred Equipment Group 1WT                  | NC         | NC         |
| 5J1    | Keyless Remote Panic Button Calibration        | Included   | Included   |
| 5J3    | Surveillance Mode Calibration                  | Included   | Included   |
| 5J9    | SEO: Red/White Taillamp Flasher Calibration    | Included   | Included   |
| 5LO    | SEO: Red/Red Taillamp Flasher Calibration      | Included   | Included   |
| 5T5    | SEO: 2nd Row Vinyl Seats w/Cloth Front (Fleet) | NC         | NC         |
| 6E2    | SEO: Fleet Common Keys 6E2                     | \$22.75    | \$25.00    |
| 6J7    | SEO: Flasher System                            | Included   | Included   |
| 9C1    | Police Pursuit Package                         | \$4,295.20 | \$4,720.00 |
| A68    | Rear 60/40 Folding Bench Seat (Folds Up)       | Included   | Included   |
| AED    | Power Front Windows w/Passenger Express Down   | Included   | Included   |
| AEQ    | Power Rear Windows w/Express Down              | Included   | Included   |
| AKO    | Deep-Tinted Glass                              | Included   | Included   |
| AKP    | Solar Absorbing Tinted Glass                   | Included   | Included   |
| AQQ    | Remote Keyless Entry                           | Included   | Included   |
| AXG    | Power Front Windows w/Driver Express Up/Down   | Included   | Included   |
| AZ3    | 40/20/40 Front Split-Bench Seat                | Included   | Included   |
| BG9    | Rubberized-Vinyl Floor Covering                | Included   | Included   |
| BLUE   | Bluetooth For Phone                            | Included   | Included   |
| C49    | Electric Rear-Window Defogger                  | Included   | Included   |
| C5Y    | GVWR: 7,100 lbs (3,221 kg)                     | Included   | Included   |
| CGN    | Chevytec Spray-On Black Bedliner               | \$495.95   | \$545.00   |
| CLOTH  | Cloth Seat Trim                                | NC         | NC         |
| CTT    | Hitch Guidance                                 | Included   | Included   |
| D31    | Inside Rearview Mirror w/Tilt                  | Included   | Included   |
| DA     | Dealer AD                                      | \$0.00     | \$-250.00  |
| DLF    | Heated Power-Adjustable Outside Mirrors        | Included   | Included   |
| FE9    | Federal Emissions Requirements                 | NC         | NC         |
| G80    | Auto-Locking Rear Differential                 | Included   | Included   |
| GBA_01 | (0 P) Black                                    | NC         | NC         |
| GU5    | 3.23 Rear Axle Ratio                           | Included   | Included   |
| H1T_01 | (0 I) Jet Black w/Cloth Seat Trim              | NC         | NC         |
| IOR    | Radio: Chevrolet Infotainment 3 System         | STD        | STD        |

| CODE   | DESCRIPTION                                       | INVOICE    | MSRP       |
|--------|---|------------|------------|
| J55    | 4-Wheel Disc Antilock Heavy-Duty Brakes           | Included   | Included   |
| JHD    | Hill Descent Control                              | Included   | Included   |
| K34    | Electronic Cruise Control                         | Included   | Included   |
| K47    | Heavy-Duty Air Filter                             | Included   | Included   |
| KC4    | External Engine Oil Cooler                        | Included   | Included   |
| KC9    | 120-Volt Bed Mounted Power Outlet                 | Included   | Included   |
| KI4    | 120-Volt Instrument Panel Power Outlet            | Included   | Included   |
| KL9DEL | Delete Automatic Stop/Start                       | Included   | Included   |
| KNP    | Auxiliary External Transmission Oil Cooler        | Included   | Included   |
| KW5    | 220 Amp Alternator                                | Included   | Included   |
| L84_   | Engine: 5.3L EcoTec3 V8 (Fleet)                   | \$1,451.45 | \$1,595.00 |
| MI2    | Transmission: Electronic 10-Speed Automatic (Flt) | Included   | Included   |
| N37    | Manual Tilt/Telescoping Steering Column (DISC)    | NC         | NC         |
| NP0    | Single-Speed Transfer Case                        | Included   | Included   |
| NQH    | 2-Speed Transfer Case                             | Included   | Included   |
| NZZ_   | Skid Plates                                       | Included   | Included   |
| PAINT  | Solid Paint                                       | STD        | STD        |
| PCV    | WT Convenience Package                            | Included   | Included   |
| PEB    | WT Value Package                                  | \$627.90   | \$690.00   |
| PED    | Chevy Safety Assist                               | Included   | Included   |
| PXT    | Wheels: 20" x 9" Black Painted Steel (Fleet)      | Included   | Included   |
| QAE    | Tires: 275/60R20SL AT BW (Fleet)                  | Included   | Included   |
| QK1    | Standard Tailgate                                 | Included   | Included   |
| QT5    | EZ Lift Power Lock & Release Tailgate             | \$136.50   | \$150.00   |
| R7N    | Not Equipped w/Steering Column Lock               | -\$45.50   | -\$50.00   |
| RFO    | Not Equipped w/Rear USB Ports                     | NA         | NA         |
| RMW    | 275/60R20 AT BW Spare Tire                        | Included   | Included   |
| RNQ    | 20" Steel Full Size Spare Wheel                   | Included   | Included   |
| TQ5    | IntelliBeam Automatic High Beam On/Off            | Included   | Included   |
| UDC    | 3.5" Monochromatic Display Driver Info Center     | Included   | Included   |
| UE4    | Following Distance Indicator                      | Included   | Included   |
| UEU    | Forward Collision Alert                           | Included   | Included   |
| UHX    | Lane Keep Assist w/Lane Departure Warning         | Included   | Included   |
| UHY    | Automatic Emergency Braking                       | Included   | Included   |
| UKJ    | Front Pedestrian Braking                          | Included   | Included   |
| UQF    | 6-Speaker Audio System                            | Included   | Included   |
| UTQ    | SEO: Content Theft Deterrent Disabled Alarm Horn  | \$68.25    | \$75.00    |
| UVB    | HD Rear Vision Camera                             | Included   | Included   |
| V76    | Front Frame-Mounted Black Recovery Hooks          | Included   | Included   |
| VH6    | Black (Semi-Gloss) Front Bumper                   | Included   | Included   |
| VJG    | Black (Semi-Gloss) Rear Bumper                    | Included   | Included   |
| VK3    | Front License Plate Kit                           | NC         | NC         |
| VZ2    | Speedometer Calibration                           | Included   | Included   |
| Z7X    | Suspension Package (Fleet)                        | \$1,092.00 | \$1,200.00 |
| Z82    | Trailer Package                                   | Included   | Included   |

## **CONFIGURED FEATURES:**

Meeting Date: 08/01/2023 Item i.

### Body Exterior Features:

Number Of Doors: 4  
Rear Cargo Door Type: tailgate  
Driver And Passenger Mirror: power remote heated manual folding side-view door mirrors  
Convex Driver Mirror: convex driver and passenger mirror  
Skid Plates: skid plates  
Door Handles: black  
Front And Rear Bumpers: black front and rear bumpers with black rub strip  
Rear Step Bumper: rear step bumper  
Front Tow Hooks: 2 front tow hooks  
Front License Plate Bracket: front license plate bracket  
Bed Liner: bed liner  
Box Style: regular  
Body Material: galvanized steel/aluminum body material  
: class IV trailering with harness, hitch  
Grille: black grille

### Convenience Features:

Air Conditioning: manual air conditioning  
Console Ducts: console ducts  
Cruise Control: cruise control with steering wheel controls  
Power Windows: power windows with front and rear 1-touch down  
Remote Keyless Entry: keyfob (all doors) remote keyless entry  
Illuminated Entry: illuminated entry  
Integrated Key Remote: integrated key/remote  
Auto Locking: auto-locking doors  
Passive Entry: proximity key  
Trunk FOB Controls: keyfob trunk/hatch/door release  
Steering Wheel: steering wheel with manual tilting, manual telescoping  
Day-Night Rearview Mirror: day-night rearview mirror  
Front Cupholder: front cupholder  
Overhead Console: mini overhead console with storage  
Glove Box: locking glove box  
Driver Door Bin: driver and passenger door bins  
Rear Door Bins: rear door bins  
Seatback Storage Pockets: 2 seatback storage pockets  
Dashboard Storage: dashboard storage  
IP Storage: covered bin instrument-panel storage  
Front Underseat Storage Tray: locking front underseat storage tray  
Driver Footrest: driver's footrest  
Retained Accessory Power: retained accessory power  
Power Accessory Outlet: 1 12V DC power outlet  
AC Power Outlet: 2 120V AC power outlet

### Entertainment Features:

radio: AM/FM stereo with seek-scan  
Radio Data System: radio data system  
Speakers: 6 speakers  
1st Row LCD: 1 1st row LCD monitor  
Wireless Connectivity: wireless phone connectivity  
Antenna: fixed antenna

### Lighting, Visibility and Instrumentation Features:

Headlamp Type: delay-off aero-composite halogen headlamps  
Auto-Dimming Headlights: IntelliBeam auto high-beam headlights  
Cab Clearance Lights: cargo bed light  
Front Wipers: variable intermittent wipers  
Rear Window Defroster: rear window defroster  
Tinted Windows: deep-tinted windows

Dome Light: dome light with fade  
 Front Reading Lights: front and rear reading lights  
 Variable IP Lighting: variable instrument panel lighting  
 Display Type: analog appearance  
 Tachometer: tachometer  
 Voltmeter: voltmeter  
 Exterior Temp: outside-temperature display  
 Low Tire Pressure Warning: tire specific low-tire-pressure warning  
 Trip Computer: trip computer  
 Trip Odometer: trip odometer  
 Lane Departure Warning: lane departure  
 Front Pedestrian Braking: front pedestrian detection  
 Following Distance Indicator: following distance alert  
 Forward Collision Alert: forward collision  
 Oil Pressure Gauge: oil pressure gauge  
 Water Temp Gauge: water temp. gauge  
 Engine Hour Meter: engine hour meter  
 Clock: in-radio display clock  
 Systems Monitor: driver information centre  
 Check Control: redundant digital speedometer  
 Rear Vision Camera: rear vision camera  
 Oil Pressure Warning: oil-pressure warning  
 Water Temp Warning: water-temp. warning  
 Battery Warning: battery warning  
 Low Oil Level Warning: low-oil-level warning  
 Low Coolant Warning: low-coolant warning  
 Lights On Warning: lights-on warning  
 Key in Ignition Warning: key-in-ignition warning  
 Low Fuel Warning: low-fuel warning  
 Low Washer Fluid Warning: low-washer-fluid warning  
 Door Ajar Warning: door-ajar warning  
 Brake Fluid Warning: brake-fluid warning  
 Turn Signal On Warning: turn-signal-on warning  
 Transmission Fluid Temperature Warning: transmission-fluid-temperature warning  
 Brake Pad Wear: brake pad wear

#### Safety And Security:

ABS four-wheel ABS brakes  
 Number of ABS Channels: 4 ABS channels  
 Brake Assistance: brake assist  
 Brake Type: four-wheel disc brakes  
 Vented Disc Brakes: front and rear ventilated disc brakes  
 Daytime Running Lights: daytime running lights  
 Spare Tire Type: full-size spare tire  
 Spare Tire Mount: underbody mounted spare tire w/crankdown  
 Driver Front Impact Airbag: driver and passenger front-impact airbags  
 Driver Side Airbag: seat-mounted driver and passenger side-impact airbags  
 Overhead Airbag: curtain 1st and 2nd row overhead airbag  
 Occupancy Sensor: front passenger airbag occupancy sensor  
 Seatbelt Pretensioners: front seatbelt pre-tensioners  
 3Point Rear Centre Seatbelt: 3 point rear centre seatbelt  
 Side Impact Bars: side-impact bars  
 Perimeter Under Vehicle Lights: remote activated perimeter/approach lights  
 Tailgate/Rear Door Lock Type: tailgate/rear door lock included with power door locks  
 Rear Child Safety Locks: rear child safety locks  
 Ignition Disable: immobilizer  
 Panic Alarm: panic alarm  
 Electronic Stability: StabiliTrak w/Proactive Roll Avoidance electronic stability stability control with anti-roll  
 Traction Control: ABS and driveline traction control  
 Front and Rear Headrests: manual adjustable front head restraints

Rear Headrest Control: 2 rear head restraints

Meeting Date: 08/01/2023 Item i.

Seats And Trim:

Seating Capacity max. seating capacity of 6

Front Bucket Seats: front split-bench 40-20-40 seats

Number of Driver Seat Adjustments: 4-way driver and passenger seat adjustments

Reclining Driver Seat: manual reclining driver and passenger seats

Driver Fore/Aft: manual driver and passenger fore/aft adjustment

Front Centre Armrest Storage: front centre armrest with storage

Rear Seat Type: rear 60-40 split-bench seat

Rear Folding Position: rear seat fold-up cushion

Leather Upholstery: cloth front and rear seat upholstery

Door Trim Insert: vinyl door panel trim

Headliner Material: full cloth headliner

Floor Covering: full vinyl/rubber floor covering

Cabback Insulator: cabback insulator

Dashboard Console Insert, Door Panel Insert Combination: metal-look instrument panel insert, door panel insert, console insert

Shift Knob Trim: urethane shift knob

Interior Accents: chrome interior accents

Standard Engine:

Engine 355-hp, 5.3-liter V-8 (regular gas)

Standard Transmission:

Transmission 10-speed automatic w/ OD and auto-manual



## Vehicle Quote

Quote No.: DL 220834  
Exp. Date: 07-19-2023

Prepared for: Parker Police Department  
Parker Texas  
Kenneth Price  
kprice@parkertexas.us

| NAME                                 | PRICE       | QTY | SUBTOTAL    |
|--------------------------------------|-------------|-----|-------------|
| 2023 Silverado 1500 PPV              | \$51,000.00 | 1   | \$51,000.00 |
| MY2023 Bailment Stock   Color: Black |             |     |             |



|                     |             |   |                    |
|---------------------|-------------|---|--------------------|
| Upfit Equipment     | \$24,481.00 | 1 | \$24,481.00        |
| CAPQ108461          |             |   |                    |
| Floor Plan Interest | \$1,200.00  | 1 | \$1,200.00         |
| Delivery            | \$500.00    | 1 | \$500.00           |
| COOP Fee            | \$400.00    | 1 | \$400.00           |
|                     |             |   | <b>\$77,581.00</b> |
| Buy Board 601-19    |             |   |                    |
| Discount            |             |   | <b>\$0.00</b>      |
| Tax                 |             |   | <b>\$0.00</b>      |
| <b>Total</b>        |             |   | <b>\$77,581.00</b> |

**\*\*PRICES/QUOTES ARE VALID FOR THIRTY (30) DAYS DUE TO SUPPLY CHAIN CONSTRAINTS. REVERIFY PRICING BEFORE ISSUING A PURCHASE ORDER. COMMODITY SURCHARGES MAY APPLY AFTER A PURCHASE ORDER IS ISSUED\*\***



# Quote

Date **6/19/2023**  
Quote # **CAPQ-108461**



Meeting Date: 08/01/2023 Item i.

## CAP FLEET

2603 Taylors Valley Road  
Belton, TX 76513  
Office 254-773-1959

**Name / Address**  
CITY OF PARKER

**Ship To:**  
CITY OF PARKER  
Kenneth Price  
5700 East Parker Road, Parker, Texas 75002

|                      |                |
|----------------------|----------------|
| <b>Salesperson:</b>  | Carlo Di Ganci |
| <b>Email:</b>        |                |
| <b>Contact Name:</b> |                |

|               |               |
|---------------|---------------|
| <b>Year:</b>  | 2023          |
| <b>Make:</b>  | Chevrolet     |
| <b>Model:</b> | SILVERADO PPV |

Job Description: 2023 SILVERADO BAILMENT FOR EFLEET

## Quote Summary

|                      |             |
|----------------------|-------------|
| Per Vehicle Subtotal | \$24,481.00 |
| Per Vehicle Tax      | \$0.00      |
| Per Vehicle Total    | \$24,481.00 |

|                   |   |
|-------------------|---|
| # Vehicles Quoted | 1 |
|-------------------|---|

**Grand Total                      \$24,481.00**

**\*\*PRICES ARE VALID FOR 30 DAYS BUT ARE SUBJECT TO CHANGE DUE TO SUPPLY CHAIN CHALLENGES.  
REVERIFY PRICING BEFORE ISSUING A PURCHASE ORDER. COMMODITY SURCHARGES MAY APPLY AFTER PO IS ISSUED.  
ALL CANCELLED ORDERS ARE SUBJECT TO A 20% RESTOCKING FEE\*\***

I hereby authorize the install work therein set forth to be done by CAP Fleet Upfitters, together with the furnishing by CAP Fleet Upfitters of the necessary parts and other material for such install and agree that CAP Fleet Upfitters is not responsible for any delays caused by unavailability or delayed availability of parts or material for any reason; that CAP Fleet Upfitters neither assumes or authorizes any other person to assume for CAP Fleet Upfitters any liability in connection with such install; that CAP Fleet Upfitters shall not be responsible for loss or damage to the above vehicle, or articles left therein; in case of fire, theft, any Act of God, or other cause beyond CAP Fleet Upfitters control; that CAP Fleet Upfitters employees may operate the above vehicle on streets, highways, or elsewhere for the purpose of testing and/or inspecting such vehicle.

[WWW.CAPFLEET.COM](http://WWW.CAPFLEET.COM)

**QUOTES ARE GOOD FOR 30 DAYS.**

**PLEASE SIGN BELOW IF ALL ITEMS & QUANTITIES ARE APPROVED.**

X\_\_\_\_\_ Date:    /    /

# Quote

Date **6/19/2023**  
Quote # **CAPQ-108461**



## CAP FLEET

2603 Taylors Valley Road  
Belton, TX 76513  
Office 254-773-1959

Meeting Date: 08/01/2023 Item i.

| QTY                | Part #          | Part Details  |
|--------------------|-----------------|---|
| 1                  |                 | Notes: : "FRONT WARNING" BUTTON ON CCTL7 TO BE PRESS ON/OFF WITH RELEASE.<br>HAVE THIS TO ONLY FLASH THE INNER CHANNEL R/B LIGHTS ALONG WITH INNER LIGHTS OF FST. DO NOT TIE TO CAMERA TRIGGER. |
| 1                  |                 | Notes: MOUNT CUSTOMER SUPPLIED PRINTER ON PARTITION   |
| <b>CONSOLE/MDT</b> |                 |   |
| 1                  | C-VSW-2600-SILV | 12.5" WIDE FLAT 26" VEHICLE-SPECIFIC CONSOLE FOR 2019-2023 CHEVROLET SILVERADO AND GMC SIERRA   |
| 2                  | C-MCB           | MIC CLIP BRACKET  |
| 2                  | MMBP            | MAGNETIC MIC KIT  |
| 1                  | C-EB40-CCS-1P   | 1-PIECE EQUIPMENT MOUNTING BRACKET; 4" MOUNTING SPACE; FITS WHELEN CENCOM CCSRN; CCSRNTA; MPC03<br>Location/Order : Console 1 / 5   |
| 1                  | C-LP2-USB-BL2   | CONSOLE ACCESSORY BRACKET WITH 2 LIGHTER PLUG OUTLETS; 1 USB-C & USB TYPE A DUAL PORT CHARGER AND 2 BLANKS FOR RECTANGULAR ACCESSORIES<br>Location/Order : Console 1 / 2                        |
| 1                  | C-EB25-XTL-1P   | 1-PIECE EQUIPMENT MOUNTING BRACKET; 2.5" MOUNTING SPACE; FITS MOTOROLA XTL2500; XTL5000-05; APX7500<br>Location/Order : Console 1 / 3   |
| 1                  | C-HDM-214       | 8.5" HEAVY-DUTY TELESCOPING POLE; SIDE MOUNT  |
| 1                  | C-MD-119        | 11" SLIDE OUT LOCKING SWING ARM WITH LOW PROFILE MOTION DEVICE ADAPTER  |
| 1                  | C-AP-0625-1     | 6" ACCESSORY POCKET 2.5" DEEP<br>Location/Order : Console 1 / 7   |
| 1                  | C-FP-15         | 1-1/2" FILLER PLATE<br>Location/Order : Console 1 / 4   |
| 1                  | C-FP-4          | 4" FILLER PLATE<br>Location/Order : Console 1 / 6   |
| 1                  | C-EB20-WGD-1P   | 1-PIECE EQUIPMENT MOUNTING BRACKET; 2" MOUNTING SPACE FITS MOTOROLA WATCHGUARD 4RE DVR<br>Location/Order : Console 1 / 1  |
| 1                  | CUP2-1001       | SELF-ADJUSTING DOUBLE CUP HOLDER<br>Location/Order : Console 1 / 8  |
| 1                  | C-APW-0744      | 7" ACCESSORY POCKET; 4.4" DEEP FOR 3.3"W SECTION OF WIDE CONSOLE<br>Location/Order : Console 2 / 4  |
| 1                  | C-W-USB2-1      | CONSOLE ACCESSORY BRACKET KIT WITH 2 USB-C & USB TYPE A DUAL PORT CHARGERS FOR 3.3" SECTION OF VSW CONSOLES<br>Location/Order : Console 2 / 1   |
| 2                  | C-FPW-5         | 5" FILLER PLATE FOR WIDE VSW CONSOLES<br>Location/Order : Console 2 / 2+3   |
| <b>ELECTRONICS</b> |                 |   |

# Quote

Date **6/19/2023**  
Quote # **CAPQ-108461**



## CAP FLEET

2603 Taylors Valley Road  
Belton, TX 76513  
Office 254-773-1959

Meeting Date: 08/01/2023 Item i.

| QTY                       | Part #               | Part Details   |
|---------------------------|----------------------|--|
| 1                         | HKN4192C             | MOTOROLA 20FT 12V POWER CABLE TO BATTERY   |
| 1                         | HLN6863B             | ACCESSORY CONNECTOR XTL5000  |
| 1                         | HAG4000              | GPS ROOF MOUNT ANTENNA   |
| 1                         | 338265               | 3/4 IN MOUNT 25 FT RG58/U MINI-UHF LOOSE   |
| 1                         | HKN6170B             | CABLE REMOTE MOUNT 10FT  |
| <b>EMERGENCY LIGHTING</b> |                      |  |
| 1                         | IED49CORE-DE         | INNER EDGE DUO - 2019-2021 SILVERADO (DRIVER SIDE RED/WHITE; PASSENGER SIDE BLUE/WHITE) C399 CORE SIREN; C399K*; SA315U SPEAKER; SAK*  |
| 1                         | SA315U               | SA315U SPEAKER BLACK PLASTIC<br>Mounting Location : PB - FRONT CENTER  |
| 1                         | BSFW49X-BSSP2XJW     | I-E FST WCX S/D 12LT SILVERADO; 6/6 DUO D/E LTHD D/P PROMO PKG   |
| 1                         | C399                 | CENCOM CORE WCX CONTROL CENTER   |
| 1                         | CCTL7                | WECANX 21 BUTTON/SLIDE CTRL HD   |
| 2                         | CEM16                | WECANX 16 OUTPUT EXPANSION MOD<br>Notes: TWO FOR FRONT + REAR LIGHTING; WIRE RUNNING BOARD LIGHTS TO CORE  |
| 1                         | SAK1                 | SA-315 MOUNT KIT UNIVERSAL<br>Mounting Location : PB - FRONT CENTER<br>Notes: MOUNT IN CENTER OF PUSH BUMPER   |
| 1                         | BSRW8/ISR49-BSSP28JA | INNER EDGE RST WCX 8-LT TRAY; INNER EDGE RST MT SILVERADO; 4/4 DUO K/M LTHD D/P PROMO PKG  |
| 1                         | CV2V                 | VEHICLE-TO-VEHICLE SYNC MODULE   |
| 1                         | SWITCH               | LIGHTED ROCKER SWITCH<br>Mounting Location : C3 - CONSOLE - FRONT<br>Notes: KILL SWITCH FOR ALL EQUIPMENT.<br>MOUNT FRONT LEFT OF CONSOLE ON THE SIDE. PLACE NEXT TO HAVIS STICKER IF POSSIBLE |
| 1                         | SWITCH               | LIGHTED ROCKER SWITCH<br>Mounting Location : C3 - CONSOLE - FRONT<br>Notes: WIRE TO DOME LIGHT.<br>MOUNT IN "C-LP2-USB-BL2"  |
| 1                         | 3SRCCDCR             | 3" ROUND SPLIT RED/WHT COMPART<br>Mounting Location : O - OTHER - SEE NOTES<br>Notes: MOUNT ABOVE CONSOLE  |
| 1                         | M4DJ                 | M4 DUO LED FLASHER RED/BLUE<br>Wiring Instructions : WIRE DUO<br>Mounting Location : F1 - FOGLIGHT - DS<br>Notes: MOUNT IN FACTORY FOG LIGHT SHROUD  |
| 1                         | M4DJ                 | M4 DUO LED FLASHER RED/BLUE<br>Wiring Instructions : WIRE DUO<br>Mounting Location : F2 - FOGLIGHT - PS<br>Notes: MOUNT IN FACTORY FOG LIGHT SHROUD  |
| 6                         | TLI3JC               | ION T-SERIES LINEAR TRIO R/B/W<br>Wiring Instructions : WIRE TRIO W/ OVERRIDE<br>Mounting Location : RB1 - RUNNING BOARDS<br>Notes: ON SCENE; CUT LIGHTS OFF WHEN SAME SIDE DOOR OPENS         |
| 6                         | TIONWEDG             | MOUNTING WEDGES ION-T-SERIES   |

# Quote

Date **6/19/2023**  
Quote # **CAPQ-108461**



## CAP FLEET

2603 Taylors Valley Road  
Belton, TX 76513  
Office 254-773-1959

Meeting Date: 08/01/2023 Item i.

| QTY                                 | Part #          | Part Details   |
|-------------------------------------|-----------------|--|
|                                     |                 | Mounting Location : RB1 - RUNNING BOARDS   |
| 4                                   | TLI3JC          | ION T-SERIES LINEAR TRIO R/B/W<br>Wiring Instructions : WIRE TRIO W/ BRAKE<br>Mounting Location : T1 - UNDER TAILGATE<br>Notes: MOUNT IN BETWEEN BUMPER AND TAILGATE/<br>RED ON BRAKE/NO WHITE ON REVERSE  |
| 2                                   | I3JC            | TRIO ION R/B W/ WHT OVERRIDE<br>Wiring Instructions : WIRE TRIO W/ BRAKE ; WIRE TRIO W/ OVERRIDE<br>Mounting Location : LP2 - HORIZONTAL ON BRACKET<br>Notes: RED ON BRAKE/WHITE ON REVERSE  |
| 1                                   | IONBKT1         | ION LICENSE PLATE BKT HORIZ.   |
| 2                                   | ENT2B3J         | INTERSECTOR UNDER MIRROR MOUNT LIGHT, 9-32 VDC, W/4-WEDGES, MOUNTING<br>GASKET & HARDWARE, 16 LEDS, DUAL COLOR - RED/BLUE<br>Wiring Instructions : WIRE AS MIRROR BEAMS ; WIRE DUO<br>Mounting Location : MIR2 - UNDER MIRROR<br>Notes: WIRE AS MIRROR BEAMS |
| 2                                   | PNT1CRV01       | REPLACEMENT CURVED SURFACE ADAPTORS FOR INTERSECTOR - 1-DRIVER & 1-<br>PASSENGER W/MOUNTING HARDWARE - UNIVERSAL<br>Mounting Location : MIR2 - UNDER MIRROR  |
| 4                                   | I3JC            | TRIO ION R/B W/ WHT OVERRIDE<br>Wiring Instructions : WIRE TRIO W/ OVERRIDE<br>Mounting Location : LC - PB LIGHT CHANNEL<br>Notes: WHITE ON TAKEDOWN   |
| 1                                   | I3JC            | TRIO ION R/B W/ WHT OVERRIDE<br>Wiring Instructions : WIRE TRIO W/ OVERRIDE<br>Mounting Location : PB145 - DS SIDE 45<br>Notes: WHITE ALLEY  |
| 1                                   | I3JC            | TRIO ION R/B W/ WHT OVERRIDE<br>Wiring Instructions : WIRE TRIO W/ OVERRIDE<br>Mounting Location : PB245 - PS SIDE 45<br>Notes: WHITE ALLEY  |
| 1                                   | SSFPOS          | SOLID STATE HEADLIGHT FLASHER  |
| 1                                   | SSF5150D        | SOLID STATE BRAKE LT. FLASHER  |
| <b>EXTERIOR</b>                     |                 |  |
| 1                                   | 218036-0002-CAP | LED 6" SPOTLIGHT BLACK LH W/8938 INSTALLATION KIT  |
| 1                                   | 56-14135        | HDX DROP NERF STEP BARS; CHEVROLET/GMC SILVERADO/SIERRA 1500 CREW CAB<br>2019-2023 (EXCL 2019 SILVERADO LD/SIERRA 1500 LIMITED); SILVERADO/SIERRA<br>2500/3500 CREW CAB 2020-2023  |
| 1                                   | 5177-F          | LR SERIES PUSH BUMPER; LIGHT READY PUSH BUMPER FRAME (MASK NOT INCLUDED -<br>REQUIRES A 2-LIGHT MASK PLATE OR A 4-LIGHT MASK PLATE OR A BLANK MASK); STEEL;<br>SEMI-GLOSS BLACK; 23 CHEVY SILVERADO 1500 SSV   |
| 1                                   | 4L61-M1B        | LR MASK; 4-LIGHT MASK PLATE (WHELEN ION); STEEL; SEMI-GLOSS BLACK; UNIVERSAL   |
| <b>OTHER</b>                        |                 |  |
| 1                                   | EFM             | ENTERPRISE FLEET LEASING DEAL  |
| 1                                   | HSL54208        | 19-C SILVERADO/SIERRA 1500 CREW X-ACT CONTOUR SERIES BLACK FRONT & 2ND ROW<br>FLOOR LINERS   |
| <b>PRISONER TRANSPORT EQUIPMENT</b> |                 |  |
| 1                                   | PRPSP5412SIL19A | 1/2 POLY 1/2 EXPANDED METAL WINDOW PARTITION - SPACE SAVER - INCLUDES:   |

# Quote

Date **6/19/2023**  
Quote # **CAPQ-108461**



## CAP FLEET

2603 Taylors Valley Road  
Belton, TX 76513  
Office 254-773-1959

Meeting Date: 08/01/2023 Item i.

| QTY            | Part #     | Part Details   |
|----------------|------------|--|
| 1              | DP54SIL19  | RECESSED PANEL AND LOWER EXTENSION PANELS; CHEVY SILVERADO SSV 2019-2021<br>PAIR; BLACK ABS; REAR DOOR PANELS (FOR USE WITH WB54SIL19 ONLY); REAR DOOR PANELS; CHEVY SILVERADO SSV 2019-2021 |
| 1              | WB54SIL19  | PAIR; STEEL WINDOW BARS (FOR USE WITH DP54SIL19 ABS REAR DOOR PANELS ONLY); REAR WINDOW BARS; CHEVY SILVERADO SSV 2019-2021  |
| 1              | GVPMD-H    | VERTICAL PARTITION MOUNT DUAL WEAPON TRI-LOCK GUN RACK W/HANDCUFF KEY;<br>GUN RACK - TRI-LOCK VERTICAL PARTITION MOUNT<br>Wiring Instructions : WIRE GUNLOCK TO SMART SIREN                  |
| <b>STORAGE</b> |            |  |
| 1              | DG6        | GM SIERRA OR SILVERADO 1500 (2019-CURRENT) - NEW "WIDE" BED WIDTH  |
| 1              | UNDAX12022 | 19-C SILVERADO/SIERRA 1500(EXCL CARBON PRO)5.8FT CREW/EXT ARMORFLEX  |

| QTY | Part #         | Description   |
|-----|----------------|---|
| 1   | LABOR          | LABOR   |
| 1   | SHOP SUPPLIES  | SHOP SUPPLIES   |
| 1   | WIRING HARNESS | WIRING HARNESS  |
| 1   | SHIPPING       | SHIPPING  |
| 1   | DEALER         | DEALER PREP   |
| 1   | PDKIT          | POWER DISTRIBUTION KIT  |
| 1   | DISPOSAL       | DISPOSAL FEE (FOR OEM PARTS NOT PICKED UP ON DELIVERY)                  |
| 1   | PROGFEE        | PROGRAMMING FEE   |
| 1   | INSPECT        | ALL CAP FLEET INSPECTIONS COME WITH AN AGENCY LIMITED LIFETIME WARRANTY |

| QTY | Make             | Model                           | Used                     |
|-----|------------------|---------------------------------|--------------------------|
| 1   | WatchGuard Video | TBD                             | <input type="checkbox"/> |
| 1   | Misc             | PHONE MOUNT                     | <input type="checkbox"/> |
| 1   | Brother          | TBD                             | <input type="checkbox"/> |
| 1   | Panasonic        | TOUGHBOOK CF 31 DOCKING STATION | <input type="checkbox"/> |
| 1   | Cradlepoint      | TBD                             | <input type="checkbox"/> |
| 1   | Stalker          | Dual                            | <input type="checkbox"/> |
| 1   | Motorola         | APX 6500                        | <input type="checkbox"/> |



## Council Agenda Item

|                                  |                                       |
|----------------------------------|---------------------------------------|
| Budget Account Code:             | Meeting Date: See above.              |
| Budgeted Amount:                 | Department/ Requestor: City Secretary |
| Fund Balance-before expenditure: | Prepared by: ACA/CS Scott Grey        |
| Estimated Cost:                  | Date Prepared: July 24, 2023          |
| Exhibits:                        | <a href="#">Proposed Minutes</a>      |

### AGENDA SUBJECT

APPROVAL OF MEETING MINUTES FOR JULY 18, 2023. [CITY COUNCIL WORKSHOP – TEXAS OPEN MEETINGS ACT AND ETHICS OVERVIEW]

### SUMMARY

Please review the attached minutes. If you have any questions, comments, and/or corrections, please contact the City Secretary at [PGrey@parkertexas.us](mailto:PGrey@parkertexas.us) prior to the City Council meeting.

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Patti Scott Grey</i> | Date: | 07/27/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |



**MINUTES  
CITY COUNCIL WORKSHOP MEETING  
JULY 18, 2023**

**CALL TO ORDER – Roll Call and Determination of a Quorum**

The Parker City Council met in a meeting on the above date at Parker City Hall, 5700 E. Parker Road, Parker, Texas, 75002.

Mayor Lee Pettie called the workshop to order at 5:30 p.m. Mayor Pro Tem Michael Slaughter and Councilmembers Todd Fecht, Terry Lynch, Amanda Noe and Jim Reed were present.

Staff Present: City Administrator Luke Olson and City Attorney Amy J. Stanphill

**INDIVIDUAL CONSIDERATION ITEMS**

**TEXAS OPEN MEETINGS ACT AND ETHICS OVERVIEW**

City Attorney Stanphill reviewed the **TEXAS OPEN MEETINGS ACT AND ETHICS OVERVIEW** PowerPoint. *[See Exhibit 1 – “TEXAS OPEN MEETINGS ACT AND ETHICS OVERVIEW PowerPoint”, dated July 18, 2023.]*

Discussion and questions followed.

**ADJOURN**

Mayor Lee Pettie adjourned the meeting at 5:49 p.m.

APPROVED:

\_\_\_\_\_  
Mayor Lee Pettie

ATTESTED:

Approved on the   1st   day  
of   August  , 2023.

\_\_\_\_\_  
Patti Scott Grey, City Secretary

# TOMA and Ethics Overview

JULY 18, 2023

Exhibit 1

# Outline

- Texas Open Meetings Act
  - General Application
  - Quorum Rules
- Ethics
  - Conflict of Interest/Recusal
  - Gifting issues



# Texas Open Meetings Act

TEXAS GOVERNMENT CODE CHAPTER 551

# TOMA - General Requirements

- ▶ All regular, special, and called meetings of a governmental body shall be open to the public, except as provided by the Act.
- ▶ Elements:
  - ▶ (1) Governmental Body; and
  - ▶ (2) that body is meeting.

# TOMA – “Meeting”

- ▶ A “meeting” requires:
  - ▶ A gathering of a quorum of the governmental body; and either:
    - ▶ Deliberation about the governmental body’s public business or formal action taken by the governmental body; or
    - ▶ An opportunity provided by the governmental body for members to ask about, speak about, or listen to information relating to public business.
- ▶ A gathering of a quorum at a social event, convention, workshop, ceremonial event, or press conference is NOT a meeting provided:
  - ▶ No formal action is taken
  - ▶ Any discussion of public business is incidental to the authorized event.
    - ▶ Where City staff has prior knowledge of one of these events, a notice of potential quorum will still be posted.

# TOMA – Quorum Requirements

- ▶ Governmental Body meets through a quorum. For a Type A General Law City, the following provisions of the Texas Local Government Code apply:
  - ▶ Section 22.039: “A majority of the number of aldermen [councilmembers] established by Section 22.031 for the municipality constitutes a quorum. However, at a called meeting or at a meeting to consider the imposition of taxes, two-thirds of the number of aldermen established by that section constitutes a quorum unless provided otherwise.”
  - ▶ Section 22.031 (b): “If the municipality is not divided into wards, the governing body consists of a mayor and five aldermen who are elected by the qualified voters of the municipality, and the provisions of this subchapter relating to proceedings in a ward apply to the whole municipality.”
    - ▶ The Mayor does not count towards a quorum. See Section 22.039 re: aldermen.

# TOMA – Quorum Req's Continued

- ▶ The Mayor is the Presiding Officer and the Mayor Pro Tem acts in the Mayor's absence. However, the Mayor Pro Tem retains voting rights.
- ▶ For regular meetings of the Parker City Council:
  - ▶ Mayor plus 3 councilmembers or 4 councilmembers.
- ▶ For special called meetings and a tax meeting of the Parker City Council:
  - ▶ Mayor plus 4 councilmembers or 5 councilmembers.
- ▶ If members leave during the meeting, resulting in a loss of a quorum, the meeting must be recessed until a quorum is again present.
- ▶ A vacancy on council does not affect the above required quorum requirements.

# TOMA – Notice Required

- ▶ Shall given written notice of the:
  - ▶ Date
  - ▶ Hour
  - ▶ Place
  - ▶ Subjects to be considered at the meeting
- ▶ Timeframes:
  - ▶ Generally, 72 hours before a meeting
  - ▶ In an emergency (imminent threat or reasonably unforeseeable situation), 2 hours before the meeting
- ▶ Locations:
  - ▶ Bulletin Board with convenient public access
  - ▶ City Website

# TOMA – Closed Meetings

- ▶ Section 551.101 states the requirements for holding a closed meeting. It provides:
  - ▶ If a closed meeting is allowed under this chapter, a governmental body may not conduct the closed meeting unless a quorum of the governmental body first convenes in an open meeting for which notice has been given as provided by this chapter and during which the presiding officer publicly:
    - ▶ (1) announces that a closed meeting will be held, and
    - ▶ (2) identifies the section or sections of this chapter under which the closed meeting is held
- ▶ Closed/Executive Session are only allowed where expressly authorized by statute.
  - ▶ TOMA contains more than 25 fact specific exceptions to the general requirement that meetings be open to the public.
  - ▶ Limited only to the purpose of discussion/deliberation; any vote/final action must be conducted in an open meeting.
- ▶ Most commonly used exceptions: Attorney consultations, Deliberations about personnel matters, and deliberations about real property.
- ▶ Must keep a Certified Agenda or recording, which must be preserved for at least 2 years.
- ▶ Council has a right to go into closed session on any item on a posted agenda, so long as one of the exceptions apply and the exception is announced.

# TOMA - Consequences

- ▶ Actions taken without proper notice are voidable.
  - ▶ A court may void any action taken in violation of the Act.
  - ▶ Individuals may sue to prevent threatened actions in violation of the Act.
  - ▶ Improperly noticed actions may be ratified at a subsequent meeting where the subject matter has been properly noticed.
- ▶ Knowing violation could lead to individual criminal penalties in the following circumstances:
  - ▶ Failing to keep a certified agenda or recording of closed meeting
  - ▶ Unlawfully disclosing a certified agenda or recording
  - ▶ Holding or participating in an illegal closed meeting
  - ▶ Participating in a Walking Quorum

# TOMA – Walking Quorum

§ 551.143 PROHIBITED SERIES OF COMMUNICATIONS; OFFENSE; PENALTY.

(a) A member of a governmental body commits an offense if the member:

(1) knowingly engages in at least one communication among a series of communications that each occur outside of a meeting authorized by [TOMA] and that concern an issue within the jurisdiction of the governmental body in which the members engaging in the individual communications constitute fewer than a quorum of members but the members engaging in the series of communications constitute a quorum of members, and

(2) knew at the time the member engaged in the communication that the series of communications:

- (A) involved or would involve a quorum; and
- (B) would constitute a deliberation once a quorum of members engaged in the series of communications.

## § 551.143 PROHIBITED SERIES OF COMMUNICATIONS; OFFENSE; PENALTY.

- ▶ (b) An offense under Subsection (a) is a misdemeanor punishable by:
  - ▶ (1) a fine of not less than \$100 or more than \$500;
  - ▶ (2) confinement in the county jail for not less than one month or more than six months; or
  - ▶ (3) both the fine and confinement.

# TOMA – Walking Quorum Cont.

- ▲ Caution! A walking quorum can be achieved through:
  - ▲ In-person meetings;
  - ▲ Telephone calls;
  - ▲ Texts;
  - ▲ Emails; and
  - ▲ Any combination thereof.

# Ethical Considerations

# Conflict of Interest

- ▶ State-mandated rules for local officials found in Chapter 171 of the Texas Local Government Code
  - ▶ Governmental Bodies can pass more restrictive policy/rules
- ▶ General Rule: Public Officials are prohibited from participating in and voting on a matter involving a business entity or real property in which the official has a **substantial interest** if an action on the matter will result in:
  - ▶ A special economic interest on the business that is distinguishable from the effect on the public; or
  - ▶ It is reasonably foreseeable that the action will have a special economic effect on the value of the property, distinguishable from the effect on the public.

# Conflict of Interest

## “Substantial Interest”

- ▶ Section 171.002 defines substantial interest as the following:
- ▶ For Businesses [subsection (a)]:
  - ▶ Ownership of 10% or more of the voting stock or shares of the business entity;
  - ▶ Ownership of 10% or more or \$15,000 or more of the fair market value of the business entity; or
  - ▶ Receipt of funds from the business entity that exceed 10% of the person's gross income for the preceding year.
- ▶ For Real Property [subsection (b)]:
  - ▶ An equitable or legal ownership interest with a fair market value of \$2,500 or more.

# Conflict of Interest

## Substantial Interest of Family Member

- ▶ Section 171.002(c) extends “substantial interest” to the family members of the public official within the first degree of:
  - ▶ Consanguinity (blood)
    - ▶ Parents, children
  - ▶ Affinity (marriage)
    - ▶ Spouse, parent-in-law, child-in-law, step-children

# Conflict Procedure

- ▶ Where a conflict arises, must file an affidavit with the City Secretary stating the nature and extent of the interest *prior* to the vote or decision on the matter.
- ▶ Must abstain from further participation in that matter
  - ▶ Includes deliberations

# Conflict of Interest Penalty

- ▶ Action itself is not voidable *unless* the action taken would not have passed without the vote of the person who violated the provision.
- ▶ A *knowing* violation of these rules is a Class A misdemeanor.
- ▶ Punishable by a fine up to \$4,000 and/or up to 1 year in a county jail.

# Receiving Gifts

## Texas Penal Code Chapter 36

- ▶ Section 36.02 defines Bribery and classifies it as a 2<sup>nd</sup> degree felony.
  - ▶ Cannot *intentionally or knowingly* **offer or accept** any benefit as consideration for a decision, vote, etc.
  - ▶ Not a defense that official wasn't qualified or lacked jurisdiction
  - ▶ Not a defense that benefit was not offered or received until after the decision/vote/etc.
- ▶ Section 36.09 makes it an offense to offer such a benefit as defined above and classifies it as a Class A misdemeanor.

# Receiving Gifts

## Specific Exclusions

- ▶ Section 36.10 provides specific exclusions to the bribery offense:
  - ▶ A gift conferred on account of a personal, professional, or business relationship independent of the official status of recipient;
  - ▶ A political contribution under the Election Code;
  - ▶ A gift derived from a function in honor or appreciation if reported over \$50 and benefit is solely to defray expenses accrued in the performance of duties which are non-reimbursable;
  - ▶ A gift to a member of the legislature required to be reported under the Government Code
  - ▶ **An item with a value of less than \$50.00, excluding cash or negotiable instrument**
  - ▶ An item issued by a governmental entity that allows use of property or facilities owned/operated by said entity;

# Gifts of Public Resources Prohibited

- ▶ Texas Constitution, Article III:

- ▶ Section 44:

The legislature shall have no power to make any grant or authorize the making of any grant of public moneys to any individual, association of individuals, municipal or other corporations whatsoever; provided that the provisions of this Section shall not be construed so as to prevent the grant of aid in cases of public calamity.

- ▶ Section 52(a):

Except as otherwise provided by this section, the Legislature shall have no power to authorize any county, city, town, or other political corporation or subdivision of the State to lend its credit or to grant public money or thing of value in aid of, or to any individual, association or corporation whatsoever, or to become a stockholder in such corporation, association, or company.

# Gift of Public Resources - Exception

- ▶ An expenditure of public funds for a public purpose is not prohibited.

See Tex. Att’y Gen. Op. GA-0076 (2003).

# Gift of Public Funds

## Three Part Test

- ▶ Texas Supreme Court established a three-part test to determine whether a payment violates Article III:
  - ▶ (1) The purpose of the payment is to accomplish a public purpose, not benefit a private party;
  - ▶ (2) The governmental entity must retain public control over the funds to ensure the public purpose is accomplished and the public's investment is protected; and
  - ▶ (3) The governmental entity must ensure that it receives a return benefit.
- ▶ *Tex. Mun., League Intergovernmental Risk Pool*, 74 S.W.3d 377, 384 (Tex. 2002).

# THE END

## RESOURCES

- ▶ **TEXAS ATTORNEY GENERAL ONLINE:**  
**TEXAS OPEN MEETINGS ACT & PUBLIC INFORMATION ACT TRAINING VIDEOS & HANDBOOKS:**  
<https://www.texasattorneygeneral.gov/open-government/governmental-bodies/pia-and-oma-training-resources>
- ▶ **TEXAS ETHICS COMMISSION:**  
<https://www.ethics.state.tx.us>  
<https://www.ethics.state.tx.us/data/resources/guides/Gofficers-employEthics.pdf>
- ▶ **TML: HANDBOOK FOR MAYORS AND COUNCILMEMBERS (2022):**  
<https://www.tml.org/186/Handbook-for-Mayors-and-Councilmembers-2>



## Council Agenda Item

|                                  |                                       |
|----------------------------------|---------------------------------------|
| Budget Account Code:             | Meeting Date: See above.              |
| Budgeted Amount:                 | Department/ Requestor: City Secretary |
| Fund Balance-before expenditure: | Prepared by: ACA/CS Scott Grey        |
| Estimated Cost:                  | Date Prepared: July 24, 2023          |
| Exhibits:                        | <a href="#">Proposed Minutes</a>      |

### AGENDA SUBJECT

APPROVAL OF MEETING MINUTES FOR JULY 18, 2023. [REGULAR MEETING]

### SUMMARY

Please review the attached minutes. If you have any questions, comments, and/or corrections, please contact the City Secretary at [PGrey@parkertexas.us](mailto:PGrey@parkertexas.us) prior to the City Council meeting.

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Patti Scott Grey</i> | Date: | 07/27/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |



**MINUTES**  
**CITY COUNCIL MEETING**  
**JULY 18, 2023**

**CALL TO ORDER – Roll Call and Determination of a Quorum**

The Parker City Council met in a regular meeting on the above date at Parker City Hall, 5700 E. Parker Road, Parker, Texas, 75002.

Mayor Lee Pettie called the meeting to order at 6:00 p.m. Mayor Pro Tem Michael Slaughter and Councilmembers Todd Fecht, Terry Lynch, Amanda Noe and Jim Reed were present.

Staff Present: City Administrator Luke Olson, Asst. City Administrator/City Secretary Patti Scott Grey, Finance/Human Resources Director Grant Savage, City Attorney Amy J. Stanphill, Public Works Director Gary Machado, City Engineer John Birkhoff, P.E., Fire Chief Mike Sheff, and Police Chief Kenneth Price

**EXECUTIVE SESSION** - Pursuant to the provisions of Chapter 551, Texas Government Code, Vernon's Texas Codes Annotated the City Council may hold a closed meeting.

**RECESS TO CLOSED EXECUTIVE SESSION IN ACCORDANCE WITH THE AUTHORITY CONTAINED IN:**

Government Code Section 551.074 Personnel—To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee.

Government Code Section 551.071(1)—Consultation with City Attorney concerning Pending or Contemplated Litigation.

Government Code Section 551.071(2) – Consultation with Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter (Open Meetings Act).

Mayor Lee Pettie recessed the regular meeting to Executive Session at 6:01 p.m.

**RECONVENE REGULAR MEETING.**

Mayor Lee Pettie reconvened the meeting at 6:55 p.m.

**ANY APPROPRIATE DELIBERATION AND/OR ACTION ON ANY OF THE EXECUTIVE SESSION SUBJECTS LISTED ABOVE.**

No action was taken.

**PLEDGE OF ALLEGIANCE**

AMERICAN PLEDGE: Donna DaCosta led the pledge.

TEXAS PLEDGE: Linda Nelson led the pledge.

**PUBLIC COMMENTS** The City Council invites any person with business before the Council to speak. No formal action may be taken on these items at this meeting. Please keep comments to 3 minutes.

Kelly Yeager, Pastor of Corinth Presbyterian Church, 5609 E. Parker, said she was available for Chaplain services and updated City Council on the church.

## ITEMS OF COMMUNITY INTEREST

Mayor Pettie reviewed the upcoming Community Interest items below:

**Canceled, due to lack of a quorum -** BUDGET WORKSHOP - WEDNESDAY, JULY 19, 2023, 9:00 AM – 3:00 PM

PARKS AND RECREATION COMMISSION (P&R) – WEDNESDAY, AUGUST 9, 2023, 5 PM

## PROCLAMATION

Mayor Lee Pettie presented a proclamation, recognizing Parker, Texas, resident and Cherokee Elder Elvis James Nelson. Mr. Nelson accepted the proclamation and thanked everyone.

**CONSENT AGENDA** Routine Council business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Councilmember or member of staff.

1. APPROVAL OF MEETING MINUTES FOR JUNE 20, 2023.
2. APPROVAL OF MEETING MINUTES FOR JUNE 27, 2023.

MOTION: Councilmember Lynch moved to approve consent agenda items 1 and 2 as presented. Councilmember Reed seconded with Councilmembers Fecht, Lynch, Noe, Reed, and Slaughter voting for the motion. Motion carried 5-0.

## INDIVIDUAL CONSIDERATION ITEMS

3. DISCUSSION, CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON MAYOR PRO TEM SLAUGHTER'S RESIGNATION.

Mayor Pro Tem Slaughter announced he provided Council and Staff with a letter of resignation effective July 31, 2023, which was included in tonight's City Council packet. The resignation states he would no longer be a resident of the City of Parker.

City Attorney Stanphill explained the City would use the "holdover" provision provided in the Texas Constitution (art. XVI, §17), which allows a council member to "holdover" "until their successor(s) shall be duly qualified." In this case the holder would be until July 31, 2023.

The City Council accepted Mayor Pro Tem Slaughter's resignation and acknowledged they would use the "holdover" provision in the Texas Constitution.

4. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2023-742 APPOINTING THE 2023-2024 MAYOR PRO TEM. [REMAINDER OF MAYOR PRO TEM SLAUGHTER'S TERM – RES. NO. 2023-733]

Councilmember Noe nominated Councilmember Jim Reed. Councilmember Lynch seconded.

Mayor Pettie asked Councilmember Reed if he was willing to serve. Councilmember Reed agreed to serve.

MOTION: Councilmember Noe moved to approve Resolution No. 2023-742 appointing Councilmember Jim Reed to the 2023-2024 Mayor Pro Tem, starting August 1, 2023.

[REMAINDER OF MAYOR PRO TEM SLAUGHTER'S TERM – RES. NO. 2023-733]. Councilmember Lynch seconded with Councilmembers Fecht, Lynch, Noe, Reed, and Slaughter voting for the motion. Motion carried 5-0.

5. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2023-743 ON UPDATING THE INVESTMENT COMMITTEE.

Mayor Pettle explained the Investment Committee required training.

Councilmember Lynch nominated Councilmember Jim Reed. Councilmember Noe seconded.

Mayor Pettle asked Councilmember Reed if he was willing to serve and undergo the necessary training. Councilmember Reed agreed to serve and fulfill the training requirements.

MOTION: Councilmember Lynch moved to approve Resolution No. 2023-743 updating the Investment Committee to include Jim Reed. Councilmember Noe seconded with Councilmembers Fecht, Lynch, Noe, Reed, and Slaughter voting for the motion. Motion carried 5-0.

6. CONSIDERATION OF AND/OR ANY APPROPRIATE ACTION ON WHITESTONE ESTATES, PHASE 5 FINAL PLAT, INCLUDING VACATING THE PLAT OF PARKER ESTATES, AN ADDITION TO THE CITY OF PARKER, COLLIN COUNTY, TEXAS, RECORDED IN VOLUME 10, PAGE 28 OF THE MAP OR PLAT RECORDS OF COLLIN COUNTY, TEXAS. [2023 0620 DENIED]

City Administrator Olson reviewed the process followed for the June 20, 2023 plat denial (Texas Local Government Code 212) and his letter, dated June 22, 2023.

City Engineer Birkhoff reviewed the plat and stated the items have been satisfied to City of Parker's satisfaction.

Councilmember Noe reviewed her PowerPoint addressing her questions. *[See Exhibit 1 – Councilmember Noe's PowerPoint, dated July 18, 2023.]*

MOTION: Mayor Pro Tem Slaughter moved to approve Whitestone Estates, Phase 5 Final Plat, including vacating the Plat of Parker Estates, an addition to the City of Parker, Collin County, Texas, recorded in volume 10, page 28 of the map or plat records of Collin County, Texas. Councilmember Fecht seconded with Councilmembers Fecht, Lynch, Reed, and Slaughter voting for the motion. Councilmember Noe voting against the motion. Motion carried 4-1.

7. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON ORDINANCE NO. 845 AMENDING ORDINANCE NUMBER 832, POLICE DEPARTMENT OPERATIONS TO CHANGE "PUBLIC SAFETY COMMITTEE" TO "MAYOR" AND CLARIFY PROCEDURES FOR ADOPTION OF RULES, REGULATIONS, AND ORDERS.

MOTION: Councilmember Lynch moved to postpone Ordinance No. 845 amending Ordinance Number 832, Police Department Operations to change "Public Safety Committee" to "Mayor" and clarify procedures for adoption of rules, regulations, and orders. Councilmember Reed seconded with Councilmembers Fecht, Lynch, Noe, Reed, and Slaughter voting for the motion. Motion carried 5-0.

8. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2023-744 FINDING THAT ONCOR ELECTRIC DELIVERY COMPANY LLC'S APPLICATION TO AMEND ITS DISTRIBUTION COST RECOVERY FACTOR AND UPDATE GENERATION RIDERS TO INCREASE DISTRIBUTION RATES WITHIN THE CITY SHOULD BE DENIED; AUTHORIZING PARTICIPATION WITH THE STEERING COMMITTEE OF CITIES SERVED BY ONCOR; AUTHORIZING HIRING OF LEGAL COUNSEL; FINDING THAT THE CITY'S REASONABLE RATE CASE EXPENSES SHALL BE REIMBURSED BY THE COMPANY; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL.

City Attorney Stanphill reviewed the item, stating this is the City's standard resolution to deny Oncor rate increase request, continuing participation with the Steering Committee of Cities, authorizing hiring legal counsel, and allowing the City's reasonable rate increase case expenses reimbursement.

**MOTION:** Councilmember Lynch moved to approve Resolution No. 2023-744 finding that Oncor Electric Delivery Company LLC's application to amend its distribution cost recovery factor and update generation riders to increase distribution rates within the city should be denied; authorizing participation with the steering committee of cities served by ONCOR; authorizing hiring of legal counsel; finding that the city's reasonable rate case expenses shall be reimbursed by the company; finding that the meeting at which this resolution is passed is open to the public as required by law; requiring notice of this resolution to the company and legal counsel. Councilmember Reed seconded with Councilmembers Fecht, Lynch, Noe, Reed, and Slaughter voting for the motion. Motion carried 5-0.

#### **9. PARKS AND RECREATION (P&R) COMMISSION**

##### **PRESENTATION**

Parks and Recreation (P&R) Chair Frank DaCosta recognized P&R members in the audience Donna DaCosta, Pier Burgess, and Cyndy Lane and then reviewed his PowerPoint regarding Parkerfest. *[See Exhibit 2 – Parks and Recreation (P&R) Chair Frank DaCosta's PowerPoint, dated July 18, 2023.]*

The Mayor and City Council thanked P&R.

##### **CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2023-745 MAKING AN APPOINTMENT TO THE PARKS AND RECREATION (P&R) COMMISSION.**

**MOTION:** Mayor Pro Tem Slaughter moved to accept the P&R Kimberly Hinshaw's resignation and approve Resolution No. 2023-745 appointing Cherie Ware to Ms. Hinshaw's Place 1 position for the remainder of the term. Councilmember Noe seconded with Councilmembers Fecht, Lynch, Noe, Reed, and Slaughter voting for the motion. Motion carried 5-0.

##### **10. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ACCEPTING A DONATION IN THE TOTAL AMOUNT OF \$1,500 FROM TOP OF TEXAS POD TO BE ALLOCATED TO THE CITY OF PARKER VOLUNTEER FIRE DEPARTMENT.**

**MOTION:** Councilmember Reed moved to accept the donation in the total amount of \$1,500 from Top of Texas Pod to be allocated to the City of Parker Volunteer Fire Department.

Councilmember Noe seconded with Councilmembers Fecht, Lynch, Noe, Reed, and Slaughter voting for the motion. Motion carried 5-0.

## ROUTINE ITEMS

### 11. UPDATE(S):

#### **FM2551**

City Administrator Olson and Public Works Director Machado said there has been no real change and nothing new to relay at this time.

#### **ANY ADDITIONAL UPDATES**

There were no additional updates at this time.

#### **MONTHLY/QUARTERLY REPORTS**

Council accepted the departmental and quarterly reports hyperlinked below:

[June 2023 - Building Permit/Code Report](#)

[June 2023 – Court Report](#)

[June 2023 – Finance \(monthly financials\) Report](#)

[May-June 2023 – Republic Services Inc., dba Allied Waste Services of Plano](#)

[June 2023 – Website \(PIWIK\) Report](#)

## DONATION(S)

### 12. ACCEPTANCE OF DONATION(S) FOR POLICE, FIRE, AND CITY STAFF FOR THE RECORD (Each valued at between \$0 - \$500). [PETTLE]

Joe Lozano donated 1 bag of apples, 1 box of 18 count chips, and 24-12oz. Gatorade, valued at \$37 to the Public Works Department.

The Terrell family donated one (1) case (48 count) and one (1) case (24 count) water valued at \$15 to the Police & Fire Departments.

The Evans family donated snacks valued at \$50 to the Police Department.

Chip and Linda Justice donated \$100 of Tiff's Treats to the Police Department.

The Wurth family donated Assorted Cookies valued at \$10.00 to the Fire Department.

The Wurth family donated Mini Lemon Ice Butter Cream Cupcakes valued at \$10 to City Hall Office Staff.

Mayor Pettle, on behalf of herself, City Council, and City Staff, thanked the donors for their kind and generous donations.

## FUTURE AGENDA ITEMS

### 13. FUTURE AGENDA ITEMS

Mayor Pettle asked if there were any items to be added to the future agenda.

Hearing no additional requests, she encouraged everyone to email her any requests. She noted the next regularly scheduled meeting would be Tuesday, August 1, 2023.

## ADJOURN

**PRESENTATION – RECOGNIZING FORMER COUNCILMEMBER/MAYOR PRO TEM SLAUGHTER**

PRESENTATION RECOGNIZING FORMER COUNCILMEMBER/MAYOR PRO TEM MICHAEL SLAUGHTER FOR HIS SERVICE FOR THE CITY OF PARKER.

Mayor Pettie presented a plaque and reviewed former Mayor Pro Tem Michael Slaughter's many accomplishments and distinguished service to the City of Parker, Texas, 2020-2023. Mr. Slaughter thanked everyone.

The Mayor, City Council, City Staff, and audience applauded and expressed their appreciation for Mayor Pro Tem Slaughter's service.

**ADJOURN**

Mayor Lee Pettie adjourned the meeting at 8:10 p.m.

RECEPTION FOR  
FORMER COUNCILMEMBER/MAYOR PRO TEM MICHAEL SLAUGHTER

APPROVED:

\_\_\_\_\_  
Mayor Lee Pettie

ATTESTED:

Approved on the 1st day  
of August, 2023.

\_\_\_\_\_  
Patti Scott Grey, City Secretary

# Whitestone Phase 5 Questions

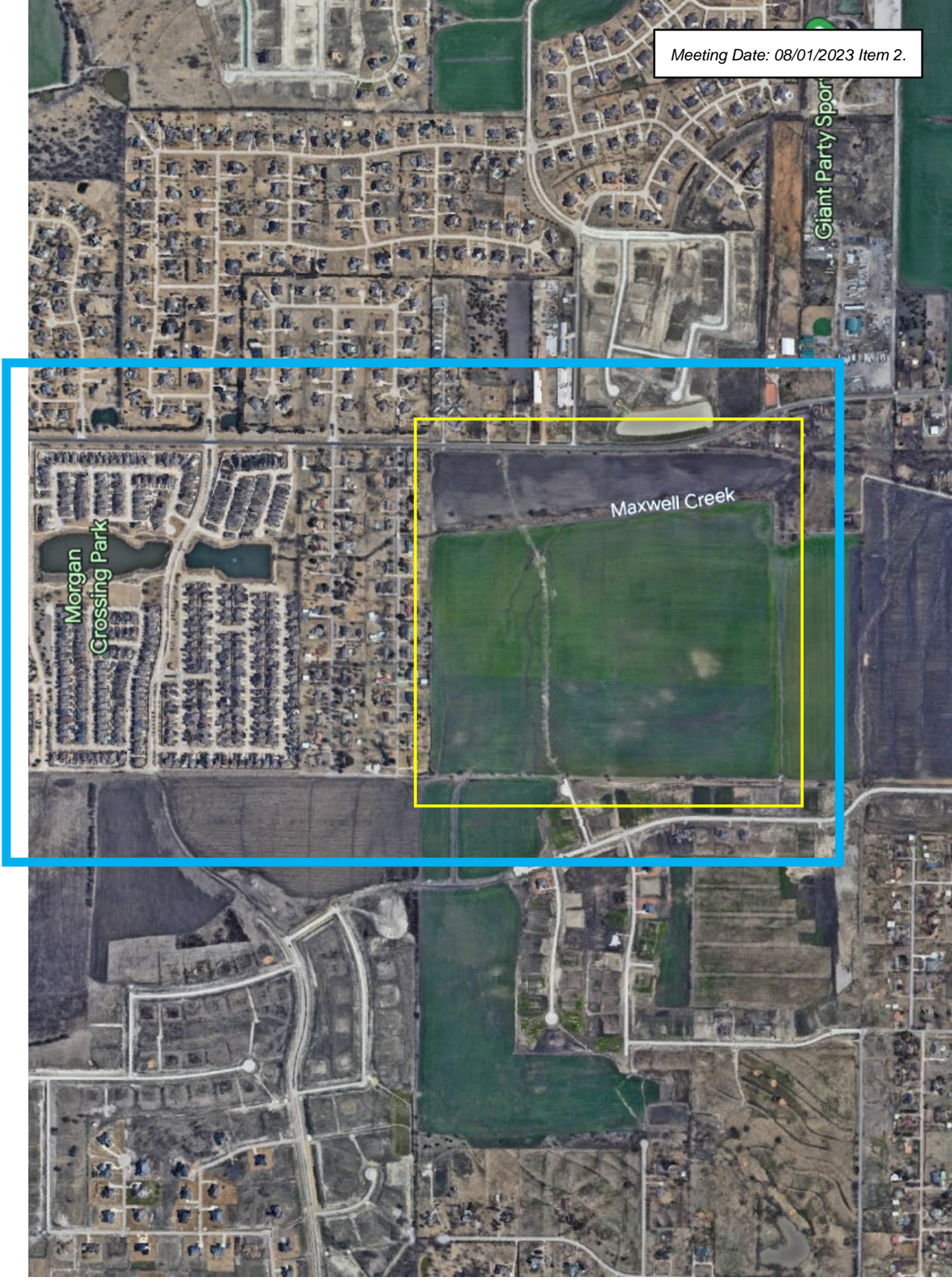
## Exhibit 1

# Overview of the property

- Review FEMA maps and LOMRs
- Starting at the Allen Subdivision to the north
- Review the Flood plain through Easy Acres
- Review the flood plain designations on the Whitestone Phase 5 plat

# Aerial view of the land (prior to development)

- Generally flat farmland
- Maxwell Creek running through the property
- Approximately 50% of the parcel located in a FEMA designated Flood Plain
- Horizontal curved trail running across the property is Caliche Rock located approximately at grade level (becomes Belvedere Drive)



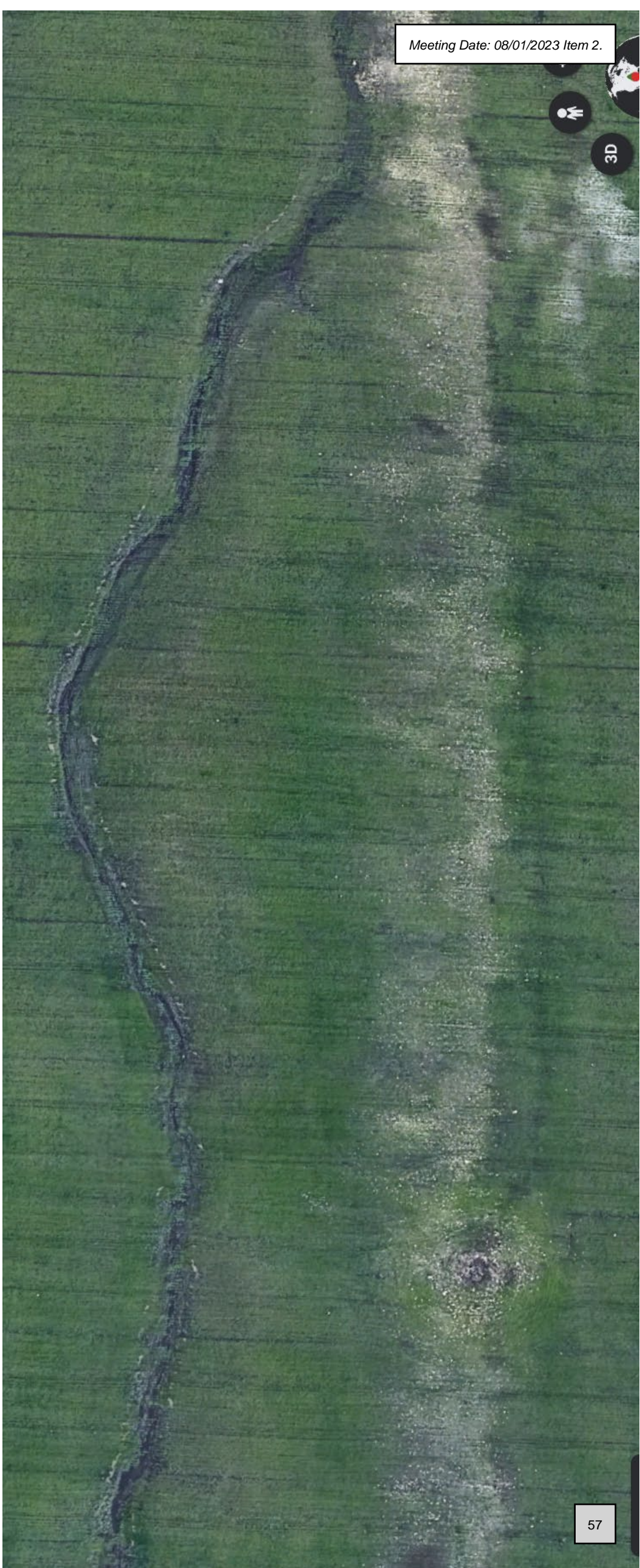
# View of Northern Portion of Whitestone Phase 5

Kara Lane



Meeting Date: 08/01/2023 Item 2.

# Close-up View of Farmland prior to Development



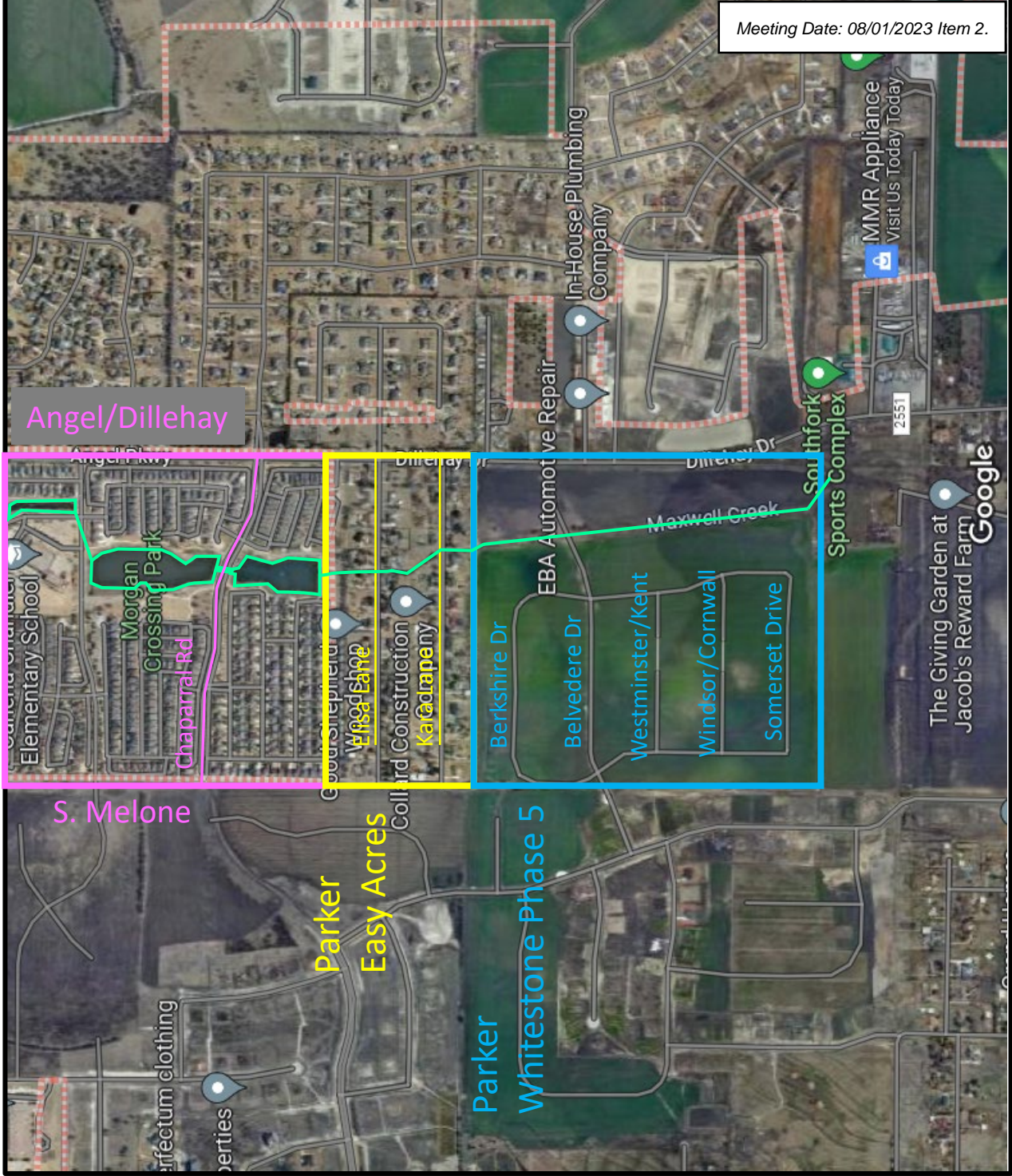
Meeting Date: 08/01/2023 Item 2.

# Aerial View of the Area

(Add property lines and roads)

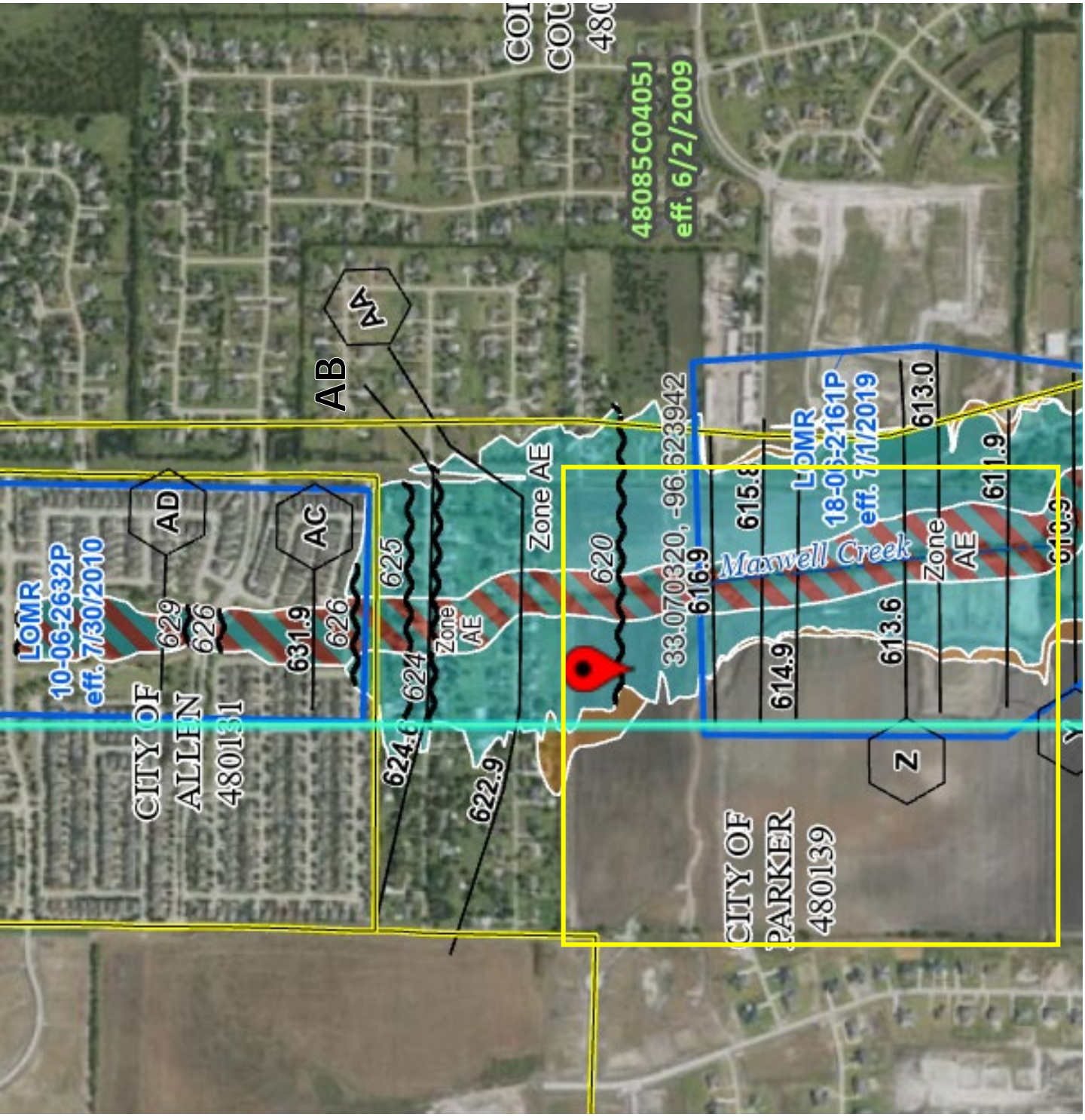
- City Property Lines
  - City of Allen (2010)
    - Chaparral Road
  - Parker Easy Acres (1970s)
    - Elisa Lane
    - Kara Lane
  - Parker Whitestone Phase 5 (2023)
    - Berkshire Drive
    - Belvedere Drive
    - Westminster/Kent Ct
    - Windsor/Cornwall Ct
    - Somerset Drive
  - Maxwell Creek

City of Allen

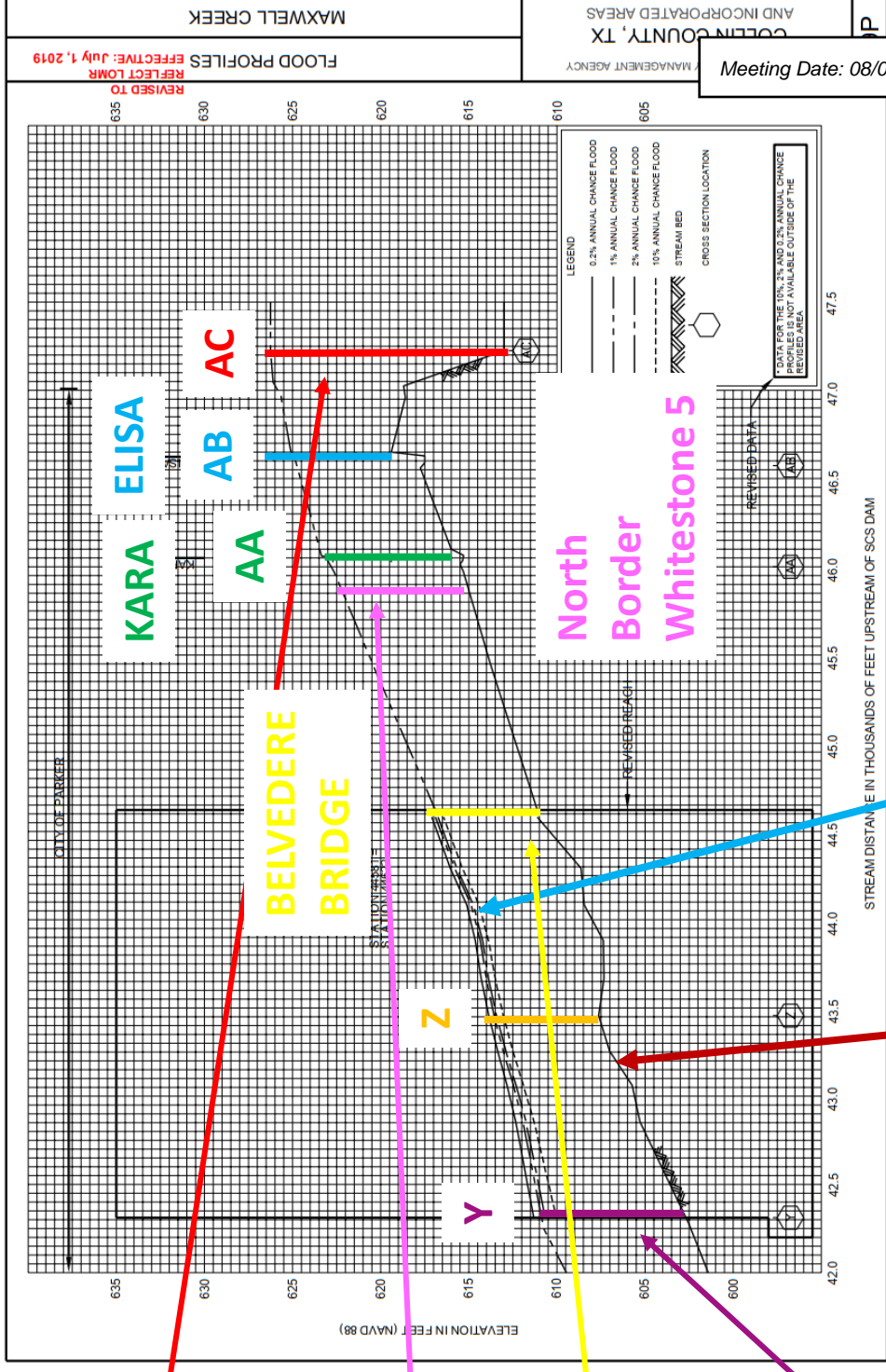


# FEMA Map

- Documents the 100yr flood plain region and base flood elevation
- Map revisions are updated via Letters of Map Revision (LOMR)
- City of Allen LOMR 10-06-2632 (recorded on 7/30/2010)
- Easy Acres
  - Point AB: Elisa Lane
  - Pont AA: Kara Lane
- Northern Boundary of Whitestone Phase 5 borders Easy Acres
- Belvidere Road/Bridge data point
- South of Belvidere Rd/Bridge
  - LOMR 18-06-2161P (recorded on 7/1/2019)
- Whitestone Phase 5 outlined with a **Yellow** square



## Marker Point Correlation to the Map (Color Coded)



100 Year Flood Elevation  
Maxwell Creek Bed Base Elevation



1. Why is the 100 year flood plain at **Line 1** different between the 2019 LOMR (Much Wider) and Whitestone Plat (Much narrower)?

2. Fill Dirt was added to the Northwest section north of Belvedere (outlined in a green box). Is there a Letter of map Amendment – Fill on file with FEMA? Where did that fill come from?
3. Fill Dirt was added to raise up Belvedere Drive. Is there a Letter of Map amendment – Fill on file with FEMA?

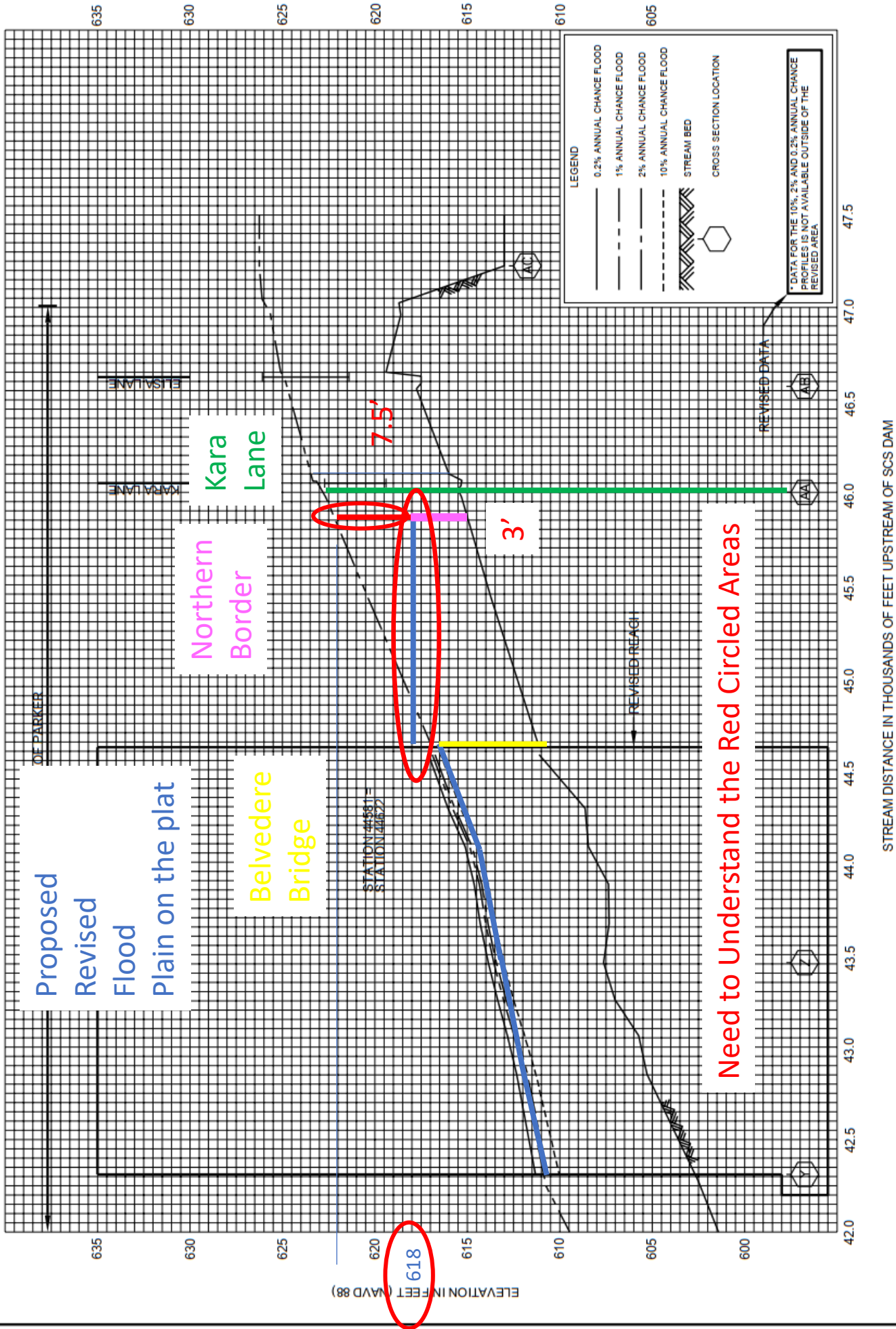
4. How can we add Fill in the Green Square area and add Fill beneath Belvedere Bridge and have less water at the Northern border to Easy Acres?
5. The Plat data shows the flood plain elevations from the 2019 LOMR tracking almost exactly south of Belvedere Bridge. The issue is the area north of belvedere bridge and south of Easy Acres (at the pecan grove section).

I can't understand how the flood plain level remains almost flat at nominally 618'? See the

FEDERAL EMERGENCY MANAGEMENT AGENCY  
COLLIN COUNTY, TX  
AND INCORPORATED AREAS

FLOOD PROFILES  
REFLECT LOMR  
EFFECTIVE: July 1, 2019  
REVISED TO

MAXWELL CREEK

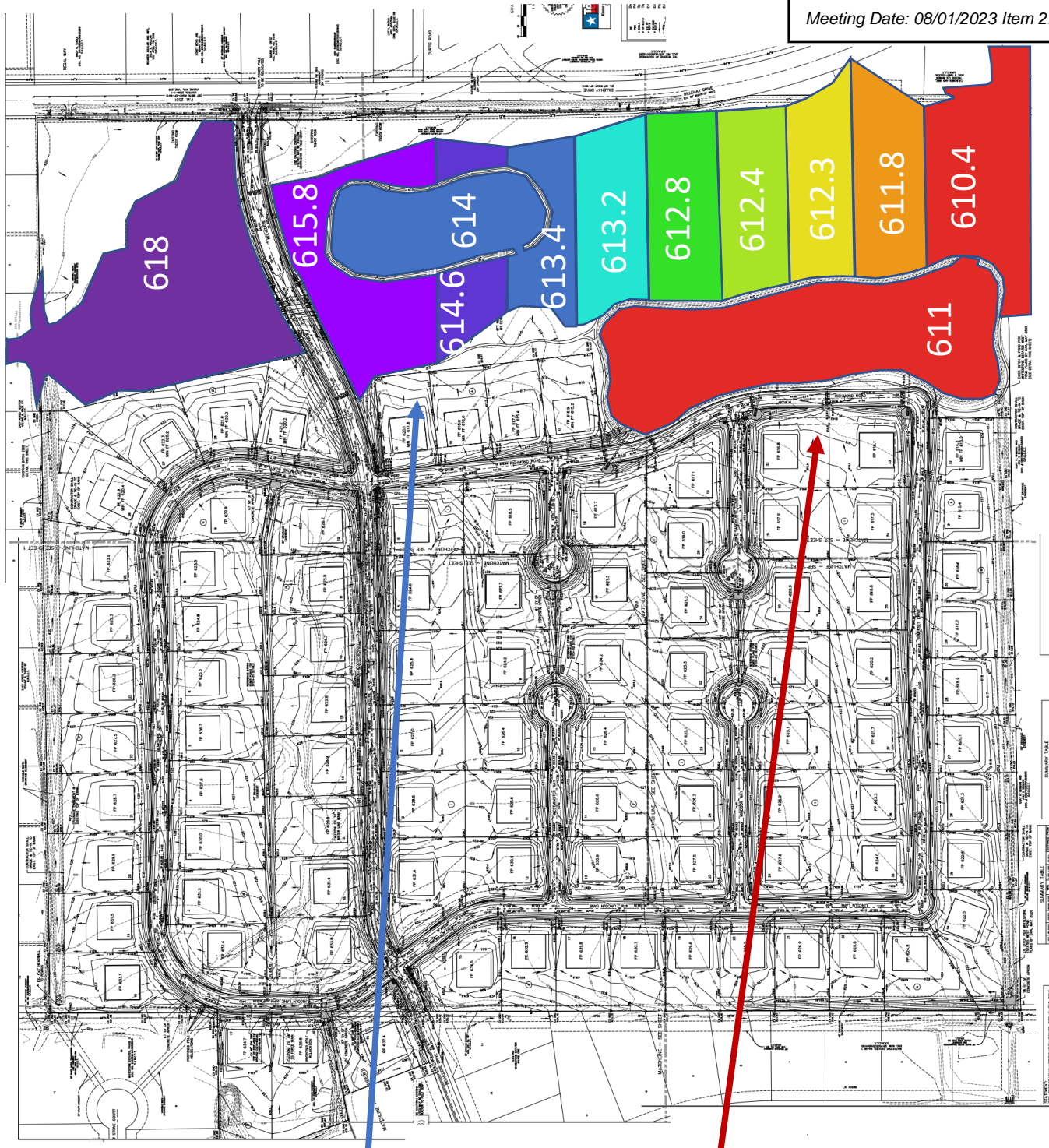


# 100 YR Flood Elevations

NOTE:  
THIS POND IS FOR EXCAVATION PURPOSES ONLY & DOES NOT PROVIDE STORMWATER DETENTION. THE POND 100-YR WSE = 100-YR WSE OF THE CREEK.

EAST POND  
TOP OF BERM = 615.0  
NORMAL POOL = 614.0  
BOT OF POND = 606.0

EXISTING DETENTION POND  
100YR WSE=611.0  
NORMAL POOL=608.0  
(POND SHALL BE AERATED,  
METHOD TO BE CHOSEN BY  
DEVELOPER)



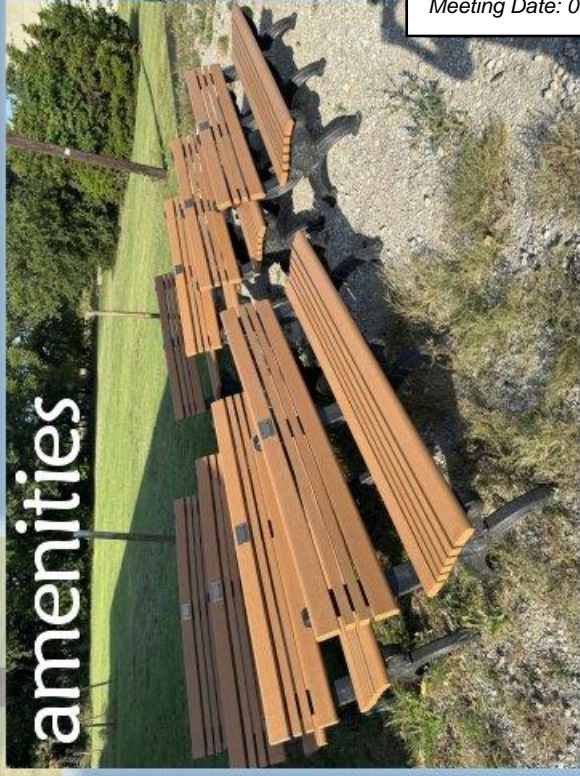
Meeting Date: 08/01/2023 Item 2.



signage



amenities



Sunday  
October 30  
3-6pm

# PARKERFEST!





Over 500 attendees  
Two dozen games / activities  
Eleven vendor booths  
Five corporate sponsors  
Dozens of volunteers

Meeting Date: 08/01/2023 Item 2.



LIVE  
MUSIC



PUMPKIN  
DECORATION



BOUNCE  
HOUSE



HAY  
RIDE

# PLAY ▶ ParkerQuest!

Deep in the green forest called the Primal Forest, there lives a multitude of colorful, mythical creatures. Once a year, this forest awakens and beasts find a way to escape into the surrounding countryside as many of them as possible! Are you up for the challenge? You can gain as many points as you want by completing one or more of the quests below! You can also win prizes by completing all the quests!



## Quest Alpha

- Find a few objectives
- Gain 10 QuestPoints!



SCAN TO  
START



## VENDOR BOOTHS

## FOOD TENT



## GAMES FOR ALL



THANK YOU FOR SUPPORTING PARKS & REC ACTIVITIES!



# WHY DO PARKERFEST?

- DRAWS THE CITIZENS TOGETHER
- AN EXPRESSION OF GOOD WILL



FACE PAINTER  
BALLOON ARTIST  
POPCORN MACHINE  
GENERATORS

**\$2000**

BOUNCE HOUSE  
PETTING ZOO  
PUMPKINS

**\$2000**

SIGNAGE  
WEBSITE  
PRIZES  
SUPPLIES  
AND MORE

**\$2000**

**\$12,000**

CASH

TENT  
TABLES  
CHAIRS

**\$2000**

THE BAND

**\$2000**

NEW GAME  
PURCHASE &  
CONSTRUCTION

**\$2000**

**\$4000 : SPONSORS LIKE REPUBLIC WASTE**  
**\$8000 : COMMISSIONERS' PERSONAL FUNDS**



# CONTACTS FOR POTENTIAL SPONSORS

# “WHY SHOULD I SPONSOR IF THE CITY DOESN'T GIVE?”



**THANK YOU!**





## Council Agenda Item

|                                  |                        |   |
|----------------------------------|------------------------|---|
| Budget Account Code:             | Meeting Date:          | See above.  |
| Budgeted Amount:                 | Department/ Requestor: | Council   |
| Fund Balance-before expenditure: | Prepared by:           | City Secretary Scott Grey for<br>City Administrator Olson |
| Estimated Cost:                  | Date Prepared:         | July 26, 2023   |
| Exhibits:                        | <b><u>None</u></b>     |   |

### AGENDA SUBJECT

CONSIDERATION AND APPROPRIATE ACTION TO FILL A COUNCILMEMBER VACANCY THROUGH MAY 2024 BY EITHER SPECIAL ELECTION IN ACCORDANCE WITH TITLE 12, TEX. ELECTION CODE, § 201.054, OR BY COUNCIL APPOINTMENT AS AUTHORIZED BY TEX. LOC. GOV'T CODE § 22.010 FOR A TYPE A GENERAL LAW CITY WITH TWO YEAR TERMS AND ONE VACANCY; AND IF BY COUNCIL APPOINTMENT, APPOINTEE NOMINATIONS, IF ANY.

### SUMMARY

The City of Parker has 1 vacant councilmember position due to resignation. A type A General Law City with 2-year terms and only 1 vacancy can fill the vacancy by appointment of an individual meeting qualifications by the remaining councilmembers. The appointment can be made and effective on the same day as the oath. If Council votes to fill the vacancy by appointment, nominations can be made and voted on this date.

Alternatively, the vacancy can be filled by special election at the next uniform election date. The next uniform election is the general election on November 7, 2023 and there are August filing deadlines. The rough estimated cost of a special election below is from an informal inquiry to the Collin County Deputy Elections Administrator. If Council votes to select the special election option, staff will provide more information about timing and costs.

Right now, the City of Parker has 4,470 registered voters.

In November 2021 there were several jurisdictions that joined our election. Below is a table that list the jurisdiction, the number of registered voters they had during that election, and the final cost of their election. These jurisdictions are somewhat comparable to the City of Parker.

| Jurisdiction                     | Registered Voters | Final Cost |
|----------------------------------|-------------------|------------|
| City of Sachse                   | 6224              | \$7,504.38 |
| Marilee Special Utility District | 3575              | \$4,310.44 |

City Council may direct staff to take appropriate action.

## Inter – Office Use

|                                |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Patti Scott Grey</i> | Date: | 07/26/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |



## Council Agenda Item

|                                  |  |   |
|----------------------------------|--|---|
| Budget Account Code:             | Meeting Date:                              | See above.  |
| Budgeted Amount:                 | Department/ Requestor:                     | Council   |
| Fund Balance-before expenditure: | Prepared by:                               | City Secretary Scott Grey for<br>City Administrator Olson |
| Estimated Cost:                  | Date Prepared:                             | July 26, 2023   |
| Exhibits:                        | <a href="#"><u>Proposed Resolution</u></a> |   |

### AGENDA SUBJECT

CONSIDERATION AND APPROPRIATE ACTION CONCERNING RESOLUTION NO. 2023-746 APPOINTING A COUNCILMEMBER TO SERVE EFFECTIVE AUGUST 1, 2023, THROUGH THE REGULARLY SCHEDULED ELECTION OF MAY 4, 2024, AND OATH OF OFFICE TO COUNCIL APPOINTEE, IF AN APPOINTMENT IS MADE.

### SUMMARY

*Please review information provided.*

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Patti Scott Grey</i> | Date: | 07/26/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |

**RESOLUTION NO. 2023-746***(Appointment of Councilmember to fill Vacancy to May 4, 2024, Election)***A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PARKER, COLLIN COUNTY, TEXAS, APPROVING THE APPOINTMENT OF A COUNCILMEMBER FOR THE REMAINDER OF FORMER COUNCILMEMBER SLAUGHTER'S TERM TO THE NEXT REGULAR ELECTION, MAY 4, 2024**

**WHEREAS**, former Councilmember Slaughter's resignation effective July 18, 2023, and extended through July 31, 2023, through the holdover provision of Tex. Const. Art. XVI, § 17, left a vacancy on the City of Parker, City Council and Tex. Loc. Gov't CODE § 22.010 permits the remaining councilmembers of a Type A General Law City with two-year terms and one councilmember vacancy to appoint a qualified person to serve as councilmember to the next regularly scheduled election; and

**WHEREAS**, the qualifications to be a councilmember (alderman) of a Type A General Law City are:

1. Residence - 1 year in state prior to filing deadline; 6 months in the city prior to filing deadline.
2. Age -18 or older.
3. Must be a registered voter in the territory of appointment.

**WHEREAS**, a majority of the remaining Councilmembers present on August 1, 2023, have appointed \_\_\_\_\_ as a qualified appointee to fill the councilmember vacancy effective August 1, 2023 until the next regularly scheduled election of May 4, 2024.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARKER, COLLIN COUNTY, TEXAS, AS FOLLOWS:**

**SECTION 1.** That the City Council hereby appoints \_\_\_\_\_ as a Councilmember of the City of Parker, Texas meeting the above qualifications effective August 1, 2023 until the next regularly scheduled election of May 4, 2024.

**DULY RESOLVED** by the City Council of the City of Parker, Collin County, Texas on this the 1st day of August 2023, effective this date.

APPROVED:  
CITY OF PARKER

---

Lee Pettle, Mayor

ATTEST:

---

Patti Scott Grey, City Secretary

APPROVED AS TO FORM:

---

Amy J. Stanphill, City Attorney



In the name and by the authority of  
**The State of Texas**

**OATH OF OFFICE**

I, \_\_\_\_\_, do solemnly swear (or affirm), that I will faithfully execute the duties of the office of \_\_\_\_\_, City of Parker, Texas, and will to the best of my ability preserve, protect, and defend the Constitution and laws of the United States and of this State, so help me God.

\_\_\_\_\_  
Signature of Officer

.....

State of          Texas   )  
County of      Collin   )

Sworn to and subscribed before me this   1st   day of   August  ,   2023  .

\_\_\_\_\_  
Signature of Notary Public or Other  
Officer Administering Oath

\_\_\_\_\_  
Printed or Type Name

(Seal)

CITY OF PARKER, COLLIN COUNTY, TEXAS

Term Expires:   May 2024



## Agenda Item

|                                     |  |
|-------------------------------------|--|
| Budget Account Code:                | Meeting Date: See above.   |
| Budgeted Amount:                    | Department/<br>Requestor: Council  |
| Fund Balance-before<br>expenditure: | Prepared by: ACA/CS Scott Grey for<br>City Administrator Olson   |
| Estimated Cost:                     | Date Prepared: July 24, 2023   |
| Exhibits:                           | <ol style="list-style-type: none"> <li>1. City Engineer John Birkhoff's response letter, dated July 27, 2023</li> <li>2. Engineer Michelle Tilotta, P.E. (no plans included), dated July 20, 2023</li> <li>3. City Engineer John Birkhoff's letter, dated July 13, 2023</li> <li>4. 2023.06.27_Panorama Street_Full Set</li> <li>5. Panorama Street Preliminary Plat</li> <li>6. Panorama Street Preliminary Plat App Notarized 06.28.2023</li> <li>7. Metes &amp; Bounds</li> <li>8. 2022 Tax Certificate</li> <li>9. Scan of Fee Check</li> <li>10. 2023.06.27_Preliminary Plat App to City of Parker</li> </ol> |

### AGENDA SUBJECT

CONSIDERATION OF AND/OR ANY APPROPRIATE ACTION ON PANORAMA STREET PRELIMINARY PLAT, SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10 CITY OF PARKER, COLLIN COUNTY, TEXAS. [MACHADO]

### SUMMARY

On July 20, 2023, Planning and Zoning (P&Z) Commission voted 4-0, {Lozano, Jeang, Leamy, Crutcher}, to recommend the Parker City Council deny approval of the Panorama Street Preliminary Plat.

Please review the information provided for Panorama Street Preliminary Plat, situated in the Phillip Anderson Survey, Abstract No. 10 City of Parker, Collin County, Texas.

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use

|                                |                         |       |                            |
|--------------------------------|-------------------------|-------|----------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                            |
| Department Head/<br>Requestor: | <i>Gary Machado</i>     | Date: | 07/27/2023                 |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via<br>Municode |
| Public Work Director           | <i>Luke B. Olson</i>    | Date: | 07/xx 2023                 |

# **BIRKHOFF, HENDRICKS & CARTER, L.L.P.**

## **PROFESSIONAL ENGINEERS**

11910 Greenville Ave., Suite 600

Dallas, Texas 75243

Phone (214) 361-7900

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GARY C. HENDRICKS, P.E., R.P.L.S.  
JOE R. CARTER, P.E.  
ANDREW MATA, JR., P.E.

DEREK B. CHANEY, P.E., R.P.L.S.  
CRAIG M. KERKHOFF, P.E., CFM  
JUSTIN R. IVY, P.E.  
COOPER E. REINBOLD, P.E.

July 27, 2023

Mr. Gary Machado  
City of Parker  
5700 E. Parker Rd.  
Parker, Texas 75002

Re: Panorama Street  
Preliminary Plat and Engineering Plan Review

Dear Mr. Machado:

As you requested, we have reviewed the July 20, 2023 LJA response letter to the Preliminary Plat & Engineering Plans first set of review comments. The engineer refers to this being a Street Plat that does not exist in the subdivision ordinance. These documents include a new street and is therefore considered a Major Plat under section 155.025 of subdivision ordinance.

The response to our first set of comments were not addressed by the engineer of record, but by a project engineer in their firm. The second submittal did not include construction plans to validate completed work stated in the letter. The second submittal is incomplete to continue the review process. We are responding to their letter comments, as they pertain to main points in the subdivision ordinance, to assist them in preparation of their second submittal.

Our review of the documents is for general compliance with the City of Parker's development requirements and good engineering practice and does not relieve the engineer of record of their responsibilities under the Texas Engineering Practice Act. Listed below are our review comments.

### Adherence to Subdivision Ordinance:

1. 155.049 (B)(1)(b) Requires two means of access, a divided street or provisions to connect to future street extension. This has not been addressed for City action. No development plans have been submitted to the city for the ETJ and no streets are shown on the City's throughfare map that would indicate this street is even needed. This lot has access to Gregory Lane. Any future subdivision in the ETJ would have access to FM 2551, to Rolling Ridge Drive in Murphy or there can be two points of access from FM 2551. Currently as shown is a city street to nowhere.
2. 155.049 (B)(2) All platted lots to be connected to water line, looped system. A water line is required along the roadway with provision to connect to extension of the water system. The engineer states a development is planned for the ETJ, the tract of land Panorama is on is a Major Plat then the water line from the city system must be extended now to reach this future unplatted subdivision.
3. 155.049(4) Drainage cannot adversely affect a joining property. Elevated roadway causes potential to back up water to property to the west. No channel design data provided to show water will not back up. Property to the east, water is concentrated and not designed for overflow to pass through

the adjoining property. The roadway design as is shows an elevated roadway and no channel calculations on the north side of the elevated roadway sections to convey water to the culverts. The engineer through cross sections and calculations which should have been completed and readily available to support their statement of no adverse effects to the adjoining property have not been provided.

4. 155.049(D) (2) boundary iron pins must be 1 inch in diameter and have a length of 18 inches. This will need to be confirmed in the engineering plans.
5. 155.049(F) No permanent benchmark is included in the design plans. Details of the benchmark are called for in this section of the subdivision ordinance. This will need to be confirmed in the engineering plans.
6. 155.052(C)(4) Gregory Lane is required to be upgraded as it is adjacent to this tract. The adjacent roadway is public right-of-way and if not being upgraded a Traffic Impact Analysis for the new road is required for a rough proportionality calculation to be completed. This engineer as we understand also has knowledge of the development in the ETJ that will fully utilize this proposed road. The property in the ETJ needs to be platted to complement what the engineer is proposing for this project.
7. 155.052(18)(C)(b) Street sign is required at Gregory and Panaroma. Section 155.052(18)(a) requires the name to be approved by City P&Z. This will need to be confirmed in the engineering plans.
8. 155.052(C)(13) Reserve strip is not allowed. Strip of land west side of ROW (reserve strip) is not allowed. A proposed access easement on the reserve strip does not remove the reserve strip that is not allowed. There is drainage in the reserve strip area that must be designed, and the design provided for review.
9. 155.052(D) The reserve strip west of shown ROW must be Right of way and a drainage channel is required to be designed to convey storm water to point of concentration. The required water line will need to be in the right of way. Place the water line on the east side of shown Right of way.
10. 155.057 Private easement for electrical service (streetlights) is required. Show this easement on the plat, a separate instrument is not required and is not acceptable on a major plat.
11. 155.052 (15)(a) Streets shall be related approximately to the topography grade and shall conform to as closely as possible to the original topography. The elevated roadway is not acceptable. We do not understand what you are trying to prevent flooding from, by an elevated roadway. A properly designed storm sewer system would not allow flooding while meeting the character of the topography. There are adjacent property owners that are affected by public improvements on this tract.
12. 155.052(15)(b) Plans must show design speed for the vertical curves. This will need to be confirmed in the engineering plans.
13. 155.054(A)(1) Provide source and calculations that established the 100-year water surface. Maxwell Creek to the east is a studied reach. Offsite water is being handled by this design and downstream must be proven out not to have affects on the downstream property owners. The pond is shown to have emergency overflow and that water must be conveyed. During public comments it was stated that testimony before other governmental agency had water coming to these ponds, however the drainage area map does not reflect this and as such the ponds are grossly oversized for predevelopment flows from upstream. It appears that all know information is not being provided to the city for their review.

14. 155.054(A)(4) Provide calculations that roadway ditch in Gregory has adequate capacity and free board based on adding additional storm water to this channel. Improve the channel until capacity and freeboard can be achieved. Maxwell Creek is to the east of the proposed improvements. The engineer states that no additional water is being conveyed to the roadway channel in Gregory Lane. The plans are clear that by raising the roadway a positive grade is established from Gregory to the elevated road section. The roadway is proposed to be a concrete curb and gutter section. No inlets are included to pick up this flow, so it does go into the roadway channel. The design engineer set the grade to drain water to Gregory.
15. 155.054(B)(1) Provide details of outlet structure that is designed for the 2, 25, 50 and 100 year storm. Include the structural details for a V-notch or stepped weir. Once plans are resubmitted, we will review the calculations for each storm.
16. 155.054(B)(6) Provide maintenance plan for the retention pond. Address aquatic growth, silt removal plan, mosquito control mowing plan and permanent erosion control measures. The maintenance plan is required regardless of who owns the pond. The pond must be maintained to protect the property owners downstream. The plan will need to include measures the city must take in order to insure the pond operates properly to protect the general public.
17. 155.051 Provide photometrics for street lights proposed and details for shield to keep light from adjoining properties. The engineer has proposed street lights and the splash for the street lights must be checked and most likely light shield will be required to protect the adjacent property owners. Who owns the street lights is not important to address the adjacent property owners.
18. 155.054(A)(3)(d) Include in erosion control methods requirements of this section of the subdivision ordinance including watering and fertilizing schedule. This must be part of the erosion control plans being prepared by the engineer of record. The SWPPP will follow at construction and is prepared by the contractor. The contractor needs to know the requirements to properly prepare the SWPPP.
19. 155.027(f)(v) Provide method to undercut rock if encountered place topsoil to establish vegetation.
20. 155.052 (17) Cul de Sac streets shall not be longer than 600 feet. The length of this street exceeds this requirement. There are no streets platted in the ETJ. There are no streets shown in the City's throughfare plan that shows the ETJ area needs to be connected to Gregory. The street does not meet the ordinance.

The submittal does not meet the subdivision ordinance on a substantial number of items. The plat and construction plans must meet the subdivision ordinance. Once the subdivision ordinance is met many of the engineering items will self-correct and then a meaningful review of the engineering plan can take place. Once the subdivision ordinance is met, the plans can be properly prepared and reviewed. We have not moved forward to review the comments and response made on the current set of plans, since no revised plans have been submitted.

We are available at your convenience to discuss our findings.

Sincerely,



John W. Birkhoff, P.E.

July 20, 2023

Mr. Gary Machado  
City of Parker  
5700 E. Parker Rd.  
Parker, Texas 75002

Re: Panorama Street Preliminary Plat and Engineering Plan

Dear Mr. Machado:

The following are LJA Engineering response on behalf of Margaret Turner to the July 13, 2023, comment letter you forwarded from the city's consulting engineer Birkhoff, Hendricks & Carter, L.L.P. (the "Plat Comment Letter").

As noted in the Plat Comment Letter, the Preliminary Plat & Engineering Plans for the Panorama Street Addition (the "Street Plat") prepared by LJA Engineering, Inc. include only a new street.

As submitted, the Plat & Engineering Plans for the Panorama Street comply with all applicable City of Parker development requirements and good engineering practice. Listed below are responses to each review comment provided in the Plat Comment Letter.

**Adherence to Subdivision Ordinance:**

1. Comment: 155.049 (B)(1)(b) Requires two means of access, a divided street or provisions to connect to future street extension. This has not been addressed for City action.

Response: Panorama Street will be connected to future public rights-of-way in the City's ETJ consistent with requirements of 155.049 (B)(1)(b).

2. Comment: 155.049 (B)(2) All platted lots to be connected to water line, looped system. A water line is required along the roadway with provision to connect to extension of the water system.

Response: No platted lots are the subject of this plat so 155.049 (B)(2) does not apply to the Street Plat.

3. Comment: 155.049(4) Drainage cannot adversely affect a joining property. Elevated roadway causes potential to back up water to property to the west. No channel design data proved to show water will not back up. Property to the east water is concentrated and not designed for overflow to pass through the adjoining property.

Response: Drainage does not adversely affect a joining property. The Street Plat design

plans provide for construction in a manner that prevents water back up on property to the west. The outfall design for the north pond dissipates flows with the use of a wide spillway design to spread the flow in a similar manner as existing conditions at the lowest receiving point.

4. Comment: 155.049(0) (2) boundary iron pins must be 1 inch in diameter and have a length of 18 inches.

Response: Applicant agrees with the information comment and understands and will comply with applicable regulations.

5. Comment: 155.049(F) No permanent benchmark is included in the design plans. Details of the benchmark are called for in this section of the subdivision ordinance.

Response: Existing benchmarks are included in the Street Plat plans. All required benchmarks will be set and paper descriptions shall be filed with the city prior to final inspection of the completed work consistent with the requirements of Section 155.049(F)(6).

6. Comment: 155.052(C)(4) Gregory Lane is required to be upgraded adjacent to this tract.

Response: Gregory Lane in its current condition is substandard. Applicant has no obligation to cure existing conditions not created by its new development. The portion of Gregory Lane adjacent to the Street Plat requires no improvements.

7. Comment: 155.052(18)(C)(b) Street sign is required at Gregory and Panaroma. Section 155.052(18)(a) requires the name to be approved by City P&Z.

Response: Street Plat plans depict a stop sign. Such plans will be updated to make clear the stop sign is a combination stop sign and street name sign. Applicant requests City P&Z approve the proposed street name Panorama.

8. Comment: 155.052(C)(13) Reserve strip is not allowed. Strip west side of ROW is not allowed.

Response: The strip on the west side of ROW is used to accommodate drainage requirements. Applicant willing to provide a public access easement over this required drainage area if requested to do so by the city.

9. Comment: 155.052(O) The reserve strip west of shown ROW must be Right of way and a drainage channel is required to be designed to convey storm water to point of concentration. Required water line will need to be in the right of way. Place the water line on the east side of shown Right of way.

Response: The strip on the west side of the ROW is used to accommodate drainage requirements. The Street Plat plans provide for drainage designed to convey storm water to the point of concentration. There is no required water line for the Street Plat because no lots are being platted.

10. Comment: 155.057 Private easement for electrical service (streetlights) is required.

Response: Applicant agrees with the information comment and understands and will comply with applicable regulations. A private easement for electric service will be granted by separate instrument and will not be included in the Street Plat.

11. Comment: 155.052 (15)(a) Streets shall be related approximately to the topography grade and shall conform to as closely as possible to the original topography. The elevated roadway is not acceptable.

Response: The original topography is modified only to the extent required to prevent flooding so does conform as closely as possible to the original.

12. Comment: 155.052(15)(b) Plans must show design speed for the vertical curves.

Response: Applicant will update the Street Plat plans to show design speed for the vertical curves.

13. Comment: 155.054(A)(1) Provide source and calculations that established the 100-year water surface. Maxwell Creek to the east is a studied reach.

Response: Calculations were provided for all on-site improvements. The Street Plat does not increase flows to Maxwell Creek so no calculations are required for it.

14. Comment: 155.054(A)(4) Provide calculations that roadway ditch in Gregory has adequate capacity and free board based on adding additional storm water to this channel. Improve the channel until capacity and freeboard can be achieved. Maxwell Creek is to the east of the proposed improvements.

Response: The Street Plat does not increase flows to the roadway ditch in Gregory so no calculations are required for it and no channel improvements are needed related to capacity or free board. The existing and proposed flow is the same in the roadway ditch for Gregory.

15. Comment: 155.054(B)(1) Provide details of outlet structure that is designed for the 2, 25, 50 and 100 year storm. Include the structural details for a V-notch or stepped weir.

Response: City design criteria does not require structural outfalls. All outfalls are earthen berms covered in rip-rap that are designed for the 2, 25, 50 and 100 year storm – see calculations provided in Street Plat plans.

16. Comment: 155.054(B)(6) Provide maintenance plan for the retention pond. Address aquatic growth, silt removal plan, mosquito control mowing plan and permanent erosion control measures.

Response: A maintenance plan will be provided if the city elects to own the improvement. Otherwise, no maintenance is required.

17. Comment: 155.051 Provide photometrics for street lights proposed and details for shield to keep light from adjoining properties.

Response: Photometrics and details will be provided if the city will not own the street lights. If the city will own the street lights, such information is not required.

18. Comment: 155.054(A)(3)(d) Include in erosion control methods requirements of this section of the subdivision ordinance including watering and fertilizing schedule.

Response: Such information is provided in the storm water pollution prevention plan (SWPPP).

19. Comment: 155.027(f)(v) Provide method to undercut rock if encountered place topsoil to establish vegetation.

Response: No rock will be encountered during construction of Panorama Street based on its design. Topsoil exists to establish vegetation.

20. Comment: 155.052 (17) Cul de Sac streets shall not be longer than 600 feet. The length of this street exceeds this requirement.

Response: Panorama Street is not a cul de sac. The temporary turn-around shown in the Street Plat plans will be removed when Panorama Street is connected to the street to be constructed on the adjacent ETJ property.

### **General Comments and Good Engineering Practice:**

21. Comment: Include in all reference to City standard “North Central Council of Governments Texas Standard Specifications for Public Works Construction”.

Response: Comment acknowledged.

22. Comment: Sheet numbering references 35 sheets, but there are 39 sheets in the set of plans.  
Response: Plans revised.

23. Comment: Sheet 1 add Note 5 for contractor to notify the City and City Inspector of all construction activities with a weekly look ahead.  
Response: Plans revised.

24. Comment: Preliminary Plat needs to include all easements by plat and not by separate instruments.  
Response: All easements are shown on the Street Plat. All separate instruments are offsite of the Street Plat.

25. Comment: Provide Lot and Block Number, appears it would be Block 1 Lot 1.  
Response: No platted lots are the subject of the Street Plat.

26. Comment: Call out Gregory Lane as a Private Road.  
Response: Street Plat revised.

27. Comment: Call out Retention Ponds as North Retention Pond and South Retention Pond (throughout plan set).

Response: Plans revised.

28. Comment: The Collin County Municipal Utility District No. 7 does not exist. Remove reference from plat.

Response: Street Plat revised.

29. Comment: Sheet 4 Provide details of new fences being proposed. Add note how to protect livestock when existing fences are removed.

Response: Plans revised, fencing for adjacent property to remain in place.

30. Comment: Provide TCEQ documents for the plugging of the water well. Provide notes to the method and requirements for the plugging of the water well.

Response: Owner will coordinate with a well driller to cap the well and submit the appropriate documentation to TCEQ prior to construction commencing.

31. Comment: Sheet 5 The contours do not reflect the roadway cross section. The 6-inch curbs are missing.

Response: The contours accurately depict the roadway including the curb as shown on sheets 11 & 12.

32. Comment: Sheet 5 All structural designs must be included in the construction plans. Your note by others is not acceptable. Designs must be completed by a Professional Engineer licensed in the State of Texas and be part of this set of construction plans.

Response: The note on sheet 5 is not applicable to this plan set and has been removed.

33. Comment: Sheet 8 In order for lime treatment to be permanent you must specify optimum lime. Include in note to run lime series testing every 150 feet, adjust application rate and provide all test reports to the city inspector as the process proceeds.

Response: Plans revised.

34. Comment: Sheet 9 Do not taper reinforced concrete to zero, at return to Gregory, as it will prematurely fail. Cut into Asphalt 18 inches and have an 18-inch-wide section to end to the pavement section. Fill between existing asphalt pavement and new concrete (transition section) with minimum 6 inches of asphalt (Type D) mechanically compacted in 2-inch lifts. Alternatively butt up to existing asphalt pavement with the 18-inch-wide concrete section and then place the asphalt transition section 12 to 18 inches into Gregory.

Response: Plans revised.

35. Comment: Sheet 9 Taper 6-inch monolithic curb down to zero as it approaches the existing asphalt section that does not have curbs. Need to avoid a road hazard on Gregory Lane.

Response: Plans revised.

36. Comment: Sheet 9 the proposed grade (solid line) stops at station 16+39.72 about 30 feet short of the existing, paving shown as a dashed line.

Response: The profile on sheet 9 shows the proposed grade up to the connection point at Gregory Lane. The projection of the proposed grade is shown with a dashed line through the driveway return. A label will be added to the profile for clarity.

37. Comment: Sheets 11 Cross section shows trapping water and a channel. Provide the channel grade sections and capacity on the west side of the roadway. Sheet 14 shows overflows from the retention ponds that discharge through property with no designed channel to reach Maxwell Creek. Positive overflow channel must be paved. Drainage easement required. Appears the North Retention pond should overflow into Gregory drainage ditch (Improved) and not through the middle of the adjacent property owner's property.

Response: Sheet 11 - Additional information will be added to show water is not being trapped. Sheet 14 – Per the existing drainage area map existing flows drain onto the adjacent property to the west at two natural low points. Very little drainage flows to Gregory Lane in existing conditions so it would not be appropriate to outfall the pond towards the road.

38. Comment: The storm drainage calculations show inefficiency of the system and creates a large number of inlets that are not needed. Allow run by to minimize inlets.

Response: Storm design and inlet calculations provide a dry lane for emergency access vehicle.

39. Comment: Sheet 16 The storm sewer system must be self-cleaning. In order to accomplish this a minimum of 2 feet per second must be achieved in all pipe segments.

Response: Comment acknowledged.

40. Comment: Sheet 19 Eliminate bends in the storm sewer system and utilize radius pipe. Eliminate 90 degree turns in the storm sewer system.

Response: Please provide the ordinance that states bends are not allowed for storm sewer systems.

41. Comment: Sheet 19 Provide a handrail detail for the called pedestrian rail.

Response: Handrail removed from plan set as sidewalk is not proposed.

42. Comment: Sheet 19 Provide depth of the rock rip rap. Include geotextile fabric as the foundation for the rip rap. Call out type of fabric proposed. Detail calls out for grouted rip rap and that will be required. Provide method for contractor to complete the grouted rip rap. Last few projects the grouting was of poor workmanship and concrete rip rap was utilized to solve the poor workmanship.

Response: Plans revised to call out depth of rock rip rap. All other information requested will be provided in the contractor's material submittals prior to construction.

43. Comment: Sheet 19 It is unclear how the outfall of Culvert 2 conveys storm water to the existing channel as the proposed and existing contours are not tied together.

Response: Plans revised.

44. Comment: Sheet 19 there appears to be footers at the outfall, but no dimensions or callouts are provided.

Response: Plans revised.

45. Comment: Sheet 19 Culvert 2 cross section shows a curb leave out that is not called out in the plan view.

Response: Curb leave out information will be called out on sheet 8.

46. Comment: Sheet 20 Show depth of rip rap and geotextile fabric as foundation.

Response: Plans revised to call out depth of rip rap. Information on the geotextile fabric will be provided by the contractor prior to construction.

47. Comment: Sheet 20 Culvert 3 section does not correspond to what is called out in the plan view.

Response: Please clarify what discrepancy this comment is referencing.

48. Comment: Sheet 20 Provide ASTM call out for RCP.

Response: Plans revised.

49. Comment: Sheet 20 Utilize radius pipe and eliminate bends.

Response: Please provide the ordinance that states bends are not allowed for storm sewer systems.

50. Comment: Sheet 20 show footer at end of SD6.

Response: Plans revised.

51. Comment: Sheet 20 The call out in plan view for SD6 and Lateral 6B appear reversed to correspond with the section.

Response: Please clarify what appears to be reversed on this sheet.

52. Comment: Sheet 21 Provide ASTM call out for RCP.

Response: Plans revised.

53. Comment: Sheet 21 Utilize radius pipe and not bends.

Response: Please provide the ordinance that states bends are not allowed for storm sewer systems.

54. Comment: Sheet 21 Provide footer on headwalls.

Response: Plans revised.

55. Comment: Sheet 22 Utilize radius pipe and not bends. Eliminate 90-degree configuration of storm sewer.

Response: Please provide the ordinance that states bends are not allowed for storm sewer systems.

56. Comment: Sheet 22 Call out ASTM and Class of RCP pipe.

Response: Plans revised.

57. Comment: Sheet 22 Provide footers on headwalls.

Response: Plans revised.

58. Comment: Sheet 23 Call out ASTM and class of RCP pipe.

Response: Plans revised.

59. Comment: Sheet 23 Utilize radius pipe and eliminate bends.

Response: Please provide the ordinance that states bends are not allowed for storm sewer systems.

60. Comment: Sheet 23 Utilize pipe wyes and not junction boxes for inlet laterals.

Response: Please provide the ordinance that states junction boxes cannot be used.

61. Comment: Sheet 24 SD4 reorientate to discharge normal to the flow of the channel it discharges into.

Response: This comment appears to conflict with comment #138, please clarify the request.

62. Comment: Sheet 24 SOS Eliminate bends, utilize radius pie of orientate pipe at angle out of drop inlet to pond.

Response: Please provide the ordinance that states bends are not allowed for storm sewer systems.

63. Comment: Sheet 24 Call out ASTM and class of RCP pipe.

Response: Plans revised.

64. Comment: Show footers on headwalls.

Response: Plans revised.

65. Comment: Sheet 29 Utilize radius pipe and eliminate bends in the storm sewer pipe.

Response: Please provide the ordinance that states bends are not allowed for storm sewer systems.

66. Comment: Sheet 29 Explain how overflow functions. How can it be lower than the 100-year water surface you are detaining?

Response: Please clarify this comment, the outfall for the north pond is an earthen weir armored with rip rap as shown on sheet 29. The top of the pond is 1.1' higher than the 100-yr water surface elevation.

67. Comment: Sheet 29 Show the freeboard in the elevation sections of the pond.

Response: Plans revised.

68. Comment: Sheet 29 Show drainage easement on adjacent tract that is required to convey flow from the overflow. Provide calculations to contain flow from overflow structure.

Response: Please provide ordinances that states a drainage easement is required from downstream property owner's if flows are being detained and runoff is not increasing.

69. Comment: Sheet 29 Show and dimension the keyway associated with the berm being constructed.

Response: Plans revised.

70. Comment: Sheet 29 Provide the outlet structure for the North Pond. Vee Notch or Stepped weir must be designed for the 1, 25, 50 and 100-year storms.

Response: The outlet structure for the north pond is an earthen weir armored with rip rap. Outfall calculations are provided on sheet 29.

71. Comment: Sheet 29 Provide the depth of the rock rip rap and the geotextile fabric

foundation.

Response: Plans revised to call out depth of rip rap. Information on the geotextile fabric will be provided by the contractor prior to construction.

72. Comment: Sheet 30 Utilize radius pipe and eliminate pipe bends in the storm sewer pipe.

Response: Please provide the ordinance that states bends are not allowed for storm sewer systems.

73. Comment: Sheet 30 Provide the depth of the rock rip rap and the geotextile fabric as foundation.

Response: Plans revised to call out depth of rip rap. Information on the geotextile fabric will be provided by the contractor prior to construction.

74. Comment: Explain how overflow functions. How can it be lower than the 100-year water surface you are detaining?

Response: Please clarify this comment. The emergency spillway for the southern pond is shown on sheet 30. The bottom of the spillway is at an elevation of 598.7' and the 100-yr water surface elevation is below it at an elevation of 598.6'.

75. Comment: Sheet 30 Show the freeboard in the in the elevation sections of the pond.

Response: Plans revised.

76. Comment: Sheet 30 Show and dimension the keyway associated with the berm being constructed.

Response: Plans revised.

77. Comment: Sheet 30 Provide the outlet structure for the South Pond. Vee Notch or Stepped Weir must be designed for the 1, 25, 50 and 100-year storm.

Response: The outlet structure for the southern pond is SD-4. The spillway is for emergency purposes only should SD-4 become clogged.

78. Comment: Sheet 30 Outlet pipe from the pond must be normal to the receiving channel.

Response: Response: This comment appears to conflict with comment #138, please clarify the request.

79. Comment: Sheet 31 Remove fire lane markings as this is a city street.

Response: Plans revised.

80. Comment: Sheet 31 Provide Dead End street sign at Gregory Lane, having at end of the street is too late to advise the public.

Response: Plans revised.

81. Comment: Sheet 31 Provide detail of sign and post. Include setting post in concrete.

Response: Plans revised.

82. Comment: Sheet 31 Remove no parking signs along city street.

Response: Plans revised.

83. Comment: Sheet 31 Provide street signs at the intersection of Gregory and Panorama. Include detail of sign and post. Set post in concrete.

Response: Plans depict a stop sign. Such plans will be updated to make clear the stop sign is a combination stop sign and street name sign. A detail will be added to the plan set.

84. Comment: Sheet 32 Provide in notes method to establish vegetation as set forth in subdivision comments. Provide notes on how to place curlex. Contractors without instructions continue to fail at this task.

Response: This information will be provided in the Stormwater Pollution Prevention Plan prior to construction.

85. Comment: Sheet 32 Provide note on what contractor is to do if they encounter rock in the excavation and how to undercut, import topsoil, compact and establish vegetation. Consider pinned solid sod on slopes.

Response: Plans revised.

86. Comment: Sheet 33 Acres stated in notes conflicts with Acres on plat.

Response: The acreage of the disturbed area includes all grading/drainage improvements to the support the roadway, but only the ROW for Panorama Street is being platted. The acreage will not match.

87. Comment: Sheet 33 Note 5 needs to remove the engineering division and be replaced with Public Works and City Inspector.

Response: Plans revised.

88. Comment: Sheet 33 Provide rock check dams at outfalls from the ponds prior to flow being conveyed to adjoining property. Consider rock check dams at inlet to culverts to minimize desilting pond prior to acceptance by the city.

Response: Plans revised.

89. Comment: Sheet 34 Driveway approach and Street Headers at railroads do not apply. There are no driveways proposed off the street and there are no railroads in the City of Parker.

Response: This detail covers three different scenarios for driveway approaches, the detail that isn't applicable has been crossed out.

90. Comment: Sheet 36 Sloped headwall detail needs to include geotextile fabric under rock. This detail does not match what is called out in the plan set?

Response: Please provide a City detail that includes geotextile fabric under rock.

91. Comment: Sheet 36 Modify manhole detail to show City of Parker on manhole cover.

Response: Please provide a City detail for the manhole cover.

### **General Notes:**

92. Comment: General Note 3 include ATMOS Gas in list of franchise Utilities you want contractor to contact.

Response: Plans revised.

93. Comment: General Note 8 Specifically call out for repairs to the substandard street

Gregory Lane and Gray Lane. Suggest you include haul route through city to this site. Include damage to Public property as part of this note.

Response: Gregory Lane in its current condition is substandard. Applicant has no obligation to cure existing conditions not created by its new development. Note 21 already covers contractor damage to existing roadways.

94. Comment: General Note 11 Include that those documents be made available to the City Inspector at all times.

Response: Plans revised.

95. Comment: General Note 12 Include City of Parker as part of approval process for change order that change the construction plans and specifications.

Response: Plans revised.

96. Comment: General Note 13 Change City Engineer to City Public Works.

Response: Plans revised.

97. Comment: General Note 15 Remove as no buildings are being proposed.

Response: Plans revised.

98. Comment: General Note 20 Remove as no work is being proposed in TxDot ROW.

Response: Plans revised.

99. Comment: General Note 21 Add to note that City of Parker will determine damage and determine acceptability of repair method or replacement. Completed repair or replacement work shall be subject to approval of the City of Parker.

Response: Plans revised.

100. Comment: General Note 27 Provide the referenced Rone geotechnical report in your next submittal.

Response: The report will be included in the next submittal.

101. Comment: Paving Note 1 Include reference to North Texas Council of Governments Standard Specifications.

Response: Plans revised.

102. Comment: Paving Note 2 Provide the testing frequency and what test are expected to be completed. Indicate which ones the City Inspector needs to be present for.

Response: Testing will be provided in accordance with City specifications.

103.Comment: Paving Note 7 Remove as there are no parking lots proposed.

Response: Plans revised.

104.Comment: Paving Note 10 Remove, no pavement marking on the public street is required or desired by the city.

Response: Plans revised.

105.Comment: Paving Note 11 Remove no sidewalks are proposed.

Response: Plans revised.

106.Comment: Paving Note 14 Remove no parking being provided. Construction plans show no parking signs.

Response: Plans revised.

107.Comment: Add to paving note timing to complete sawed dummy joints in the green concrete. Spalled sawed dummy joints will be rejected and slabs will need to be repoured. Add note that any new slabs that crack will be rejected, and new slabs will be required.

Response: Plans revised.

108.Comment: Grading Note 4 Revise note as no buildings are being proposed.

Response: Plans revised.

109.Comment: Grading Note 7 Provide the refenced Terracon geotechnical report in next submittal.

Response: Plans revised.

110.Comment: Grading Note 10 The plans are not clear on where fill comes from for the embankment. Provide clarification as this note requires the contractor to balance the cut and fill. The embankment requirements are unknown and if rock is encountered how does this work with the embankment.

Response: Additional information will be added to this note.

111.Comment: Grading note 12 Modify note to remove building pads and include structural plans as called for in the plans by others.

Response: Plans revised.

112.Comment: Grading Note 12 Excess material excavated shall be removed from the site. Do not allow random spreading of spoil materials once design grades are established.

Response: Plans revised.

113.Comment: Grading Note 14 does not make sense if you are lime treating the subgrade. Lime should be used with clay material only.

Response: Note will be deleted.

114.Comment: Grading Note 16 Why would you remove rock to bring in clay material? What do the soil boring you referenced in the notes tell you what will be encountered. Most of the road you propose is in a fill section.

Response: Note will be deleted. Excavation and subgrade prep will be in accordance with the geotechnical report and City specifications.

115.Comment: Grading Note 17 Modify note to clearly state compactive effort is my mechanical means.

Response: Plans revised.

**Storm Sewer Notes:**

116.Comment: Drainage Note 2 The plans do not call out any laterals to be plugged. Why is a plumber required to plug the laterals?

Response: Plans revised.

117.Comment: Drainage Note 5 Revise note to include North Central Texas Council of Governments Standard Specifications for Public Works Construction.

Response: Plans revised.

**Platting:**

118.Comment: 155.027 (1) (a) & 155.027 (m) Provide closure calculations.

Response: Closure calculations are not typically provided at preliminary will be provided.

119.Comment: 155.027 (1) (d) (3) Show all easements shown on plat. No separate instruments except for offsite easements.

Response: All easements are shown on Street Plat. All separate instruments are offsite of the Street Plat.

120.Comment: 155.027 (i) Provide name of subdivision.

Response: Name provided – Preliminary Plat of Panorama Street Entry.

121.Comment: 155.027 (o) Entry easement required.

Response: Access available through Gregory Lane.

122.Comment: 155.027 (5) Show required waterline.

Response: No required water line.

**Draining Design:**

123.Comment: Maintenance ramps are required for all ponds. Minimum width of 10-feet with a maximum slope of 15%. Provide driveway along Panorama. Response: Maintenance Ramp will be provided.

Response: Plans revised.

124.Comment: Standing water will create a nuisance and mosquito problem. Recommend an aerator for the retention ponds, maintained by other than the City.

Response: Comment acknowledged.

125.Comment: Grading contours do not connect to existing.

Response: Plans revised.

126.Comment: Verify downstream capacity exists in the alignment of the proposed discharges.

Response: All flows on the property are being detained to existing conditions and runoff is not increasing.

127.Comment: Pond outfalls are not adequate as they are creating adverse conditions by establishing point discharge where one does not exist today. Provide a downstream assessment through the zone of influence.

Response: The outfall for the north pond is a 50' wide weir, that allows the flow to spread out before leaving the property in a similar manner to existing conditions. The outfall for the southern pond is approximately 60 feet away from the property line which allows flows to spread prior to draining onto the adjacent property. The analysis points at the property boundary show less flow in proposed conditions compared to existing conditions. The next analysis point would be at the confluence of Maxwell Creek and at that point the project site would be less than 1% of the watershed and would not cause hydrologic or hydraulic impacts on the watershed thus we believe a downstream assessment should not be required.

128. Comment: Ponds are required to have a 10-foot crown width.

Response: Plans revised.

129.Comment: Install guard rail, or other safety device, where steep drop-off is proposed at the south headwall.

Response: The south headwall is located 20' from the edge of pavement and a curb will be added to the temporary turnaround to prevent cars from driving off of the roadway in lieu of guardrail.

130.Comment: The proposed system shows submerged outlets, deeper than required. This will create large amounts of standing water in the pipes. Maintenance of the lines will be problematic for the City. Revise the design so as the system can be maintained.

131.Response: Please provide the ordinance that states submerged outlets aren't allowed. Storm lines will be deeper than typical to ensure minimum and maximum velocities in the pipe are maintained.

132.Comment: Maximum discharge velocity is 8 feet-per-second.

Response: Plans revised.

133.Comment: Top of Wye Inlet on SDS is below the normal pool elevation of the pond. The pond will drain via this inlet.

Response: Please clarify this comment, the throat of the inlet (elev.596.2') is above the normal pool (elev. 594.7').

134.Comment: Clearly label what is considered the primary outlet of the ponds and the emergency.

Response: Plans revised.

135.Comment: A calculation summary for the pond hydrographs shall be provided on the plans. Submit a separate report to the City for review including routing calculations used to demonstrate that the stage volume and outlet structure configuration are adequate.

Response: A separate report will be provided.

136.Comment: On the drainage area map, clearly show the pre-developed and post developed run-off rate at the point of discharge.

Response: Plans revised.

137.Comment: Cross-sections on sheets 29 and 30 are difficult to read. Provide additional detail and labels.

Response: Plans revised.

138.Comment: Revise the orientation of the southern retention pond to convey discharge in the direction of the flow and not at a 90-degree angle creating an erosive condition.

Response: This comment appears to conflict with comment #79, please clarify the request.

139.Comment: Provide a channel profile and cross-sections of the drainage to the west of the proposed roadway. The adjacent property cannot be utilized as part of the proposed

channel without a drainage easement. Include hydraulic calculations on the profile and cross-sections.

Response: Comment acknowledged. Additional information will be added to the plans.

140. Comment: Show the proposed drainage easements downstream until adequate outfall is determined. Easements shall extend 10-feet beyond the top of bank on each side.

Response: No downstream drainage easements are proposed as the site's flows are being detained and runoff is not increasing. Drainage leaves the site at two natural low points that are already conveying existing flows.

141. Comment: Revise inlet calculations to show the required 50% reduction of capacity for a drop inlet.

Response: Reduction is being accounted for within the formula in the spreadsheet, the calculations will be shown on the plan sheet for reference.

142. Comment: (1) is shown as a notation on the storm pipe calculations but is not included in the legend.

Response: Plans revised.

143. Comment: For each culvert, extend the survey information on the profile 200-feet upstream and downstream of the culvert so that the channel alignment is evident.

Response: Plans revised.

144. Comment: Culverts that could become part of a closed pipe system are required to be designed to handle a fully developed drainage area. It is likely the large lot to the west will eventually be redeveloped.

Response: Should the area to the west be redeveloped we anticipate the owner will be required to detain their flows to existing conditions per the City ordinances.

Consistent with the requirements of Texas law and Parker regulations, we respectfully request the Plat & Engineering Plans for Panorama Street be approved.

Respectfully,



Michelle Tilotta, P.E.  
Project Manager

# **BIRKHOFF, HENDRICKS & CARTER, L.L.P.**

## **PROFESSIONAL ENGINEERS**

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CRAIG M. KERKHOFF, P.E., CFM  
JUSTIN R. IVY, P.E.  
COOPER E. REINBOLD, P.E.

July 13, 2023

Mr. Gary Machado  
City of Parker  
5700 E. Parker Rd.  
Parker, Texas 75002

Re: Panorama Street  
Preliminary Plat and Engineering Plan Review

Dear Mr. Machado:

As you requested, we have reviewed the Preliminary Plat & Engineering Plans for the Panorama Street Addition prepared by LJA Engineering, Inc. These documents include a new street and is therefore considered a major subdivision under section 155.025 of subdivision ordinance.

Our review of the documents is for general compliance with the City of Parker's development requirements and good engineering practice and does not relieve the engineer of record of his responsibilities under the Texas Engineering Practice Act. Listed below are our review comments.

### Adherence to Subdivision Ordinance:

1. 155.049 (B)(1)(b) Requires two means of access, a divided street or provisions to connect to future street extension. This has not been addressed for City action.
2. 155.049 (B)(2) All platted lots to be connected to water line, looped system. A water line is required along the roadway with provision to connect to extension of the water system.
3. 155.049(4) Drainage cannot adversely affect a joining property. Elevated roadway causes potential to back up water to property to the west. No channel design data proved to show water will not back up. Property to the east water is concentrated and not designed for overflow to pass through the adjoining property.
4. 155.049(D) (2) boundary iron pins must be 1 inch in diameter and have a length of 18 inches.
5. 155.049(F) No permanent benchmark is included in the design plans. Details of the benchmark are called for in this section of the subdivision ordinance.
6. 155.052(C)(4) Gregory Lane is required to be upgraded adjacent to this tract.
7. 155.052(18)(C)(b) Street sign is required at Gregory and Panorama. Section 155.052(18)(a) requires the name to be approved by City P&Z.
8. 155.052(C)(13) Reserve strip is not allowed. Strip west side of ROW is not allowed.
9. 155.052(D) The reserve strip west of shown ROW must be Right of way and a drainage channel is required to be designed to convey storm water to point of concentration. Required water line will need to be in the right of way. Place the water line on the east side of shown Right of way.
10. 155.057 Private easement for electrical service (streetlights) is required.
11. 155.052 (15)(a) Streets shall be related approximately to the topography grade and shall conform to as closely as possible to the original topography. The elevated roadway is not acceptable.
12. 155.052(15)(b) Plans must show design speed for the vertical curves.

13. 155.054(A)(1) Provide source and calculations that established the 100-year water surface. Maxwell Creek to the east is a studied reach.
14. 155.054(A)(4) Provide calculations that roadway ditch in Gregory has adequate capacity and free board based on adding additional storm water to this channel. Improve the channel until capacity and freeboard can be achieved. Maxwell Creek is to the east of the proposed improvements.
15. 155.054(B)(1) Provide details of outlet structure that is designed for the 2, 25, 50 and 100 year storm. Include the structural details for a V-notch or stepped weir.
16. 155.054(B)(6) Provide maintenance plan for the retention pond. Address aquatic growth, silt removal plan, mosquito control mowing plan and permanent erosion control measures.
17. 155.051 Provide photometrics for street lights proposed and details for shield to keep light from adjoining properties.
18. 155.054(A)(3)(d) Include in erosion control methods requirements of this section of the subdivision ordinance including watering and fertilizing schedule.
19. 155.027(f)(v) Provide method to undercut rock if encountered place topsoil to establish vegetation.
20. 155.052 (17) Cul de Sac streets shall not be longer than 600 feet. The length of this street exceeds this requirement.

#### General Comments and Good Engineering Practice

21. Include in all reference to City standard "North Central Council of Governments Texas Standard Specifications for Public Works Construction".
22. Sheet numbering references 35 sheets, but there are 39 sheets in the set of plans.
23. Sheet 1 add Note 5 for contractor to notify the City and City Inspector of all construction activities with a weekly look ahead.
24. Preliminary Plat needs to include all easements by plat and not by separate instruments.
25. Provide Lot and Block Number, appears it would be Block 1 Lot 1.
26. Call out Gregory Lane as a Private Road.
27. Call out Retention Ponds as North Retention Pond and South Retention Pond (throughout plan set).
28. The Collin County Municipal Utility District No. 7 does not exist. Remove reference from plat.
29. Sheet 4 Provide details of new fences being proposed. Add note how to protect livestock when existing fences are removed.
30. Provide TCEQ documents for the plugging of the water well. Provide notes to the method and requirements for the plugging of the water well.
31. Sheet 5 The contours do not reflect the roadway cross section. The 6-inch curbs are missing.
32. Sheet 5 All structural designs must be included in the construction plans. Your note by others is not acceptable. Designs must be completed by a Professional Engineer licensed in the State of Texas and be part of this set of construction plans.
33. Sheet 8 In order for lime treatment to be permanent you must specify optimum lime. Include in note to run lime series testing every 150 feet, adjust application rate and provide all test reports to the city inspector as the process proceeds.
34. Sheet 9 Do not taper reinforced concrete to zero, at return to Gregory, as it will prematurely fail. Cut into Asphalt 18 inches and have an 18-inch-wide section to end to the pavement section. Fill between existing asphalt pavement and new concrete (transition section) with minimum 6 inches of asphalt (Type D) mechanically compacted in 2-inch lifts. Alternatively butt up to existing asphalt pavement with the 18-inch-wide concrete section and then place the asphalt transition section 12 to 18 inches into Gregory.
35. Sheet 9 Taper 6-inch monolithic curb down to zero as it approaches the existing asphalt section that does not have curbs. Need to avoid a road hazard on Gregory Lane.
36. Sheet 9 the proposed grade (solid line) stops at station 16+39.72 about 30 feet short of the existing paving shown as a dashed line.
37. Sheets 11 Cross section shows trapping water and a channel. Provide the channel grade sections and capacity on the west side of the roadway.

38. Sheet 14 shows overflows from the retention ponds that discharge through property with no designed channel to reach Maxwell Creek. Positive overflow channel must be paved. Drainage easement required. Appears the North Retention pond should overflow into Gregory drainage ditch (Improved) and not through the middle of the adjacent property owner's property.
39. The storm drainage calculations show inefficiency of the system and creates a large number of inlets that are not needed. Allow run by to minimize inlets.
40. Sheet 16 The storm sewer system must be self-cleaning. In order to accomplish this a minimum of 2 feet per second must be achieved in all pipe segments.
41. Sheet 19 Eliminate bends in the storm sewer system and utilize radius pipe. Eliminate 90 degree turns in the storm sewer system.
42. Sheet 19 Provide a handrail detail for the called pedestrian rail.
43. Sheet 19 Provide depth of the rock rip rap. Include geotextile fabric as the foundation for the rip rap. Call out type of fabric proposed. Detail calls out for grouted rip rap and that will be required. Provide method for contractor to complete the grouted rip rap. Last few projects the grouting was of poor workmanship and concrete rip rap was utilized to solve the poor workmanship.
44. Sheet 19 It is unclear how the outfall of Culvert 2 conveys storm water to the existing channel as the proposed and existing contours are not tied together.
45. Sheet 19 there appears to be footers at the outfall, but no dimensions or callouts are provided.
46. Sheet 19 Culvert 2 cross section shows a curb leave out that is not called out in the plan view.
47. Sheet 20 Show depth of rip rap and geotextile fabric as foundation.
48. Sheet 20 Culvert 3 section does not correspond to what is called out in the plan view.
49. Sheet 20 Provide ASTM call out for RCP.
50. Sheet 20 Utilize radius pipe and eliminate bends.
51. Sheet 20 show footer at end of SD6.
52. Sheet 20 The call out in plan view for SD6 and Lateral 6B appear reversed to correspond with the section.
53. Sheet 21 Provide ASTM call out for RCP.
54. Sheet 21 Utilize radius pipe and not bends.
55. Sheet 21 Provide footer on headwalls.
56. Sheet 22 Utilize radius pipe and not bends. Eliminate 90-degree configuration of storm sewer.
57. Sheet 22 Call out ASTM and Class of RCP pipe.
58. Sheet 22 Provide footers on headwalls.
59. Sheet 23 Call out ASTM and class of RCP pipe.
60. Sheet 23 Utilize radius pipe and eliminate bends.
61. Sheet 23 Utilize pipe wyes and not junction boxes for inlet laterals.
62. Sheet 24 SD4 reorientate to discharge normal to the flow of the channel it discharges into.
63. Sheet 24 SD5 Eliminate bends, utilize radius pie of orientate pipe at angle out of drop inlet to pond.
64. Sheet 24 Call out ASTM and class of RCP pipe.
65. Show footers on headwalls.
66. Sheet 29 Utilize radius pipe and eliminate bends in the storm sewer pipe.
67. Sheet 29 Explain how overflow functions. How can it be lower than the 100-year water surface you are detaining?
68. Sheet 29 Show the freeboard in the elevation sections of the pond.
69. Sheet 29 Show drainage easement on adjacent tract that is required to convey flow from the overflow. Provide calculations to contain flow from overflow structure.
70. Sheet 29 Show and dimension the keyway associated with the berm being constructed.
71. Sheet 29 Provide the outlet structure for the North Pond. Vee Notch or Stepped weir must be designed for the 1, 25, 50 and 100-year storms.
72. Sheet 29 Provide the depth of the rock rip rap and the geotextile fabric foundation.
73. Sheet 30 Utilize radius pipe and eliminate pipe bends in the storm sewer pipe.
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80. Sheet 31 Remove fire lane markings as this is a city street.
81. Sheet 31 Provide Dead End street sign at Gregory Lane, having at end of the street is too late to advise the public.
82. Sheet 31 Provide detail of sign and post. Include setting post in concrete.
83. Sheet 31 Remove no parking signs along city street.
84. Sheet 31 Provide street signs at the intersection of Gregory and Panorama. Include detail of sign and post. Set post in concrete.
85. Sheet 32 Provide in notes method to establish vegetation as set forth in subdivision comments. Provide notes on how to place curlex. Contractors without instructions continue to fail at this task.
86. Sheet 32 Provide note on what contractor is to do if they encounter rock in the excavation and how to undercut, import topsoil, compact and establish vegetation. Consider pinned solid sod on slopes.
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91. Sheet 36 Sloped headwall detail needs to include geotextile fabric under rock. This detail does not match what is called out in the plan set?
92. Sheet 36 Modify manhole detail to show City of Parker on manhole cover.

### General Notes

93. General Note 3 include ATMOS Gas in list of franchise Utilities you want contractor to contact.
94. General Note 8 Specifically call out for repairs to the substandard street Gregory Lane and Gray Lane. Suggest you include haul route through city to this site. Include damage to Public property as part of this note.
95. General Note 11 Include that those documents be made available to the City Inspector at all times.
96. General Note 12 Include City of Parker as part of approval process for change order that change the construction plans and specifications.
97. General Note 13 Change City Engineer to City Public Works.
98. General Note 15 Remove as no buildings are being proposed.
99. General Note 20 Remove as no work is being proposed in TxDot ROW.
100. General Note 21 Add to note that City of Parker will determine damage and determine acceptability of repair method or replacement. Completed repair or replacement work shall be subject to approval of the City of Parker.
101. General Note 27 Provide the referenced Rone geotechnical report in your next submittal.
102. Paving Note 1 Include reference to North Texas Council of Governments Standard Specifications.
103. Paving Note 2 Provide the testing frequency and what test are expected to be completed. Indicate which ones the City Inspector needs to be present for.
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- 108. Add to paving note timing to complete sawed dummy joints in the green concrete. Spalled sawed dummy joints will be rejected and slabs will need to be repoured. Add note that any new slabs that crack will be rejected, and new slabs will be required.
- 109. Grading Note 4 Revise note as no buildings are being proposed.
- 110. Grading Note 7 Provide the referenced Terracon geotechnical report in next submittal.
- 111. Grading Note 10 The plans are not clear on where fill comes from for the embankment. Provide clarification as this note requires the contractor to balance the cut and fill. The embankment requirements are unknown and if rock is encountered how does this work with the embankment.
- 112. Grading note 12 Modify note to remove building pads and include structural plans as called for in the plans by others.
- 113. Grading Note 12 Excess material excavated shall be removed from the site. Do not allow random spreading of spoil materials once design grades are established.
- 114. Grading Note 14 does not make sense if you are lime treating the subgrade. Lime should be used with clay material only.
- 115. Grading Note 16 Why would you remove rock to bring in clay material? What do the soil boring you referenced in the notes tell you what will be encountered. Most of the road you propose is in a fill section.
- 116. Grading Note 17 Modify note to clearly state compactive effort is my mechanical means.

#### Storm Sewer Notes

- 117. Drainage Note 2 The plans do not call out any laterals to be plugged. Why is a plumber required to plug the laterals?
- 118. Drainage Note 5 Revise note to include North Central Texas Council of Governments Standard Specifications for Public Works Construction.

#### Platting

- 119. 155.027 (1) (a) & 155.027 (m) Provide closure calculations.
- 120. 155.027 (1) (d) (3) Show all easements shown on plat. No separate instruments except for offsite easements.
- 121. 155.027 (i) Provide name of subdivision.
- 122. 155.027 (o) Entry easement required.
- 123. 155.027 (5) Show required waterline.

#### Draining Design

- 124. Maintenance ramps are required for all ponds. Minimum width of 10-feet with a maximum slope of 15%. Provide driveway along Panorama.
- 125. Standing water will create a nuisance and mosquito problem. Recommend an aerator for the retention ponds, maintained by other than the City.
- 126. Grading contours do not connect to existing.
- 127. Verify downstream capacity exists in the alignment of the proposed discharges.
- 128. Pond outfalls are not adequate as they are creating adverse conditions by establishing point discharge where one does not exist today. Provide a downstream assessment through the zone of influence.
- 129. Ponds are required to have a 10-foot crown width.
- 130. Install guard rail, or other safety device, where steep drop-off is proposed at the south headwall.

131. The proposed system shows submerged outlets, deeper than required. This will create large amounts of standing water in the pipes. Maintenance of the lines will be problematic for the City. Revise the design so as the system can be maintained.
132. Maximum discharge velocity is 8 feet-per-second.
133. Top of Wye Inlet on SD5 is below the normal pool elevation of the pond. The pond will drain via this inlet.
134. Clearly label what is considered the primary outlet of the ponds and the emergency.
135. A calculation summary for the pond hydrographs shall be provided on the plans. Submit a separate report to the City for review including routing calculations used to demonstrate that the stage volume and outlet structure configuration are adequate.
136. On the drainage area map, clearly show the pre-developed and post developed run-off rate at the point of discharge.
137. Cross-sections on sheets 29 and 30 are difficult to read. Provide additional detail and labels.
138. Revise the orientation of the southern retention pond to convey discharge in the direction of the flow and not at a 90-degree angle creating an erosive condition.
139. Provide a channel profile and cross-sections of the drainage to the west of the proposed roadway. The adjacent property cannot be utilized as part of the proposed channel without a drainage easement. Include hydraulic calculations on the profile and cross-sections.
140. Show the proposed drainage easements downstream until adequate outfall is determined. Easements shall extend 10-feet beyond the top of bank on each side.
141. Revise inlet calculations to show the required 50% reduction of capacity for a drop inlet.
142. (1) is shown as a notation on the storm pipe calculations but is not included in the legend.
143. For each culvert, extend the survey information on the profile 200-feet upstream and downstream of the culvert so that the channel alignment is evident.
144. Culverts that could become part of a closed pipe system are required to be designed to handle a fully developed drainage area. It is likely the large lot to the west will eventually be redeveloped.

We are available at your convenience to discuss our findings.

Sincerely,



John W. Birkhoff, P.E.

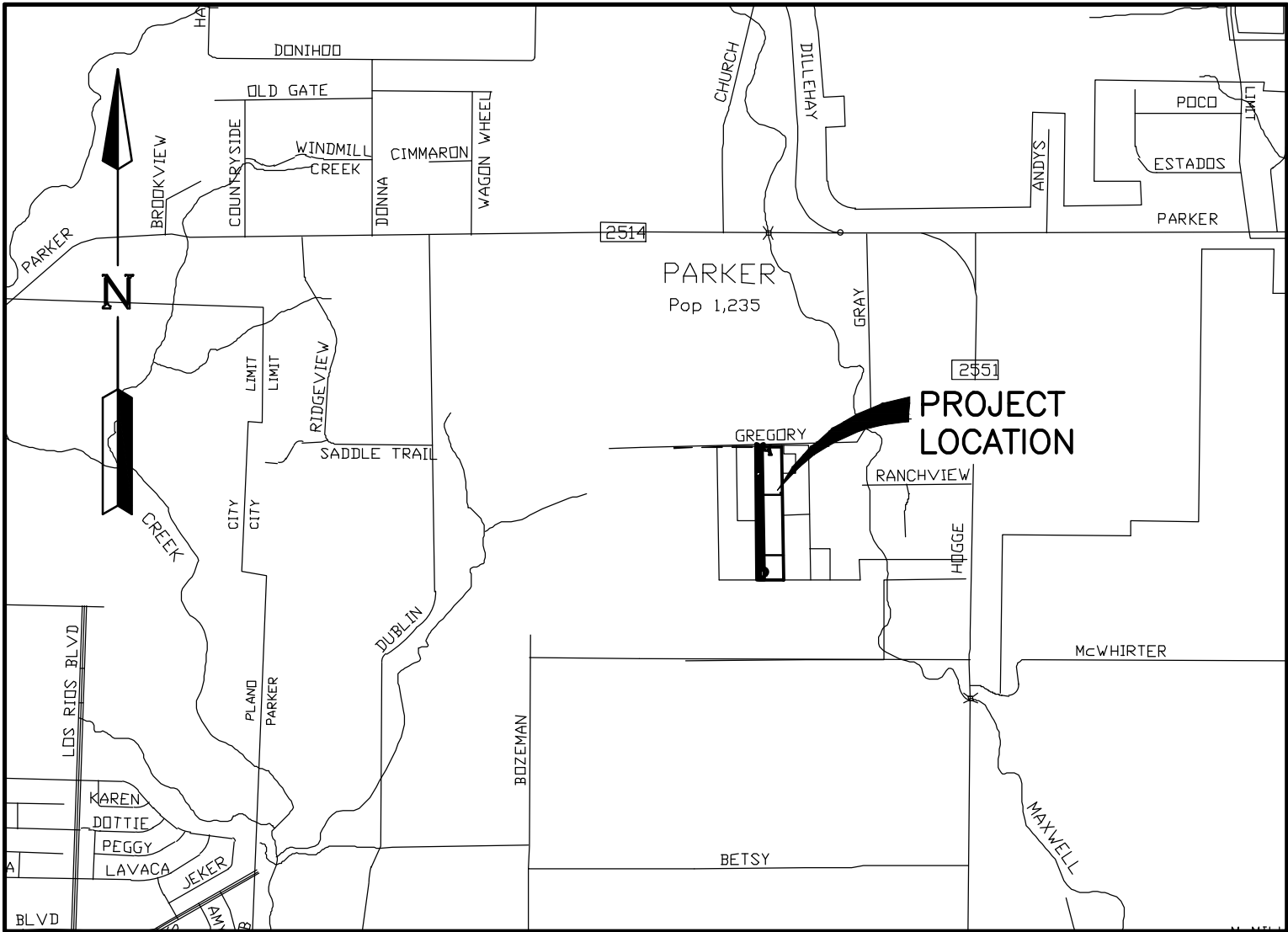
CONSTRUCTION PLANS  
FOR  
GRADING, PAVING,  
& DRAINAGE FACILITIES  
TO SERVE

PANORAMA STREET  
CITY OF PARKER  
COLLIN COUNTY, TEXAS

JUNE 2023

NOTES:

1. ALL CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF PARKER STANDARDS AND SPECIFICATIONS.
2. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. NEITHER THE OWNER, DEVELOPER, NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND /OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL FRANCHISE AND CITY UTILITIES PRIOR TO CONSTRUCTION.
3. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING FACILITY RESULTING DIRECTLY OR INDIRECTLY FROM THEIR OPERATIONS. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
4. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE DEVELOPER.



VICINITY MAP  
1" = 2000'

SHEET INDEX

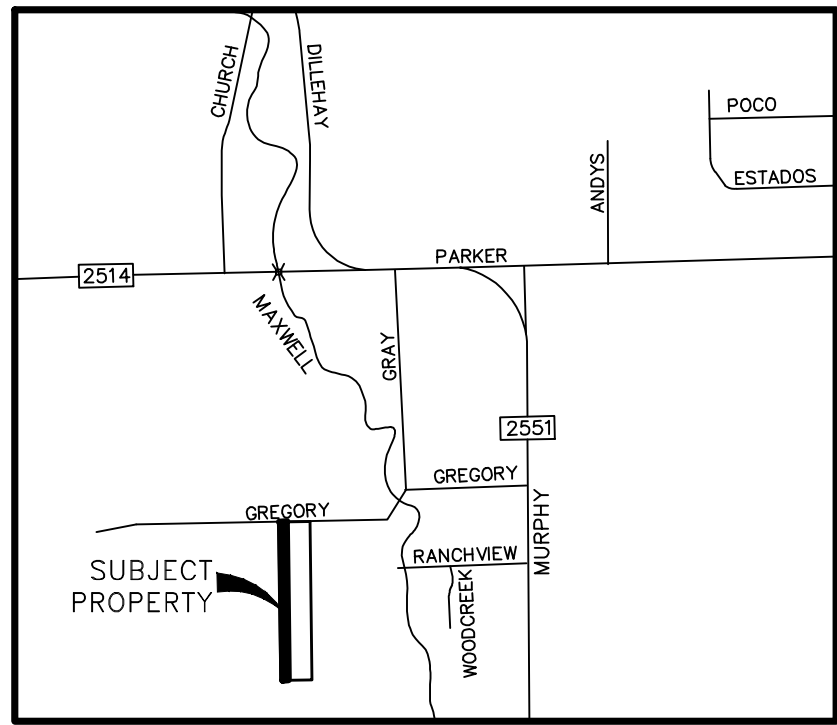
1. COVER SHEET
2. PRELIMINARY PLAT
3. GENERAL NOTES
4. DEMOLITION PLAN
5. GRADING PLAN
6. GRADING PLAN
7. GRADING PLAN
8. PAVING PLAN & PROFILE – PANORAMA STREET
9. PAVING PLAN & PROFILE – PANORAMA STREET
10. OVERALL SECTIONS PLAN
11. CROSS SECTIONS – STA 0+00 TO 14+00
12. CROSS SECTIONS – STA 15+00 TO 16+50
13. EXISTING DRAINAGE AREA MAP
14. POST-DEVELOPMENT DRAINAGE AREA MAP
15. DRAINAGE CALCULATIONS
16. DRAINAGE CALCULATIONS
17. DRAINAGE CALCULATIONS
18. DRAINAGE CALCULATIONS
19. STORM DRAIN PLAN & PROFILE – CULVERT 1 & CULVERT 2
20. STORM DRAIN PLAN & PROFILE – CULVERT 3 & SD 6
21. STORM DRAIN PLAN & PROFILE – SD 1, LAT 1B, LAT 1C
22. STORM DRAIN PLAN & PROFILE – SD 2 & LAT 2B
23. STORM DRAIN PLAN & PROFILE – SD 3 & LAT 3B
24. STORM DRAIN PLAN & PROFILE – SD 4 & SD 5
25. STORM DRAIN PLAN & PROFILE – LAT 1D, 1E, 1F, 2C, 2D, 2E, 2F, & 2G
26. STORM DRAIN PLAN & PROFILE – LAT 2H, 2J, 2K, 2L, 2M, 3C, 3D, & 3E
27. STORM DRAIN PLAN & PROFILE – LAT 3F, 3G, 3H, 3J, 3K, 3L, 3M, & 3N
28. STORM DRAIN PLAN & PROFILE – LAT 3P, 3Q, & 3R
29. DETENTION PLAN – NORTH POND
30. DETENTION PLAN – SOUTH POND
31. STREET LIGHT AND SIGNAGE PLAN
32. EROSION CONTROL PLAN
33. EROSION CONTROL DETAILS
34. PAVING DETAILS
35. STORM DETAILS
36. STORM DETAILS
37. STORM DETAILS
38. STORM DETAILS
39. STORM DETAILS

OWNER/DEVELOPER:  
GREGORY LANE , LLC  
3510 DUBLIN RD  
PARKER, TEXAS 75002-6516

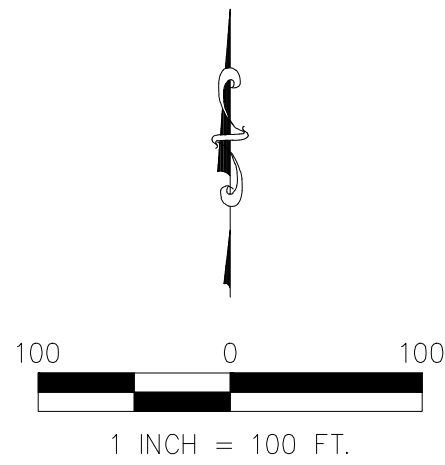
ENGINEER:  
**LJA Engineering, Inc.**  
6060 North Central Expressway  
Suite 400  
Dallas, Texas 75206  
Phone 469.621.0710  
FRN - F-1386



|  |                                    |
|--|------------------------------------|
| <p><u>PRELIMINARY</u></p> <p>THIS DOCUMENT IS RELEASED<br/>FOR THE PURPOSE OF<br/>REVIEW</p> <p>UNDER THE AUTHORITY OF<br/>VERONICA B. HADLEY, TEXAS P.E.<br/>#143748 ON<br/>06 27 2023</p> <p>THIS DOCUMENT IS NOT TO BE<br/>USED FOR THE PURPOSES OF<br/>CONSTRUCTION.</p> | LJA PROJECT ID<br>NT561-0133       |
|  | DATE: JUN 2023                     |
|  | DESIGN: MARTINEZ                   |
|  | DRAWN: MARTINEZ                    |
|  | SCALE<br>HORZ: N/A<br>VERT: N/A    |
|  | SHEET<br><br>1<br><br>OF 35 SHEETS |



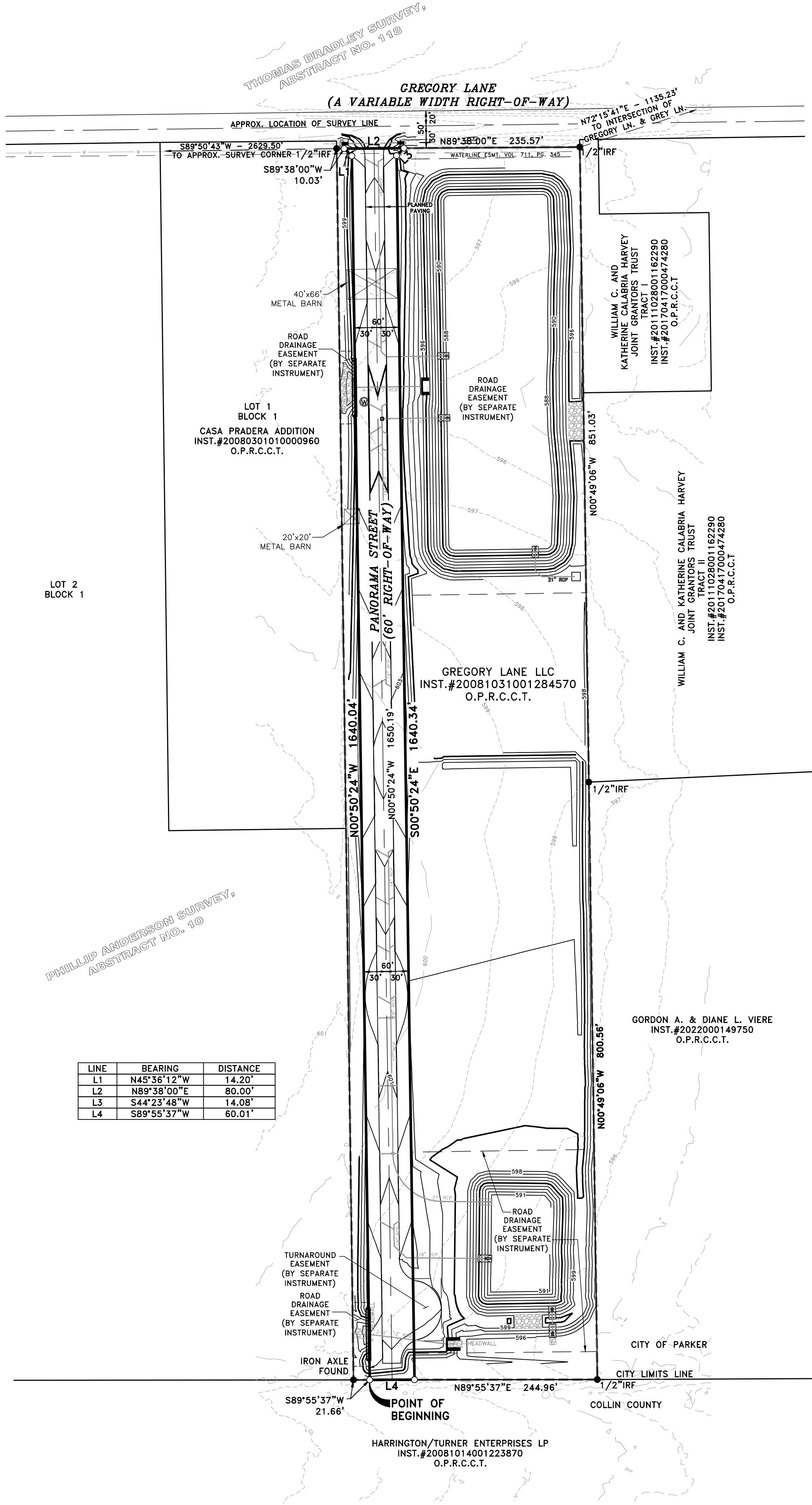
VICINITY MAP  
NOT TO SCALE



PHILLIP ANDERSON SURVEY,  
ABSTRACT NO. 10

| LINE | BEARING     | DISTANCE |
|------|-------------|----------|
| L1   | N45°36'12"W | 14.20'   |
| L2   | N89°38'00"E | 80.00'   |
| L3   | S44°23'48"W | 14.08'   |
| L4   | S89°55'37"W | 60.01'   |

- LEGEND**
- IRF CAPPED IRON ROD SET
  - ⊙ IRON ROD FOUND
  - ⊙ WATER WELL
  - O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
  - INST.# INSTRUMENT NO.
  - (CM) CONTROLLING MONUMENT
  - EXISTING GRADE
  - PROPOSED GRADE
  - STORM DRAIN
  - PROPOSED EASEMENTS
  - W EXISTING 8" WATERLINE
  - PROPOSED EROSION CONTROL



OWNER'S DEDICATION

STATE OF TEXAS )  
COUNTY OF COLLIN )

WHEREAS GREGORY LANE LLC IS THE OWNER OF A 2.275 ACRE TRACT OF LAND SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10, CITY OF PARKER, COLLIN COUNTY, TEXAS, AND BEING PART OF A TRACT OF LAND CONVEYED TO GREGORY LANE LLC, AS RECORDED IN INSTRUMENT NO. 20081031001284570, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEING 2.275 ACRES OF LAND SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10, CITY OF PARKER, COLLIN COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED TO GREGORY LANE LLC BY DEED RECORDED IN INSTRUMENT NO. 20081031001284570, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A CAPPED IRON ROD SET ON THE SOUTH LINE OF SAID GREGORY LANE TRACT, FROM WHICH AN IRON AXLE FOUND FOR THE SOUTHEAST CORNER OF THE CASA PRADERA ADDITION, AN ADDITION TO THE CITY OF PARKER, COLLIN COUNTY, TEXAS BY PLAT RECORDED IN INSTRUMENT NO. 20080301010000960 OF SAID OFFICIAL PUBLIC RECORDS BEARS SOUTH 89°55'37" WEST, A DISTANCE OF 21.66 FEET;

THENCE NORTH 00°50'24" WEST, OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 1640.04 FEET TO A CAPPED IRON ROD SET;

THENCE NORTH 45°36'12" WEST, CONTINUING OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 14.20 FEET TO A CAPPED IRON ROD SET ON THE SOUTH RIGHT-OF-WAY LINE OF GREGORY LANE, A VARIABLE-WIDTH RIGHT-OF-WAY, FROM WHICH A 1/2-INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAME TRACT BEARS SOUTH 89°38'00" WEST, A DISTANCE OF 10.03 FEET;

THENCE NORTH 89°38'00" EAST, WITH SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 80.00 FEET TO A CAPPED IRON ROD SET, FROM WHICH A 1/2-INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID GREGORY LANE TRACT BEARS NORTH 89°38'00" EAST, A DISTANCE OF 235.57 FEET;

THENCE SOUTH 44°23'48" WEST, OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 14.08 FEET TO A CAPPED IRON ROD SET;

THENCE SOUTH 00°50'24" EAST, CONTINUING OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 1640.34 FEET TO A CAPPED IRON ROD SET ON THE SOUTH LINE OF SAME TRACT, FROM WHICH A 1/2-INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID GREGORY LANE TRACT BEARS NORTH 89°55'37" EAST, A DISTANCE OF 244.96 FEET;

THENCE SOUTH 89°55'37" WEST, WITH THE SOUTH LINE OF SAID GREGORY LANE TRACT, A DISTANCE OF 60.01 FEET TO THE POINT OF BEGINNING AND CONTAINING A CALCULATED AREA OF 2.275 ACRES (99,111 SQ. FEET) OF LAND.

TO BE KNOWN AS:

PANORAMA STREET

AN ADDITION TO THE CITY OF PARKER, COLLIN COUNTY, TEXAS AND DO HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE EASEMENTS AND RIGHTS-OF-WAY AS SHOWN HEREON. AT THE CITY'S OPTION, PANORAMA STREET AND ALL DRAINAGE FACILITIES THAT SUPPORT IT WILL BE OWNED AND MAINTAINED BY THE CITY OR BY COLLIN COUNTY MUNICIPAL UTILITY DISTRICT NO. 7.

EXECUTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2023.

GREGORY LANE, LLC  
A TEXAS LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_  
NAME: MARGARET E. TURNER  
TITLE: DIRECTOR

STATE OF TEXAS )  
COUNTY OF \_\_\_\_\_ )

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2023

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, AARON C. BROWN, REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON DOES ACCURATELY REPRESENT THE PROPERTY AS DETERMINED BY AN ON THE GROUND SURVEY, MADE UNDER MY DIRECT SUPERVISION, AND THAT ALL CORNERS ARE AS SHOWN.

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT**

AARON C. BROWN  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6702

DATE: \_\_\_\_\_

**NOTES**

- HORIZONTAL DATUM: THE BEARING BASIS IS GRID NORTH, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NAD83 (NAD83 2011) EPOCH 2010, AS DETERMINED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN HEREON ARE THE RESULT OF THE APPLICATION OF A COMBINED SCALE FACTOR OF 1.0001527100.
- ALL SET CORNERS ARE 1 INCH IRON RODS WITH PLASTIC CAPS STAMPED "LJA SURVEYING" UNLESS OTHERWISE NOTED.
- SUBJECT TRACT IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATION OF ZONE "X" (UNSHADED), BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SCALED FROM FLOOD INSURANCE RATE MAP NO. 48065C0415J, DATED JUNE 2, 2009 IN COLLIN COUNTY, STATE OF TEXAS.
- SUBJECT TRACT LIES WITHIN THE BOUNDS OF THE PLANO INDEPENDENT SCHOOL DISTRICT.
- ROAD DRAINAGE EASEMENT BY SEPARATE INSTRUMENT TO BE PROVIDED AT THE TIME OF FINAL PLAT.

**CITY APPROVAL CERTIFICATE**

RECOMMENDED FOR APPROVAL:

CHAIRMAN, PLANNING AND ZONING COMMISSION  
CITY OF PARKER, TEXAS

DATE

APPROVED AND ACCEPTED:

MAYOR, CITY OF PARKER, TEXAS

DATE

THE UNDERSIGNED, THE CITY SECRETARY OF THE CITY OF PARKER, HEREBY CERTIFIES THAT THE FOREGOING PRELIMINARY PLAT OF PANORAMA STREET, A SUBDIVISION OR ADDITION TO THE CITY OF PARKER WAS SUBMITTED TO THE CITY COUNCIL ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023, AND THE CITY COUNCIL BY FORMAL ACTION THEN AND THERE ACCEPTED THE DEDICATION OF STREETS, ALLEYS, EASEMENTS AND PUBLIC PLACES AS SHOWN AND SET FORTH IN AND UPON SAID MAP OR PLAT, AND SAID CITY COUNCIL FURTHER AUTHORIZED THE MAYOR TO NOTE THE APPROVAL THEREOF BY SIGNING HIS NAME HEREIN ABOVE SUBSCRIBED.

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

CITY SECRETARY  
CITY OF PARKER, TEXAS

DATE

A  
PRELIMINARY PLAT  
OF  
PANORAMA STREET  
2.275 ACRES

SITUATED IN THE  
PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10  
CITY OF PARKER, COLLIN COUNTY, TEXAS

OWNER/DEVELOPER:

GREGORY LANE, LLC  
3510 DUBLIN RD  
PARKER, TX 75002-6516

ENGINEER/SURVEYOR:

**LJA Surveying, Inc.**

3017 W 7TH STREET,  
Suite 300  
Fort Worth, Texas 76107

Phone 817.288.1900

T.B.E.P.L.S. Firm No. 10194382

THIS PLAT FILED IN \_\_\_\_\_

JUNE 2023

SHEET 1 OF 1

Doc\Time : Tue, 27 Apr 2023 : 10:55:56\User Name : hrcatinez  
PAN\Nura : SANITARY-00000001331-4001-040001425 - Design File\Access Road\A0133RD.GNO1.dwg

GENERAL CONSTRUCTION NOTES

- ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF PARKER TEXAS COUNCIL OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. IN THE EVENT THAT AN ITEM IS NOT COVERED IN THE CONSTRUCTION DOCUMENTS THE CITY'S DECISION WILL APPLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE UNDERGROUND OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN INFORMAL LIST OF UTILITY COMPANIES ARE AS FOLLOWS:  
ONCOR ELECTRIC, ATTN: DANNY KILCREASE (903) 715-5589  
COSERV, ATTN: ANDREW BAXTER, (940) 270-6846  
CHARTER, ATTN: DILON SCOTT, (682) 308-7676
- THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISE UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS ARE CONCEPTUAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
- BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
- THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE UTILITY COMPANY RECORDS AND PLANS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THEIR EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
- THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
- COMPLIANCE WITH LAWS: THE CONTRACTOR SHALL FULLY COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, INCLUDING ALL CODES, ORDINANCES AND REGULATIONS APPLICABLE TO THIS CONTRACT AND THE WORK TO BE DONE THEREUNDER, WHICH EXIST OR WHICH MAY BE ENACTED LATER BY GOVERNMENTAL BODIES HAVING JURISDICTION OR AUTHORITY FOR SUCH ENACTMENT. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, IMPACT AND INSPECTION FEES, ANY CITY FEES AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK AND SHALL FULLY COMPLY WITH ALL THEIR TERMS AND CONDITIONS. WHEREVER THE WORK UNDER THIS CONTRACT REQUIRES THE OBTAINING OF PERMITS FROM THE CITY OF PARKER OR OTHER PUBLIC AUTHORITIES, DUPLICATE COPIES OF SUCH PERMITS SHALL BE FURNISHED TO THE ENGINEER BY THE CONTRACTOR HEREUNDER BEFORE THE WORK COVERED THEREBY IS STARTED. NO WORK WILL BE ALLOWED TO PROCEED BEFORE SUCH PERMITS ARE OBTAINED. ALL WORK REQUIRED UNDER THIS CONTRACT SHALL COMPLY WITH ALL REQUIREMENTS OF LAW, REGULATION, PERMIT OR LICENSE. IF THE CONTRACTOR FINDS THAT THERE IS A VARIANCE, HE SHALL IMMEDIATELY REPORT THIS TO THE DEVELOPER FOR RESOLUTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE ARCHITECT, CIVIL ENGINEER AND CITY ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF TEXAS DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
- CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL HORIZONTAL DIMENSIONS GIVEN ARE TO BACK OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF AS-BUILT PLANS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
- ALL WORK ON STATE RIGHT OF WAY (ROW) SHALL COMPLY WITH THE TXDOT PERMIT PROVISIONS AND TXDOT STANDARDS.
- ALL EXISTING PAVEMENT, ADJACENT UTILITIES, STRUCTURES, ETC., DISTURBED AS A RESULT OF THE NEW CONSTRUCTION, SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
- CLEAN-UP FOR FINAL ACCEPTANCE: THE CONTRACTOR SHALL MAKE A FINAL CLEAN-UP OF ALL PARTS OF THE WORK BEFORE ACCEPTANCE BY THE DEVELOPER OR HIS REPRESENTATIVE. THIS CLEAN-UP SHALL INCLUDE REMOVAL OF ALL OBJECTIONABLE MATERIALS AND, IN GENERAL, PREPARING THE SITE OF THE WORK IN AN ORDERLY MANNER OF APPEARANCE.

- PROPERTY LINES AND MONUMENTS: THE CONTRACTOR SHALL PROTECT ALL PROPERTY CORNER MARKERS, AND WHEN ANY SUCH MARKERS OR MONUMENTS ARE IN DANGER OF BEING DISTURBED, THEY SHALL BE PROPERLY REFERENCED AND IF DISTURBED SHALL BE RESET AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE.
- REMOVAL OF DEFECTIVE AND UNAUTHORIZED WORK: ALL WORK WHICH HAS BEEN REJECTED OR CONDEMNED SHALL BE REPAIRED; OR IF IT CANNOT BE REPAIRED SATISFACTORILY, IT SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. DEFECTIVE MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE WORK SITE. WORK DONE BEYOND THE LINE OR NOT IN CONFORMITY WITH THE GRADES SHOWN ON THE DRAWINGS OR AS PROVIDED, WORK DONE WITHOUT PROPER INSPECTION; OR ANY EXTRA OR UNCLASSIFIED WORK DONE WITHOUT WRITTEN AUTHORITY AND PRIOR AGREEMENT IN WRITING AS TO PRICES, SHALL BE AT THE CONTRACTOR'S RISK, AND WILL BE CONSIDERED UNAUTHORIZED, AND AT THE OPTION OF THE DEVELOPER MAY NOT BE MEASURED AND PAID FOR AND MAY BE ORDERED REMOVED AT THE CONTRACTOR'S EXPENSE. UPON FAILURE OF THE CONTRACTOR TO REPAIR SATISFACTORILY OR TO REMOVE AND REPLACE, IF SO DIRECTED, REJECTED, UNAUTHORIZED OR CONDEMNED WORK OR MATERIALS IMMEDIATELY AFTER RECEIVING NOTICE FROM THE DEVELOPER, THE DEVELOPER WILL, AFTER GIVING WRITTEN NOTICE TO THE CONTRACTOR, HAVE THE AUTHORITY TO CAUSE DEFECTIVE WORK TO BE REMEDIED OR REMOVED AND REPLACED, OR TO CAUSE UNAUTHORIZED WORK TO BE REMOVED AND TO DEDUCT THE COST THEREOF FROM ANY MONIES DUE OR TO BECOME DUE THE CONTRACTOR.
- SUBSURFACE EXPLORATION: RONE ENGINEERING HAS MADE AN INVESTIGATION OF SUBSURFACE SOIL CONDITIONS FOR THE PROJECT SITE, THE RESULTS OF WHICH CAN BE FOUND IN THEIR REPORT NO. #23-27484 DATED 05/05/2023.  
  
TEST BORINGS HAVE BEEN MADE AT VARIOUS LOCATIONS WITHIN THE CONSTRUCTION AREA AND THE RESULTS OF SUCH BORINGS, INCLUDING THE COMPLETE SOIL REPORT, ARE INCLUDED IN THE SPECIFICATIONS.  
  
SOIL INVESTIGATION DATA IS PROVIDED ONLY FOR INFORMATION AND THE CONVENIENCE OF BIDDERS. THE DEVELOPER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY, TRUE LOCATION AND EXTENT OF THE SOILS INVESTIGATION THAT HAS BEEN PREPARED BY OTHERS. THEY FURTHER DISCLAIM RESPONSIBILITY FOR INTERPRETATION OF THAT DATA BY BIDDERS, AS IN PROJECTING SOIL BEARING VALUES, ROCK PROFILES, SOILS STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER.  
  
BIDDERS SHALL MAKE ANY INVESTIGATION OF EXISTING SUBSURFACE CONDITIONS AS DEEMED NECESSARY AT NO EXPENSE TO THE DEVELOPER.  
  
NEITHER THE DEVELOPER NOR ENGINEER WILL BE RESPONSIBLE IN ANY WAY FOR ADDITIONAL COMPENSATION FOR EXCAVATION WORK PERFORMED UNDER THIS CONTRACT DUE TO CONTRACTOR'S ASSUMPTIONS BASED ON SUBSOIL DATA PREPARED SOLELY FOR ENGINEER'S USE.
- THE CONTRACTOR SHALL INSTALL 2-4" SCH 40 PVC CONDUITS FOR AREA TELEPHONE SERVICE PROVIDER. THE SERVICE PROVIDER WILL INSTALL THE WIRING. THE CONDUITS SHALL EXTEND FROM THE BUILDING TO THE ADJACENT R.O.W. CONTRACTOR SHALL COORDINATE LOCATION, ALIGNMENT AND INSTALLATION REQUIREMENTS WITH THE AREA TELEPHONE PROVIDER.
- PULL BOXES SHALL BE INSTALLED AT ALL BENDS AND AT 1000-FOOT INCREMENTS ALONG ALL TELEPHONE AND COMMUNICATIONS CONDUITS. ALL PULL BOXES SHALL BE WATERPROOF, AND THOSE IN PAVED AREAS SHALL BE TRAFFIC RATED.
- THE CONTRACTOR SHALL PROVIDE 4 WEEKS LEAD TIME FOR (TEMP. AND PERMANENT) TELEPHONE SERVICE INSTALLATION, AND 14-16 WEEK LEAD TIME FOR THREE-PHASE TRANSFORMERS. COORDINATE SERVICE WITH THE LOCAL ELECTRIC PROVIDER.
- THE CONTRACTOR SHALL COORDINATE ALL ELECTRIC AND GAS SERVICE (TEMP. & PERMANENT) LOCATION, ALIGNMENT, INSTALLATION REQUIREMENTS AND COST SHARING ARRANGEMENTS WITH FRANCHISE UTILITY PROVIDER.
- THE CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY PROVIDER TO EXTEND GAS SERVICE FROM THE ADJACENT R.O.W. TO THE PROPOSED BUILDING.
- ALL FRANCHISE UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE CONCEPTUAL IN NATURE. THE CONTRACTOR SHALL COORDINATE THE EXACT DESIGN, ALIGNMENT, INSTALLATION REQUIREMENTS AND COST SHARING ARRANGEMENTS WITH THE INDIVIDUAL UTILITY PROVIDERS. THE CONTRACTOR SHALL INCLUDE ALL ASSOCIATED COSTS TO INSTALL FRANCHISE UTILITY (GAS, ELECTRIC, PHONE, CABLE) SERVICE TO THE PROPOSED BUILDING, IN THE BASE BID.

PAVING AND STRIPING NOTES

- ALL WORK AND MATERIALS ON SITE SHALL BE IN ACCORDANCE WITH THE CITY OF PARKER STANDARD PAVING SPECS AND DETAILS.
- TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. PROCUREMENT OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST VERSION OF THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- RAISED PAVEMENT MARKERS SHALL BE BONDED TO THE ROADWAY SURFACE WITH ADHESIVE CONFORMING TO THE MANUFACTURER'S RECOMMENDATIONS.
- THE PAVEMENT UPON WHICH THE LANE AND PAVEMENT MARKERS ARE TO BE PLACED SHALL BE PREPARED TO THE APPROVAL OF THE INSPECTOR TO ENSURE PROPER CLEANING OF THE PAVEMENT SURFACE.
- SIGN LOCATIONS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY. CONTRACTOR SHALL REVIEW ALL TRAFFIC CONTROL DEVICES WITH THE CITY PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING AS SHOWN ON THE PLANS.
- ALL STRIPING SHALL BE EXTRUDED THERMOPLASTIC MARKING MATERIAL.
- CONTRACTOR TO REFERENCE IRRIGATION PLAN AND MEP PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS.
- THE ACCESS ROADWAY AND/OR FIRE LANE SHALL BE STRIPED ON A PAVED SURFACE, AND BE CLEARLY MARKED ON THE PAVEMENT WITH "RED" TRAFFIC PAINT SIX (6) INCHES IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. "NO PARKING FIRE LANE" SHALL APPEAR IN FOUR (4) INCH WHITE LETTERS AT INTERVALS OF 25 FEET ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB. ALL FIRE LANES SHALL CONNECT AT BOTH ENDS TO A DEDICATED STREET OR BE CONSTRUCTED WITH TURN-AROUND AREAS AT THE DEAD-END WITH A MINIMUM RADIUS OF FIFTY (50) FEET. ALL PAINT REFERRED TO SHALL BE TRAFFIC MARKING PAINT
- THE WORDS "FIRE LANE" AND "NO PARKING" SHALL BE STENCILED IN FOUR (4) INCH HIGH WHITE LETTERS ALTERNATELY EVERY FIFTEEN (15) FEET ALONG THE RED FIRE LANE STRIPES IN THE FACE OF THE CURB.

- ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1994 AND THE TEXAS ARCHITECTURAL BARRIERS ACT OF 1994.
- ALL REGULAR PARKING SPACES ARE 9.0 FEET WIDE. ALL HANDICAP SPACES ARE 9.0 FEET WIDE WITH AN ADJACENT 5.0 FOOT WIDE STRIPED ZONE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO INSTALL CONSTRUCTION JOINTS IN CONCRETE PAVEMENT AT ALL PC'S AND AS CONVENIENT TO PHASING OF POURS. CONCRETE PAVEMENT TO BE CONSTRUCTED WITH EXPANSION JOINTS EVERY 150' IN BOTH DIRECTIONS AND SAWED DUMMY JOINTS EVERY 10'-12' IN BOTH DIRECTIONS.
- CONTRACTOR TO SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK. PAVING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR ON THE CONSTRUCTION AND PAVING NEAR THE SCREENING WALLS AND THE DUMPSTER PADS.
- ALL EXISTING CONCRETE OR ASPHALT SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEEDED, IRRIGATED, AND STABILIZED AS SPECIFIED IN THE PLANS, AND MAINTAINED UNTIL SOIL IS STABILIZED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE STABILIZED AND MULCHED AS SHOWN ON THE LANDSCAPE, GRADING, AND EROSION CONTROL PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
- THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
- ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF BY THE CONTRACTOR, OFFSITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER.
- BUILDING PAD PREPARATION SHALL BE CONSISTENT WITH THE GEOTECHNICAL REPORT BY TERRACON, DATED FEBRUARY 5, 2008 AND ALL ADDENDA. (TERRACON PROJECT NO. 94075497)
- ALL CLEARING, GRADING, COMPACTION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE TO THE RECOMMENDATIONS MADE IN THE SUBSURFACE EXPLORATION REPORT BY RONE ENGINEERING, PROJECT #23-27484 DATED 05/05/2023 AND ALL ADDENDA.
- GRADING CONTRACTOR TO COORDINATE WITH THE FRANCHISE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
- THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND USE TO DETERMINE HIS BID ACCORDINGLY. ANY DEVIATION FROM A BALANCED CUT AND FILL SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND CIVIL ENGINEER AND ANY VARIANCE QUANTIFIED ON THE BID.
- REFERENCE STRUCTURAL PLANS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR ALL BUILDING PAD LAYOUT AND SOIL PREPARATION/COMPACTION.
- EXCESS MATERIAL: SUITABLE EXCAVATED MATERIAL SHALL BE DISPOSED OF ON THE SITE AT LOCATIONS DIRECTED BY THE ENGINEER. UNSUITABLE MATERIAL IS DEFINED AS ROCKS MEASURING LARGER THAN 4" IN THE LARGEST DIMENSION. UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.
- WHERE SURFACE DRAINAGE CHANNELS ARE TEMPORARILY DISTURBED OR BLOCKED DURING CONSTRUCTION, THEY SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR GRADES AND CROSS SECTION AFTER THE CONSTRUCTION IS COMPLETED.
- NO ROCK SHALL BE PLACED IN THE TOP 6 INCHES OF THE SUBGRADE.
- GRADING CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OFF-SITE OF ALL EXCAVATED AND CLEARED MATERIAL WHICH SOILS LAB DECLARES UNSUITABLE FOR USE ON-SITE.
- IF ROCK IS ENCOUNTERED IN THE PAVING SUBGRADE, THE ROCK SHALL BE EXCAVATED TO A DEPTH OF SIX INCHES, REMOVED FROM THE STREET, AND NON-ROCK MATERIAL SHALL BE REPLACED FOR THE STREET SUBGRADE. ROCK IN STREET PARKWAYS SHALL BE REMOVED AND REPLACED WITH SIX INCHES OF TOP SOIL. THIS SHALL BE ACCOMPLISHED BY THE EXCAVATION CONTRACTOR, SUBSIDIARY TO THIS CONTRACT.
- PRIOR TO PLACING ANY FILL, THE AREAS TO RECEIVE FILL WILL NEED TO BE STRIPPED AND GRUBBED. THE EXPOSED SUBGRADE SHOULD BE PROOFROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR PUMPING AREAS SHOULD BE EXCAVATED TO A FIRM SUBGRADE AND PROPERLY BACKFILLED. THE SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES AND UNIFORMLY COMPACTED TO A MINIMUM OF 95 PERCENT OF ASTM D698 AT OR ABOVE THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THAT TEST. THE FILL MATERIALS SHALL BE SPREAD IN LOOSE LIFTS, LESS THAN 9 INCHES THICK, AND UNIFORMLY COMPACTED TO THE SAME CRITERIA.
- REFERENCE EROSION CONTROL PLAN FOR ADDITIONAL EROSION CONTROL GENERAL NOTES AND SPECIFICATIONS.

STORM SEWER NOTES

- CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS, GRATE INLETS, AND ALL UTILITIES CROSSING THE STORM SEWER. FLOW LINES AND RIMS OF PROPOSED INLETS SHALL BE VERIFIED WITH THE PROPOSED GRADE PRIOR TO CONSTRUCTION.
- THE END OF ALL STORM SEWER LATERALS THAT CONNECT TO WORK BY PLUMBER SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED 5.0 FEET OUTSIDE THE BUILDING UNTIL FINAL CONNECTIONS ARE MADE BY PLUMBING CONTRACTOR. SEE M.E.P. AND ARCHITECTURAL PLANS FOR CONTINUATION.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- REFERENCE CITY'S DESIGN STANDARDS AND SPECIFICATIONS FOR NEW STORM SEWER SYSTEMS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND IMPLEMENTING A TRENCH PROTECTION PLAN FOR ALL OPEN TRENCH EXCAVATION.

- EXISTING MANHOLE TOPS AND ALL OTHER DRAINAGE FACILITIES SHALL BE ADJUSTED AS REQUIRED TO MATCH FINAL GRADES AS SHOWN ON GRADING PLAN. NO SEPARATE PAY ITEM.
- ALL STORM SEWER PIPE SHALL BE CLASS III RCP, OR AS SHOWN BELOW.  
DEPTH OF COVER:  
LESS THAN 10 FEET - CLASS III  
BETWEEN 10 AND 15 FEET - CLASS IV  
GREATER THAN 15 FEET - CLASS V
- EXISTING WATER AND SANITARY SEWER LINES ARE SHOWN ON PLANS FOR REFERENCE ONLY. CONTRACTOR SHALL LOCATE ALL LINES IN THE AREA PRIOR TO DIGGING.
- ALL CURVED STORM DRAIN IS TO BE CONSTRUCTED WITH RADIUS PIPE OR IS TO HAVE ALL JOINTS GROUTED AS NECESSARY. IT SHALL BE THE CONTRACTORS OPTION AS TO WHICH METHOD TO USE. THERE SHALL BE NO SEPARATE PAY.
- ALL STORM SEWER MANHOLES AND INLETS TO BE CONSTRUCTED WITH 30" CAST IRON FRAME AND COVERS

STORM SEWER DISCHARGE AUTHORIZATION NOTES


- A NOTICE OF INTENT (N.O.I.) SHALL BE SUBMITTED BY THE CONTRACTOR TO THE TCEQ NO LESS THAN 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
- A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS AND ANY REVISIONS, SHALL BE SUBMITTED TO THE CITY AND FILED WITH THE CONSTRUCTION PLANS, AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.
- A NOTICE OF TERMINATION (N.O.T.) SHALL BE SUBMITTED TO THE TCEQ BY THE CONTRACTOR WHEN THE SITE HAS 100% OF THE DISTURBED AREAS STABILIZED AND THE SITE NO LONGER HAS STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITIES (CONSTRUCTION), OR THE N.O.T. PERMITTEE OR CO-PERMITTEE NO LONGER HOLDS OPERATIONAL CONTROL OF THE CONSTRUCTION.

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| DATE | REVISION | BY |

GENERAL NOTES

PANORAMA STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

|  |                                       |
|--|---------------------------------------|
| <b>LJA Engineering, Inc.</b>    |                                       |
| 6060 North Central Expressway<br>Suite 400<br>Dallas, Texas 75206  | Phone 469.621.0710<br><br>FRN -F-1386 |
| <i>PRELIMINARY</i>   | LJA PROJECT ID<br>NT561-0133          |
| THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF VERONICA B. HADLEY, TEXAS P.E. #143748 ON 06 27 2023. THIS DOCUMENT IS NOT TO BE USED FOR THE PURPOSES OF CONSTRUCTION. | DATE: JUN 2023                        |
|  | DESIGN: LJA                           |
|  | DRAWN: MARTINEZ                       |
|  | SCALE<br>HORZ: N/A<br>VERT: N/A       |
| SHEET<br><br>3<br><br>OF 35 SHEETS   |                                       |

PANORAMA STREET

LEGEND

- EXISTING POWER POLE

OHE

EXISTING OVERHEAD ELECTRIC

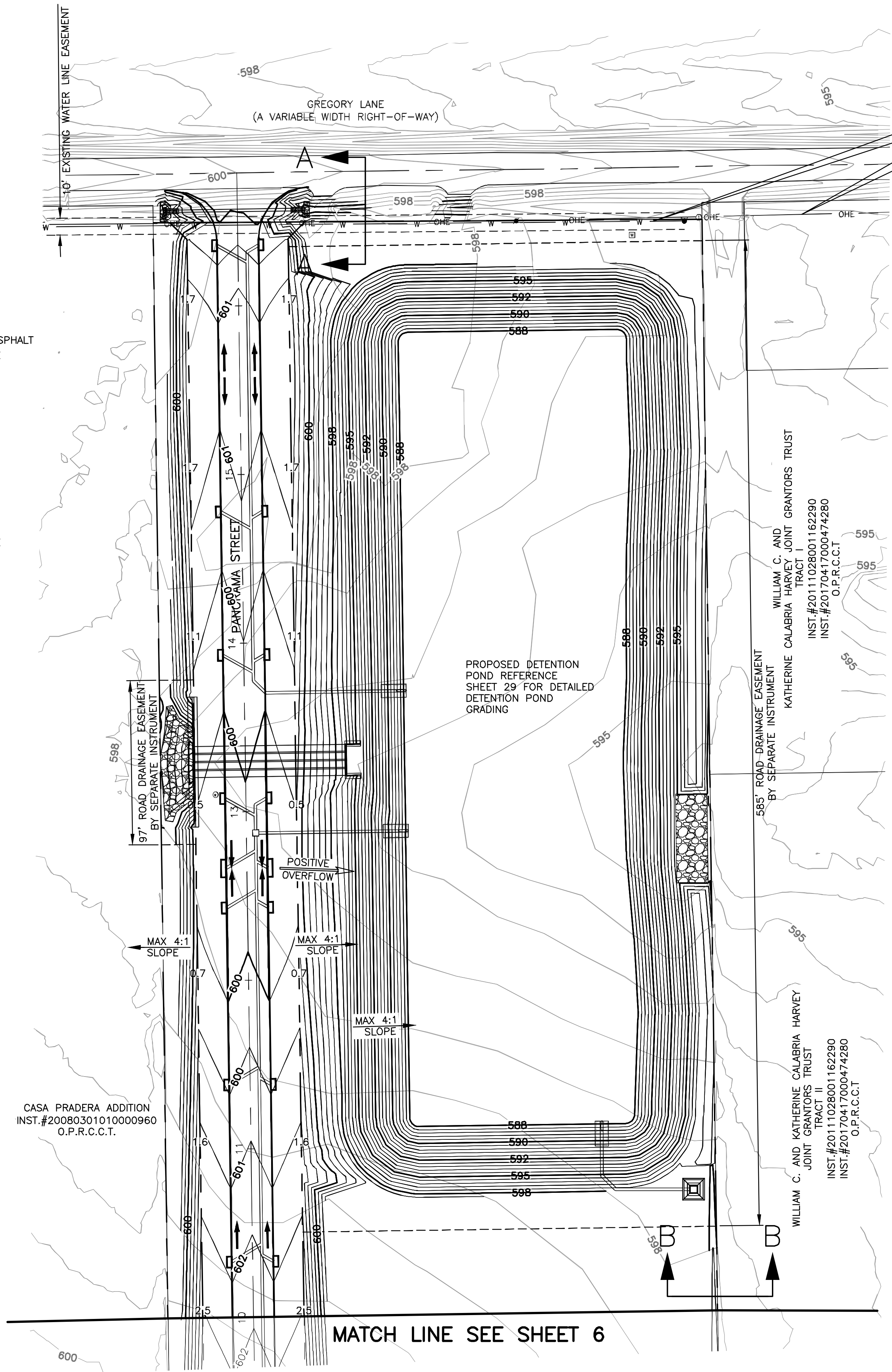
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EXISTING FENCE TO BE REMOVED

OHE

EXISTING OVERHEAD ELECTRIC TO BE REMOVED
- 
- 
- WARNING!!!**  
APPROXIMATE LOCATION  
EXISTING OVERHEAD ELECTRIC  
LINE & WATER LINE,  
CONTRACTOR TO VERIFY  
LOCATION PRIOR TO  
CONSTRUCTION
- EXISTING 10' WATERLINE EASEMENT
- EXISTING WELL TO BE REMOVED TO A 20' DEPTH & CAPPED
- REMOVE & REPLACE 1148LF OF METAL FENCE  
(COORDINATE WITH OWNER)
- EXISTING METAL BARN TO BE REMOVED
- CASA PRADERA ADDITION  
INST.#20080301010000960  
O.P.R.C.C.T.
- CASA PRADERA ADDITION  
INST.#20190506000502950  
O.P.R.C.C.T.
- REMOVE & DISPOSE 306LF OF FENCE (COORDINATE WITH OWNER)
- HARRINGTON/TURNER ENTERPRISES LP  
INST.#20081014001223870  
O.P.R.C.C.T.
- EXISTING OVERHEAD ELECTRIC TO REMAIN
- EXISTING RCP TO BE REMOVED
- EXISTING CMP TO BE REMOVED
- EXISTING MAILBOX TO BE REMOVED
- REMOVE 116SY OF EXISTING GRAVEL DRIVE
- EXISTING OVERHEAD ELECTRIC  
& POWER POLE TO BE REMOVED
- EXISTING PROPANE TANK TO BE REMOVED
- WILLIAM C. AND  
KATHERINE CALABRIA  
HARVEY JOINT GRANTORS  
TRACT I  
INST.#20111028001162290  
INST.#20170417000474280  
O.P.R.C.C.T.
- WILLIAM C. AND KATHERINE CALABRIA  
HARVEY JOINT GRANTORS TRUST  
TRACT II  
INST.#20111028001162290  
INST.#20170417000474280  
O.P.R.C.C.T.
- REMOVE & REPLACE 1652LF OF BARBED WIRE FENCE  
(COORDINATE WITH OWNER)
- GORDON A. & DIANE L. VIERE  
INST.#2022000149750  
O.P.R.C.C.T.
- BENCHMARKS:
- BM#2 "X" CUT ON THE NORTHWEST  
CORNER OF AN INLET ON THE NORTH  
SIDE OF ROLLING RIDGE ROAD, AND  
APPROXIMATELY 47 FEET EAST OF THE  
INTERSECTION OF ROLLING RIDGE ROAD  
AND PRESCOTT DRIVE, AND  
APPROXIMATELY 351 FEET WEST OF THE  
INTERSECTION OF ROLLING RIDGE DRIVE  
AND OVERLAND DRIVE.
- ELEV 605.438
- BM#3 5/8" IRON ROD WITH CAP  
STAMPED "RANDOM" SET ON THE SOUTH  
SIDE OF GREGORY LANE INSIDE THE  
CIRCLE DRIVEWAY OF THE SUBJECT  
TRACT, BEING APPROXIMATELY 526 FEET  
WEST OF THE INTERSECTION OF GREGORY  
LANE AND THE FIRST SOUTHBOUND ROAD  
EAST OF THE SUBJECT TRACT. SAID  
POINT IS ALSO APPROXIMATELY 87 FEET  
NORTH OF THE NORTHWEST CORNER OF  
THE HOUSE LOCATED ON THE SITE, AND  
APPROXIMATELY 15 FEET SOUTH OF THE  
OVERHEAD POWER LINES.
- ELEV 597.995
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| DATE | REVISION | BY |
- DEMOLITION PLAN
- PANORAMA  
STREET
- CITY OF PARKER  
COLLIN COUNTY, TEXAS
- LJA Engineering, Inc.**  
6060 North Central Expressway  
Suite 400  
Dallas, Texas 75206  
Phone 469.621.0710  
FRN - F-1386
- PRELIMINARY*  
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UNDER THE AUTHORITY OF  
VERONICA B. HADLEY, TEXAS P.E.  
#143748 ON  
06 27 2023  
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- |                                       |
|---------------------------------------|
| LJA PROJECT ID<br>NT561-0133          |
| DATE: JUN 2023                        |
| DESIGN: MARTINEZ                      |
| DRAWN: MARTINEZ                       |
| SCALE<br>HORZ: 1" = 100'<br>VERT: N/A |
| SHEET<br>4<br>OF 35 SHEETS            |
- D:\c\Time : Tue, 27 Jun 2023 : 10:55:56\user Name : lmartinez  
Panorama - SANITARY - LAND\0133\400 - LAND\425 - Design - Files\Access Road\0133RD.DWG
- PANORAMA STREET
- 112



LEGEND

- x 88.8 PROPOSED SPOT ELEVATIONS
- ← PROPOSED FLOW DIRECTION
- EP EDGE OF PAVEMENT

NOTES:

- STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE DONE BY OTHERS.



KEY MAP

1" = 500'

BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP STAMPED "RANDOM" SET ON THE SOUTH SIDE OF GREGORY LANE INSIDE THE CIRCLE DRIVEWAY OF THE SUBJECT TRACT, BEING APPROXIMATELY 526 FEET WEST OF THE INTERSECTION OF GREGORY LANE AND THE FIRST SOUTHBOUND ROAD EAST OF THE SUBJECT TRACT. SAID POINT IS ALSO APPROXIMATELY 87 FEET NORTH OF THE NORTHWEST CORNER OF THE HOUSE LOCATED ON THE SITE, AND APPROXIMATELY 15 FEET SOUTH OF THE OVERHEAD POWER LINES.

ELEV 597.995

DATE REVISION BY

GRADING PLAN

PANORAMA STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

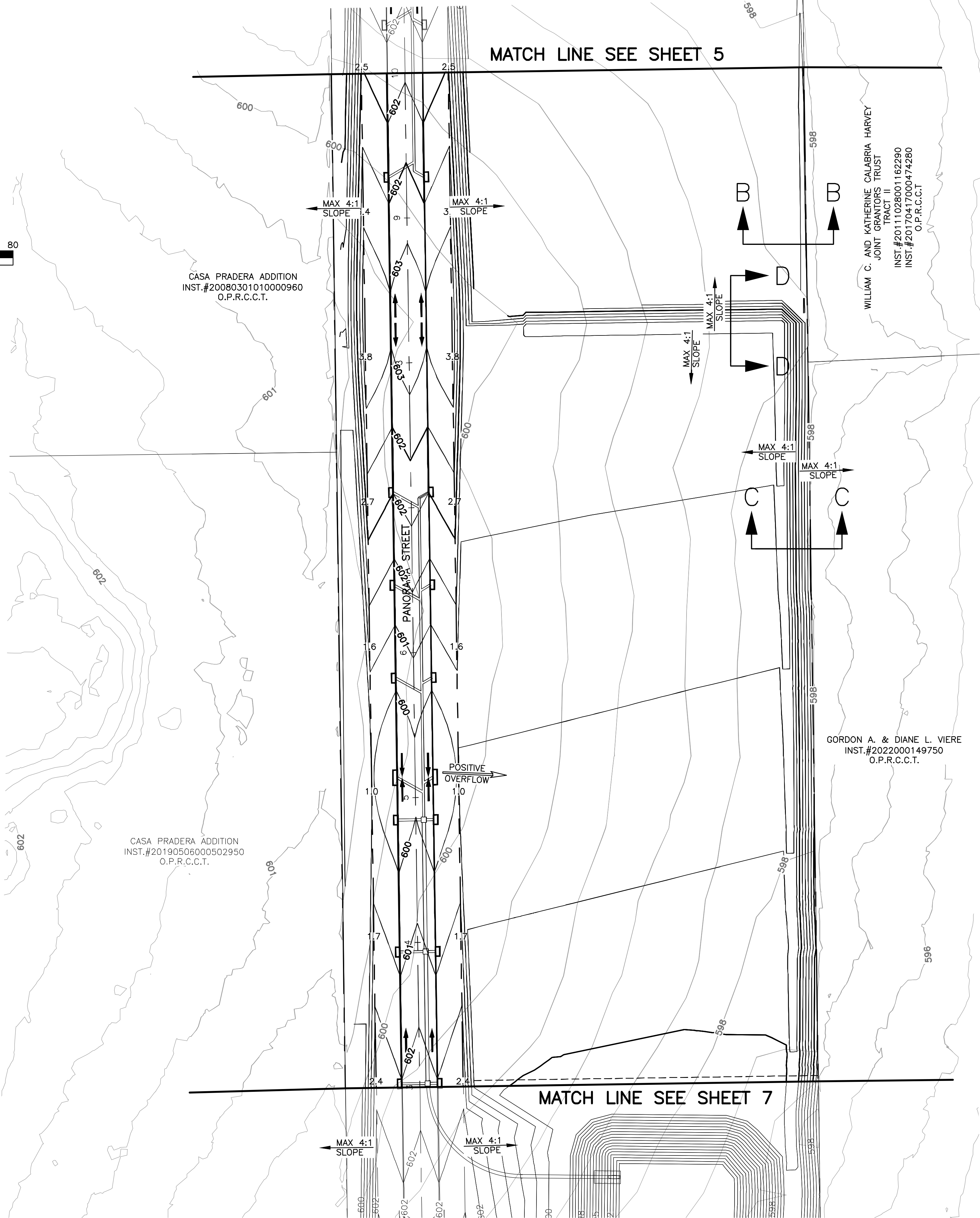
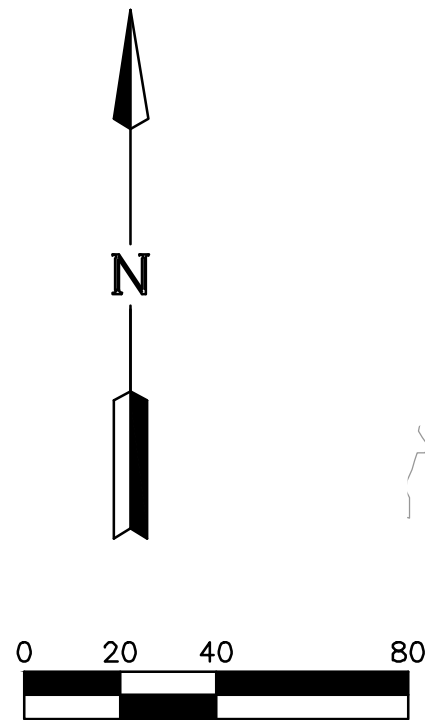
**LJA Engineering, Inc.**  
6060 North Central Expressway Suite 400  
Dallas, Texas 75206  
Phone 469.621.0710  
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LJA PROJECT ID  
NT561-0133  
DATE: JUN 2023  
DESIGN: MARTINEZ  
DRAWN: MARTINEZ

SCALE  
HORZ: 1" = 40'  
VERT: N/A

SHEET  
5  
OF 35 SHEETS

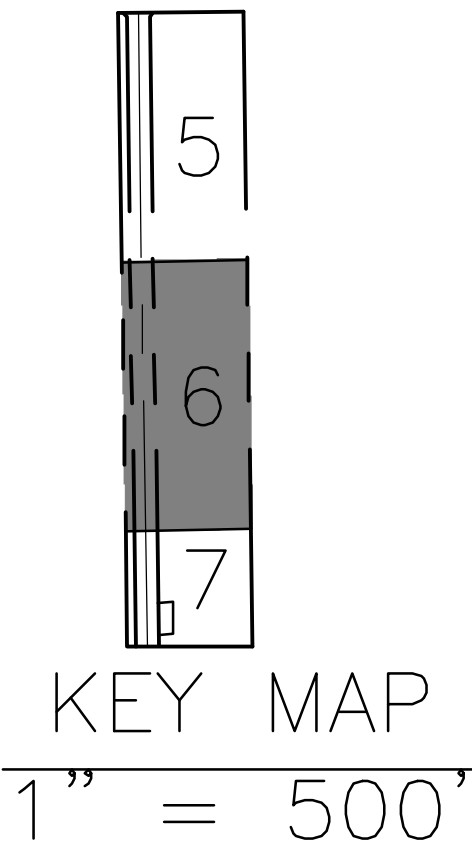
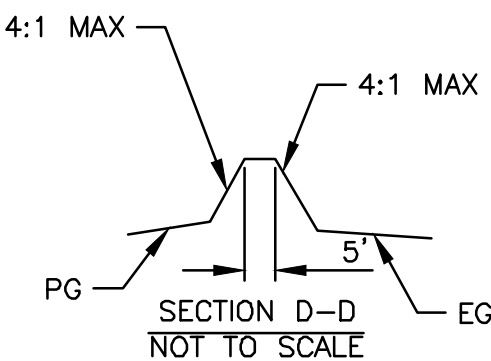
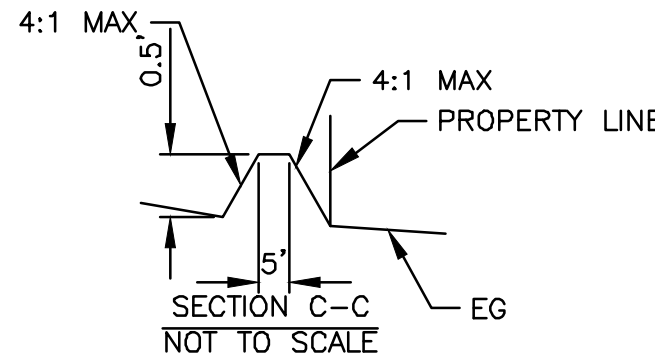
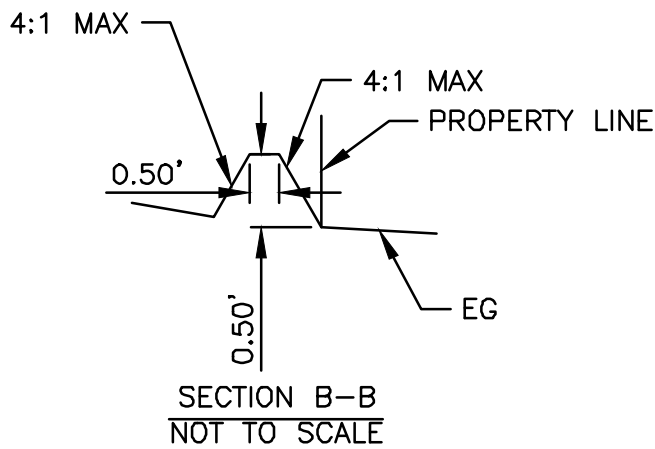


LEGEND

- x 88.8 PROPOSED SPOT ELEVATIONS  
← PROPOSED FLOW DIRECTION  
EP EDGE OF PAVEMENT

NOTES:

1. STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE DONE BY OTHERS.



BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE. ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP STAMPED "RANDOM" SET ON THE SOUTH SIDE OF GREGORY LANE INSIDE THE CIRCLE DRIVEWAY OF THE SUBJECT TRACT, BEING APPROXIMATELY 526 FEET WEST OF THE INTERSECTION OF GREGORY LANE AND THE FIRST SOUTHBOUND ROAD EAST OF THE SUBJECT TRACT. SAID POINT IS ALSO APPROXIMATELY 87 FEET NORTH OF THE NORTHWEST CORNER OF THE HOUSE LOCATED ON THE SITE, AND APPROXIMATELY 15 FEET SOUTH OF THE OVERHEAD POWER LINES. ELEV 597.995

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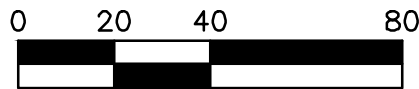
GRADING PLAN

PANORAMA STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

**LJA Engineering, Inc.**  
6060 North Central Expressway Suite 400 Dallas, Texas 75206  
Phone 469.621.0710  
FRN - F-1386

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|  | DATE: JUN 2023  | DESIGN: MARTINEZ          |
|  | DRAWN: MARTINEZ | SCALE                     |
|  | HORIZ: 1" = 40' | VERT: N/A                 |
|  | SHEET 6         | OF 35 SHEETS              |

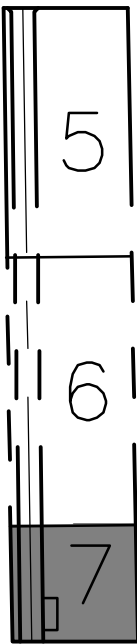
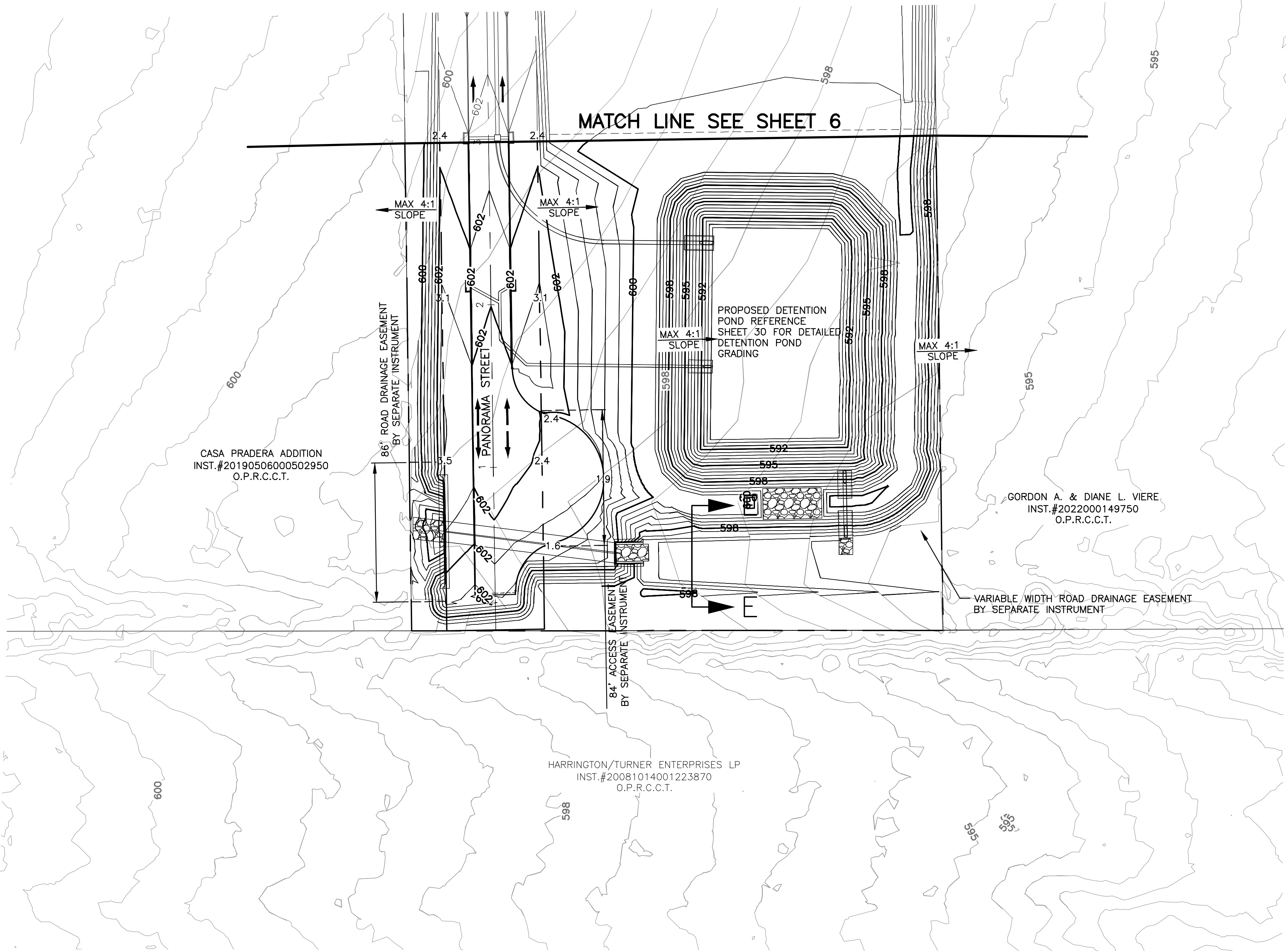


LEGEND

- x 88.8 PROPOSED SPOT ELEVATIONS
- PROPOSED FLOW DIRECTION
- EP EDGE OF PAVEMENT

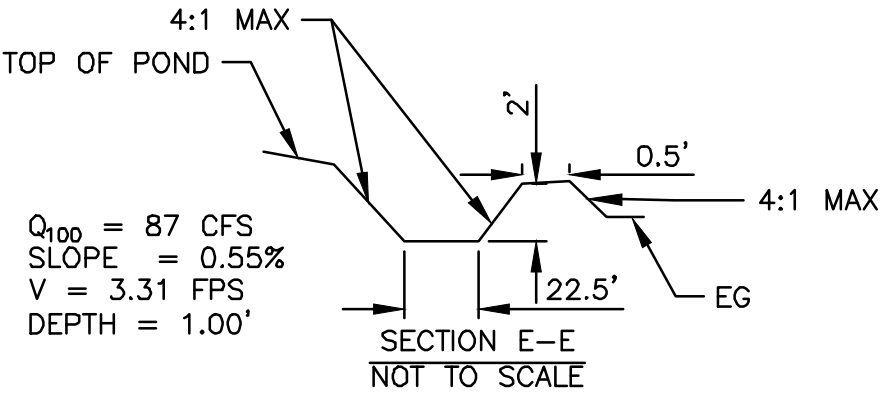
NOTES:

- STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE DONE BY OTHERS.



KEY MAP

1" = 500'



BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP STAMPED "RANDOM" SET ON THE SOUTH SIDE OF GREGORY LANE INSIDE THE CIRCLE DRIVEWAY OF THE SUBJECT TRACT, BEING APPROXIMATELY 526 FEET WEST OF THE INTERSECTION OF GREGORY LANE AND THE FIRST SOUTHBOUND ROAD EAST OF THE SUBJECT TRACT. SAID POINT IS ALSO APPROXIMATELY 87 FEET NORTH OF THE NORTHWEST CORNER OF THE HOUSE LOCATED ON THE SITE, AND APPROXIMATELY 15 FEET SOUTH OF THE OVERHEAD POWER LINES.

ELEV 597.995

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GRADING PLAN

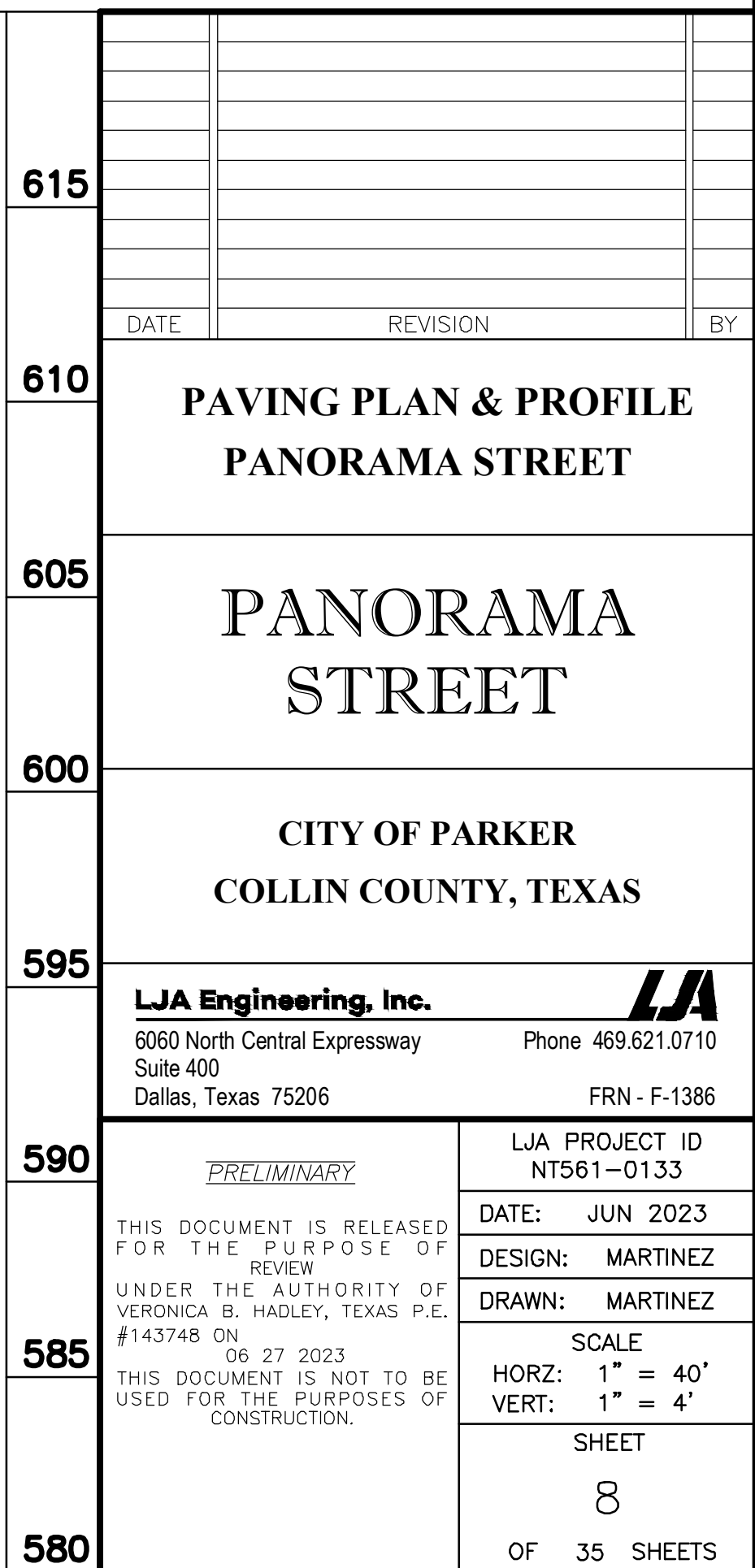
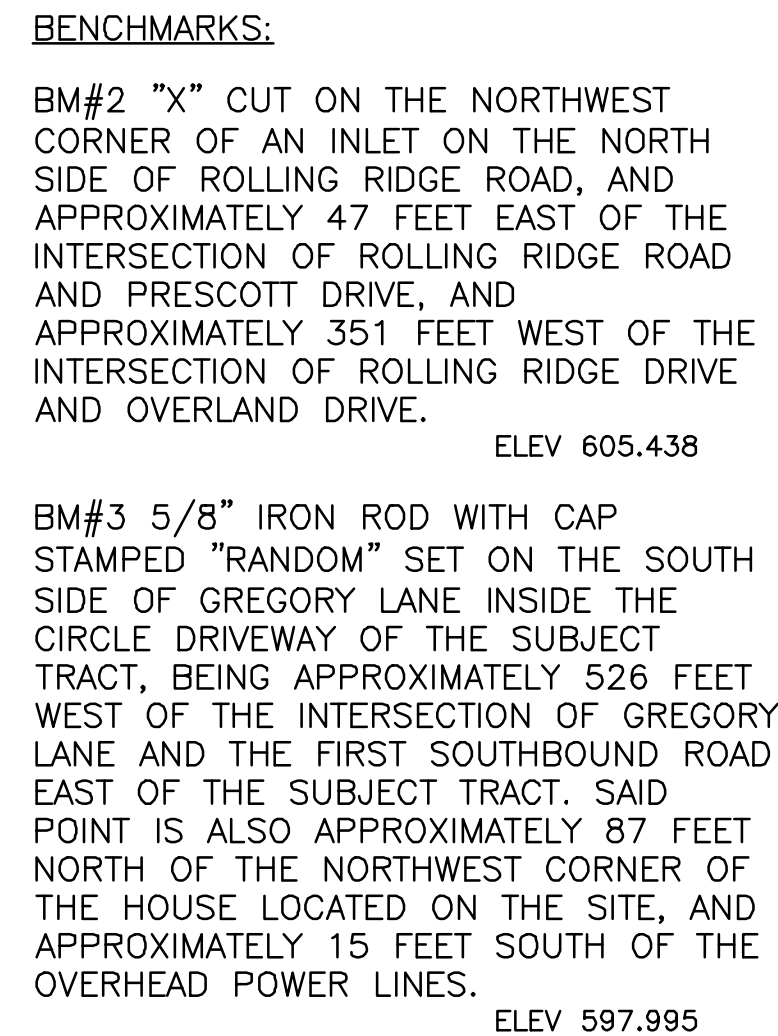
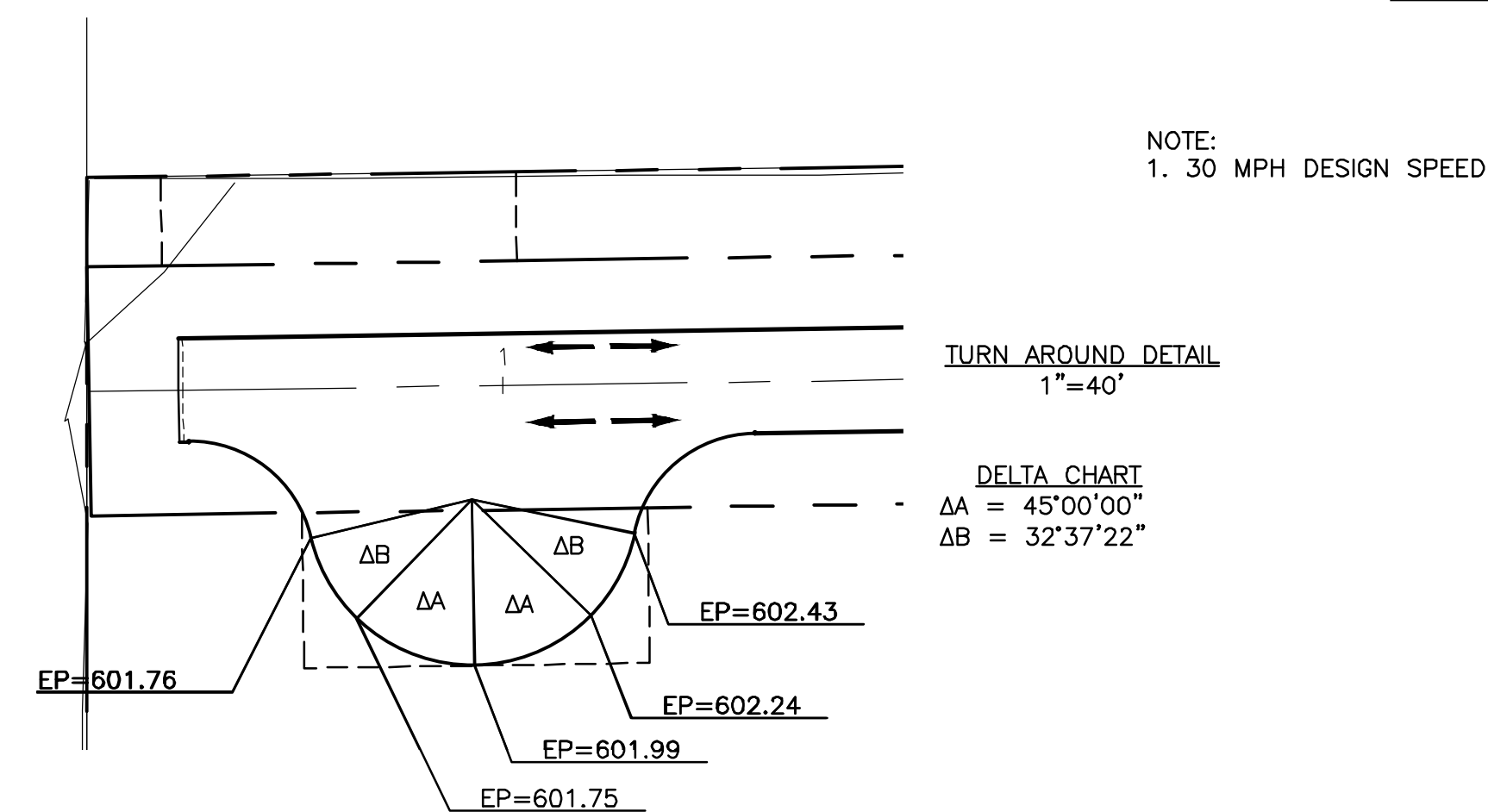
PANORAMA STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

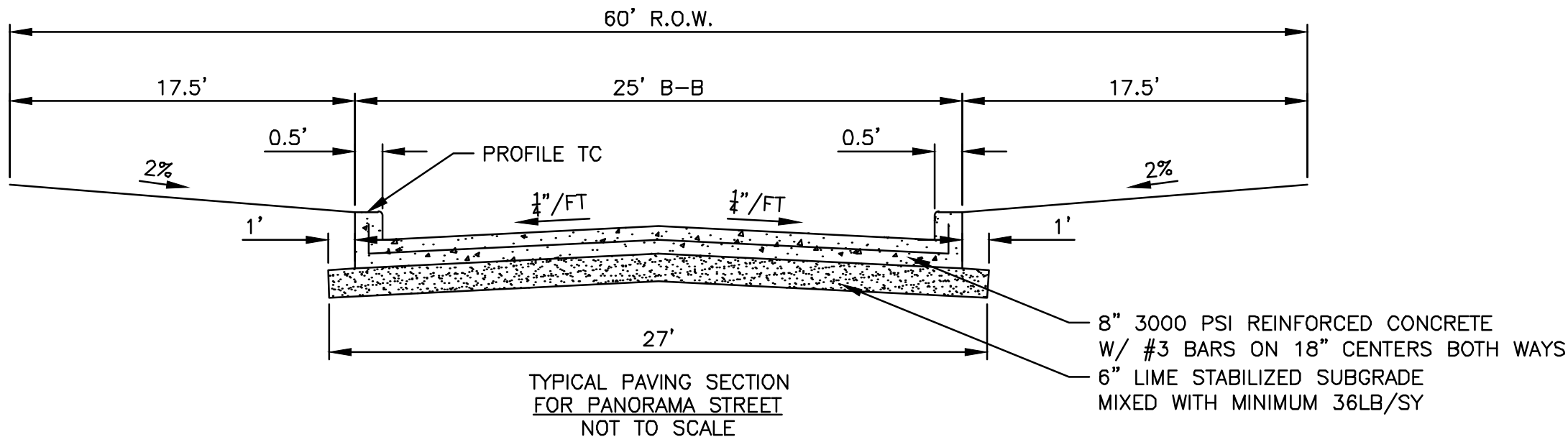
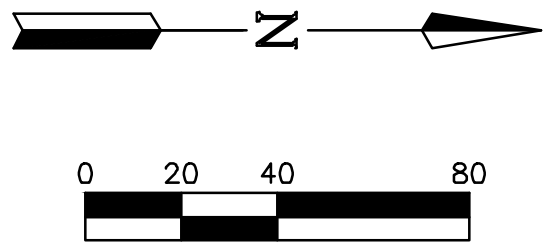
**LJA Engineering, Inc.**  
6060 North Central Expressway Suite 400  
Dallas, Texas 75206  
Phone 469.621.0710  
FRN - F-1386

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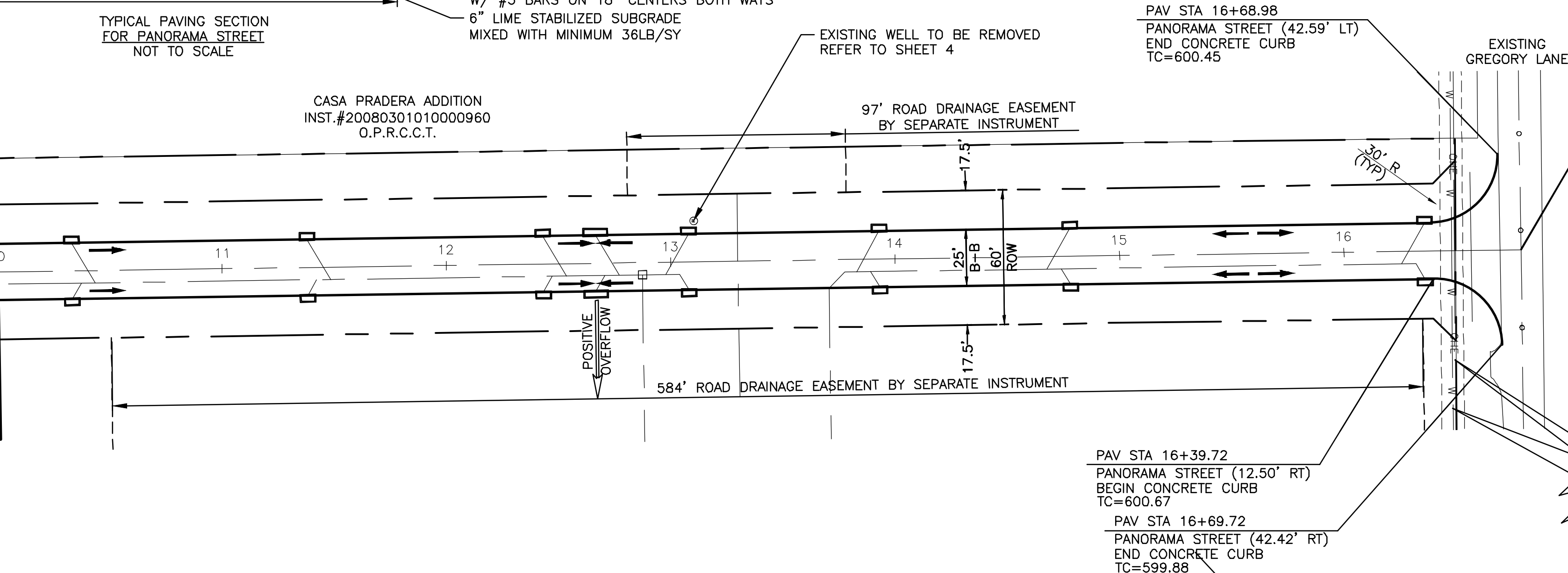
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| LJA PROJECT ID<br>NT561-0133          |
| DATE: JUN 2023                        |
| DESIGN: MARTINEZ                      |
| DRAWN: MARTINEZ                       |
| SCALE<br>HORIZ: 1" = 40'<br>VERT: N/A |
| SHEET<br>7<br>OF 35 SHEETS            |



NOTE:  
1. 30 MPH DESIGN SPEED



MATCH LINE STA 10+00



WARNING!!!

APPROXIMATE LOCATION OF EXISTING OVERHEAD ELECTRIC LINE & WATER LINE. CONTRACTOR TO VERIFY LOCATION PRIOR TO CONSTRUCTION

BENCHMARKS:

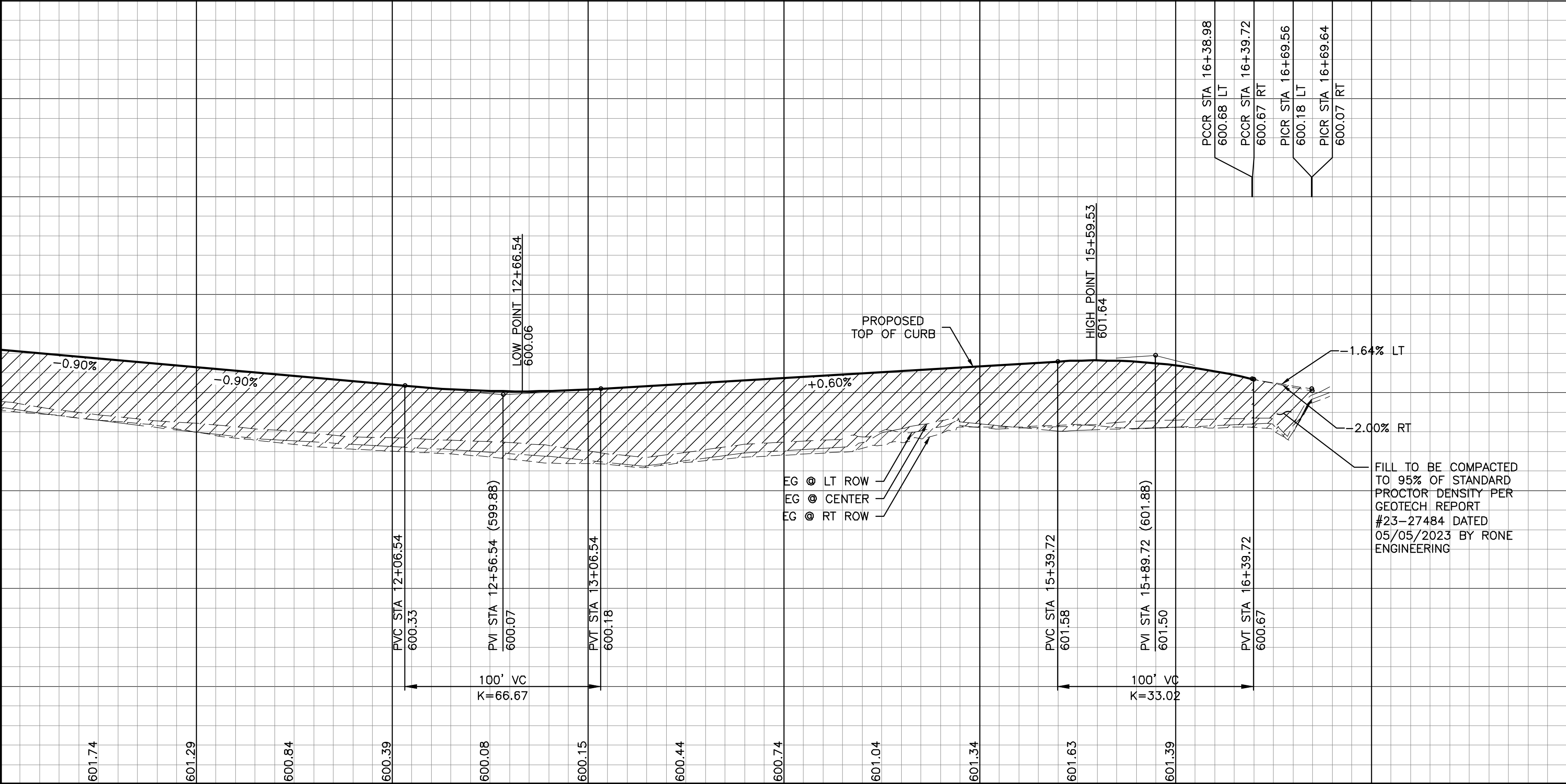
BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE. ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP STAMPED "RANDOM" SET ON THE SOUTH SIDE OF GREGORY LANE INSIDE THE CIRCLE DRIVEWAY OF THE SUBJECT TRACT, BEING APPROXIMATELY 526 FEET WEST OF THE INTERSECTION OF GREGORY LANE AND THE FIRST SOUTHBOUND ROAD EAST OF THE SUBJECT TRACT. SAID POINT IS ALSO APPROXIMATELY 87 FEET NORTH OF THE NORTHWEST CORNER OF THE HOUSE LOCATED ON THE SITE, AND APPROXIMATELY 15 FEET SOUTH OF THE OVERHEAD POWER LINES. ELEV 597.995

PANORAMA STREET

10+00 11+00 12+00 13+00 14+00 15+00 16+00 17+00

MATCH LINE STA 10+00



FILL TO BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY PER GEOTECH REPORT #23-27484 DATED 05/05/2023 BY RONE ENGINEERING

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PAVING PLAN & PROFILE  
PANORAMA STREET

PANORAMA  
STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

LJA Engineering, Inc.

6060 North Central Expressway Suite 400 Dallas, Texas 75206 Phone 469.621.0710 FRN - F-1386

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LJA PROJECT ID NT561-0133

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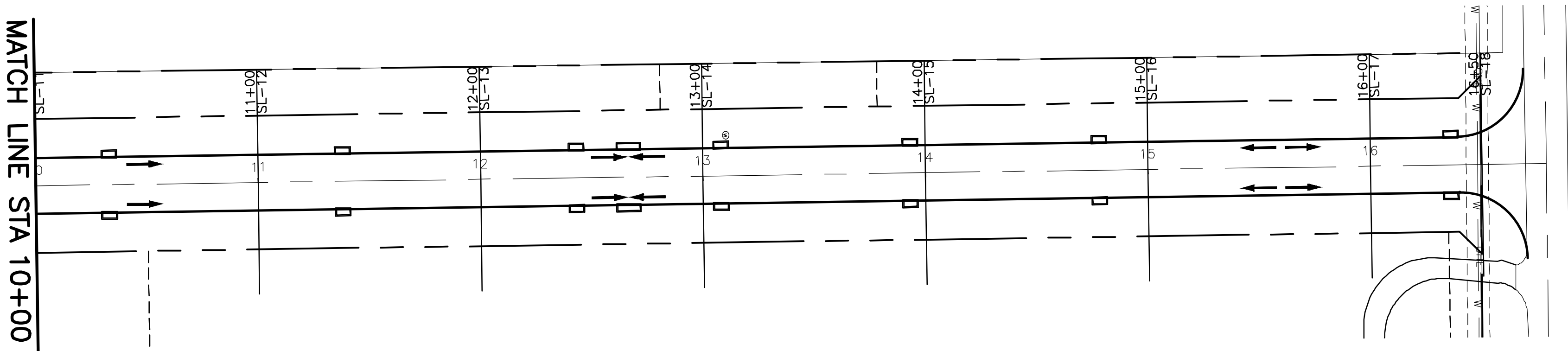
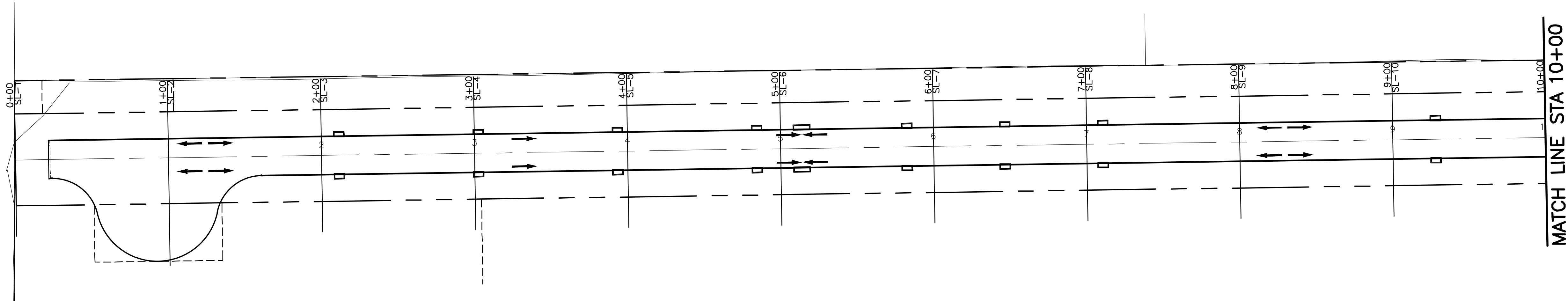
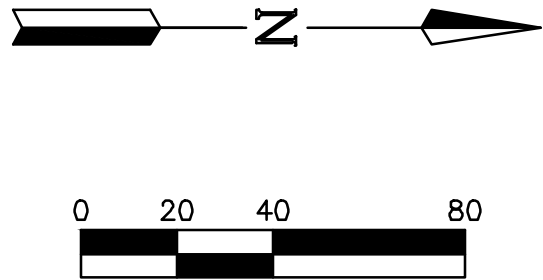
DESIGN: MARTINEZ

DRAWN: MARTINEZ

SCALE  
HORZ: 1" = 40'  
VERT: 1" = 4'

SHEET  
9

OF 35 SHEETS



**BENCHMARKS:**

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ELEV 605.438

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ELEV 597.995

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**OVERALL SECTIONS  
PLAN**

**PANORAMA  
STREET**

**CITY OF PARKER  
COLLIN COUNTY, TEXAS**

**LJA Engineering, Inc.**  
6060 North Central Expressway  
Suite 400  
Dallas, Texas 75206

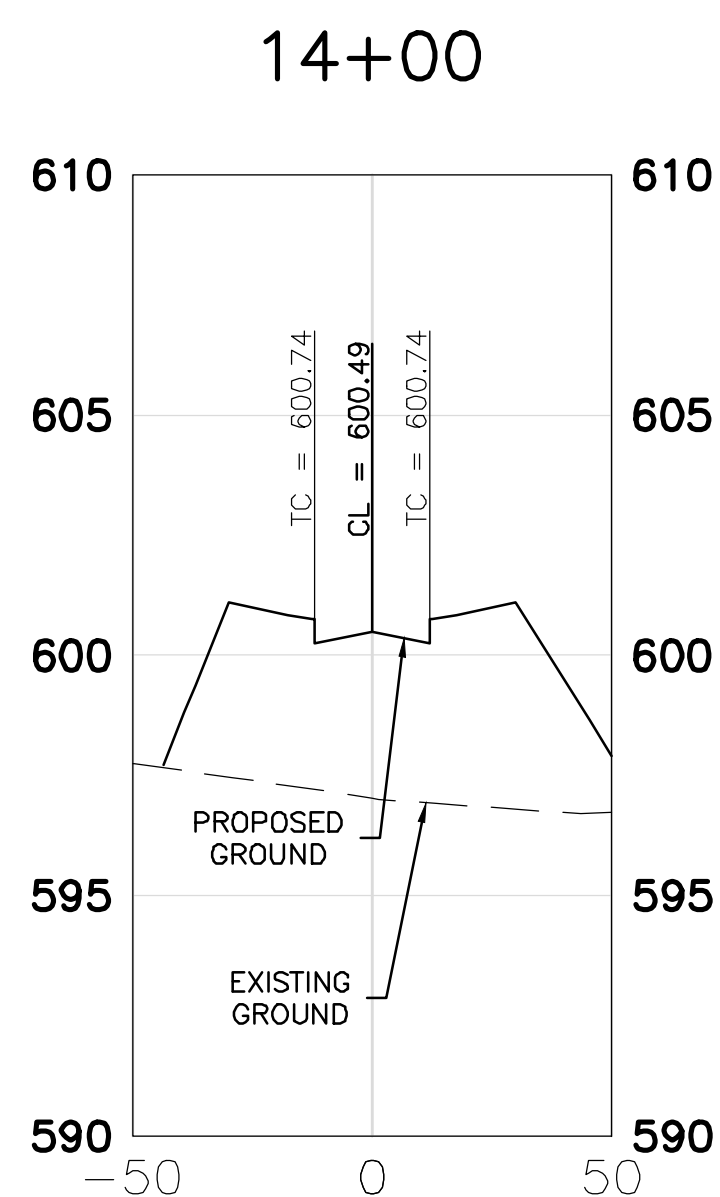
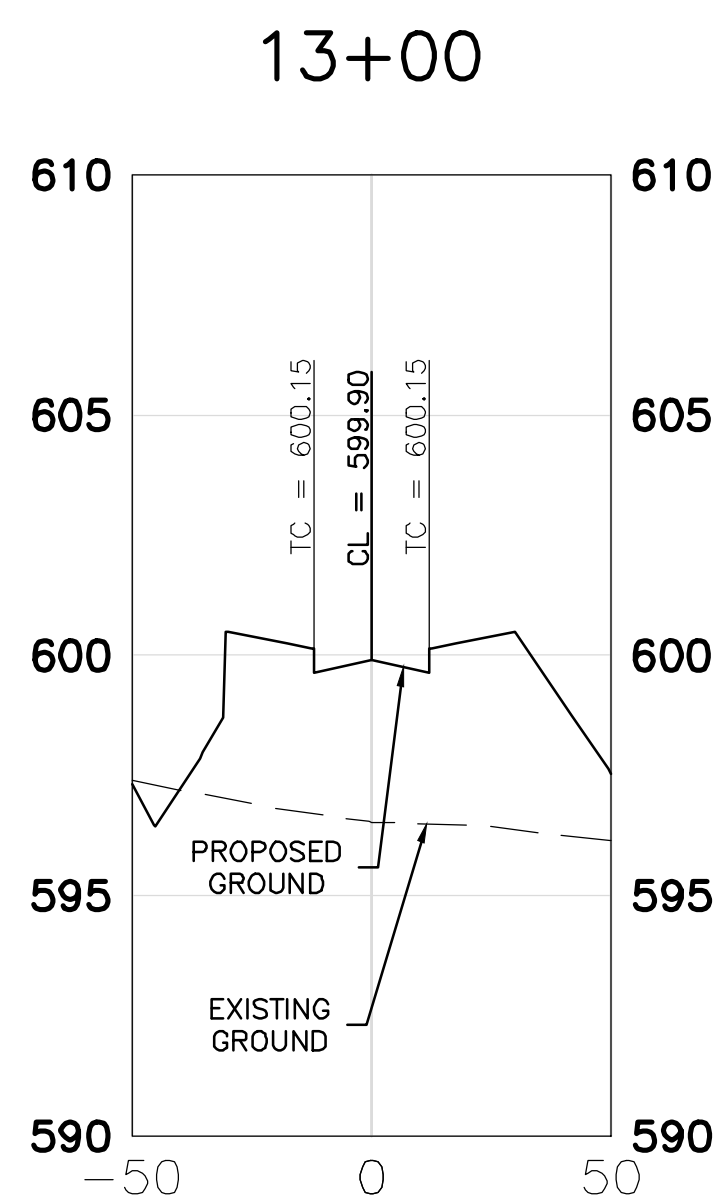
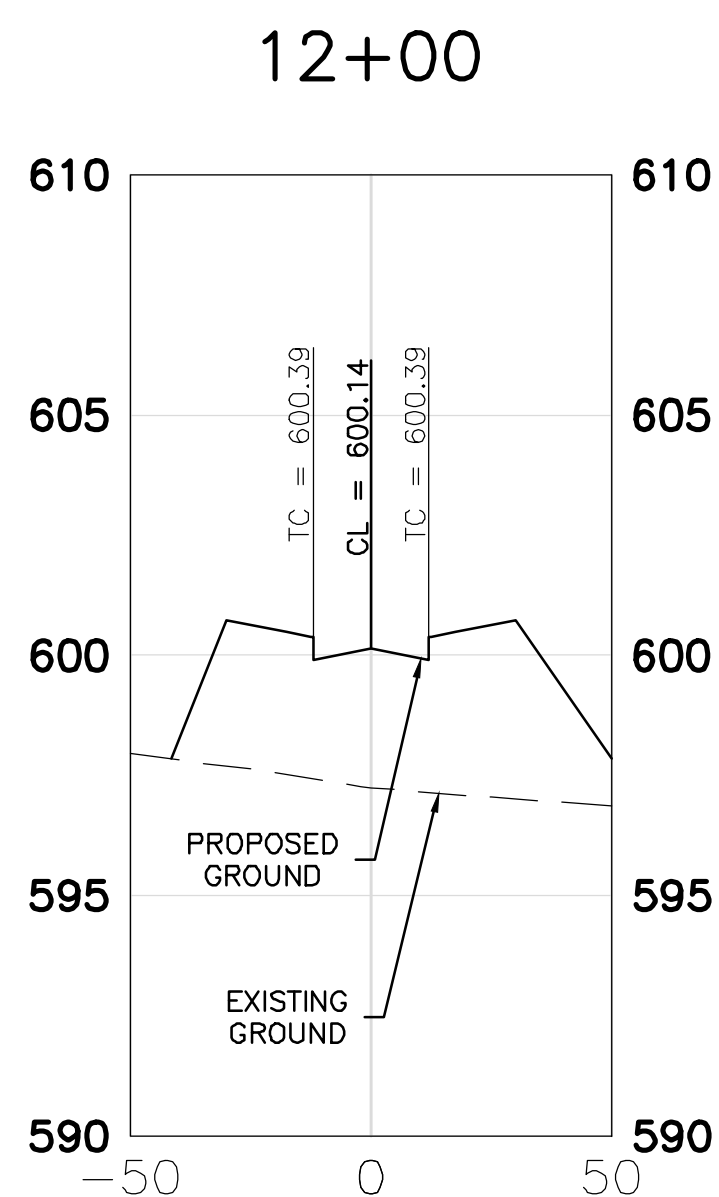
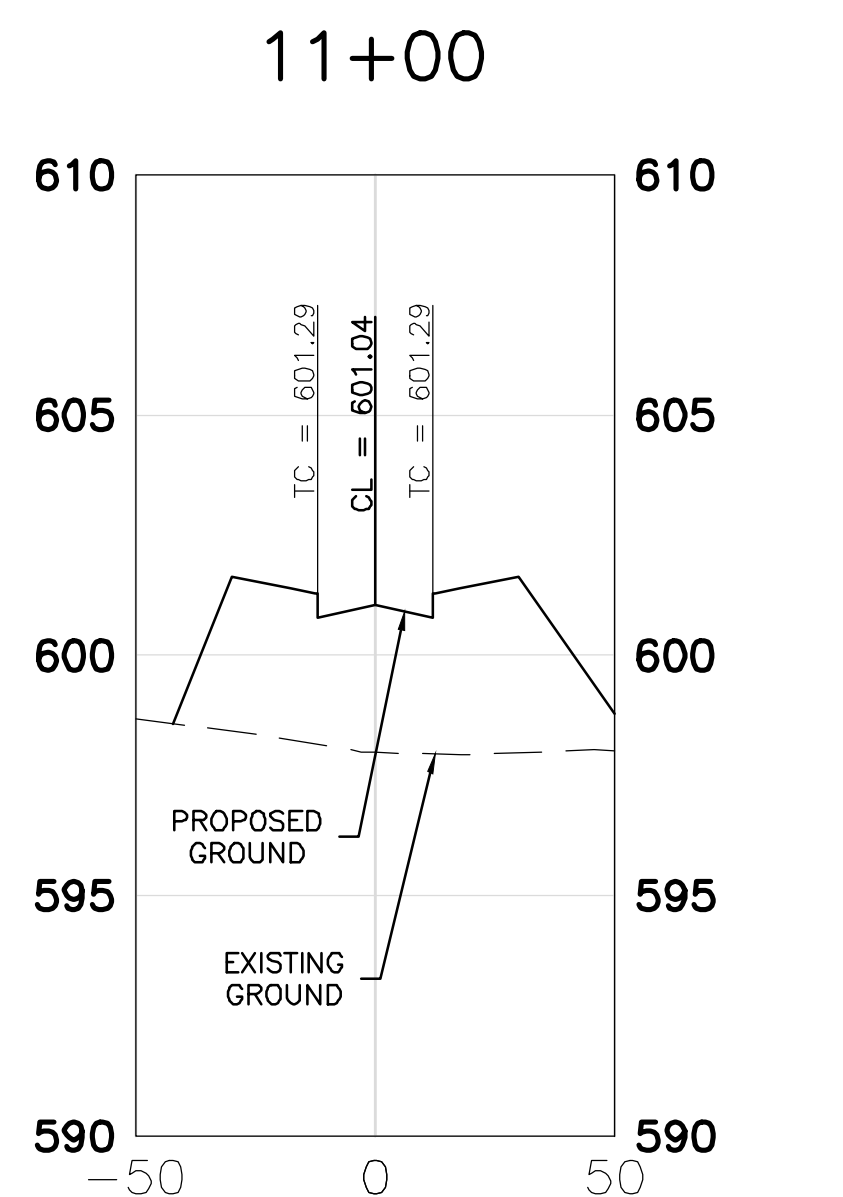
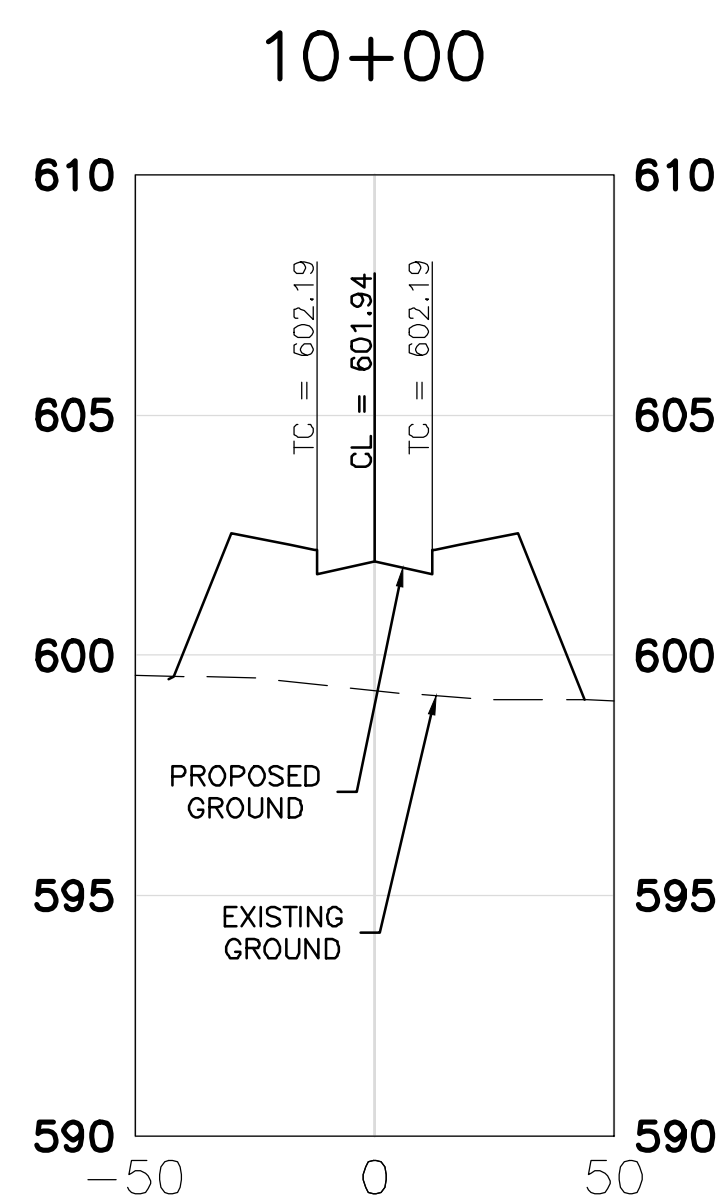
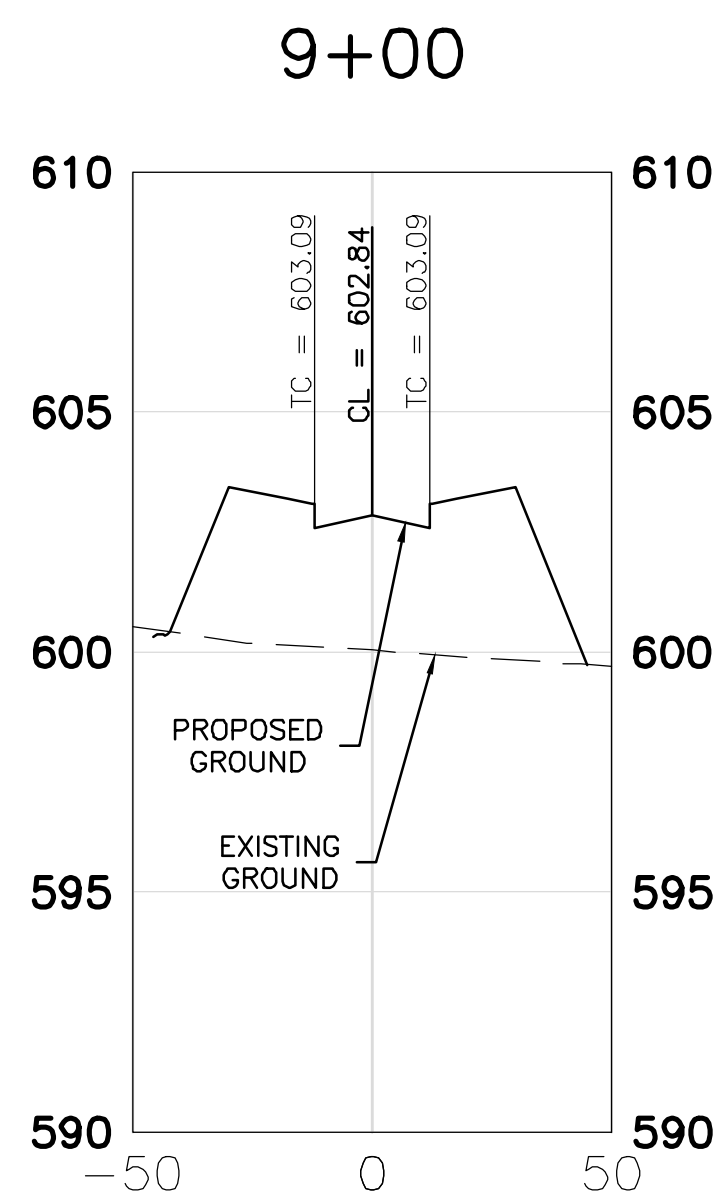
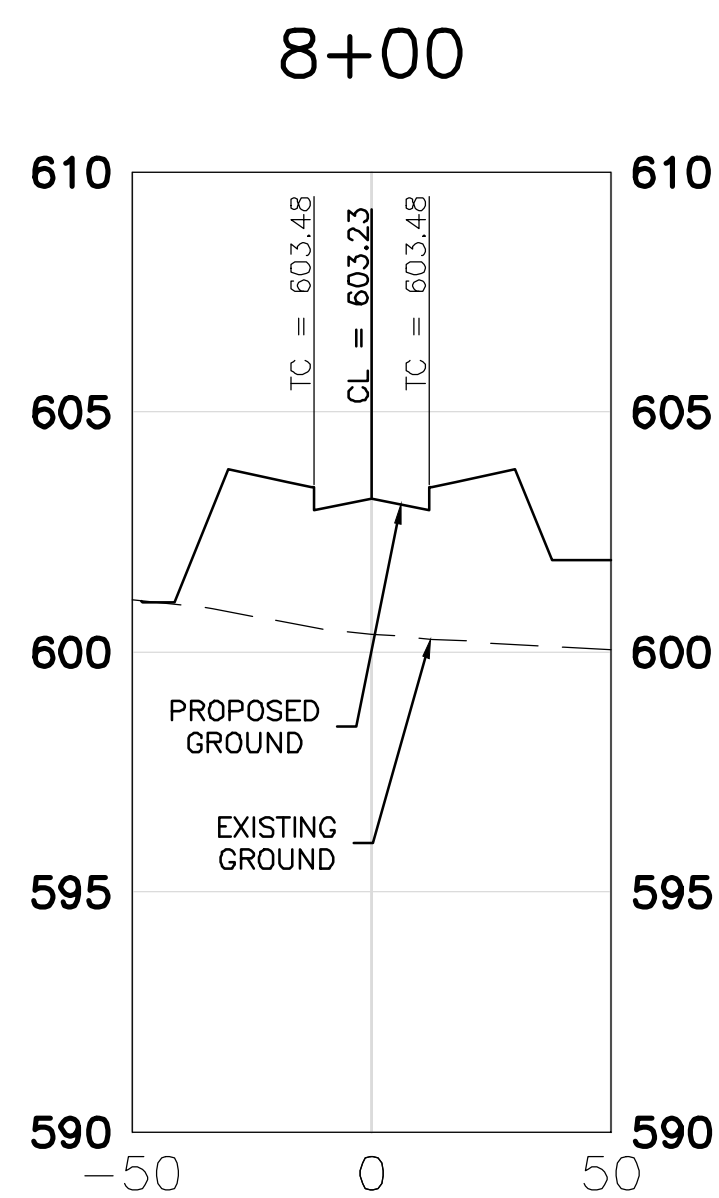
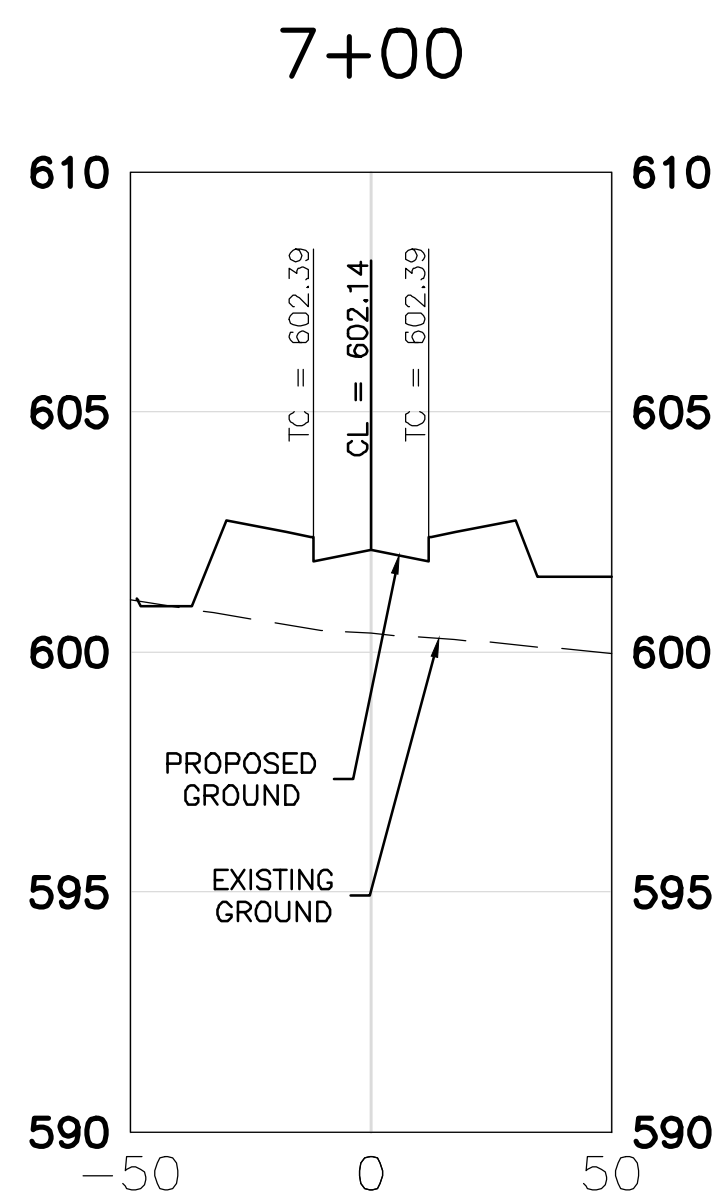
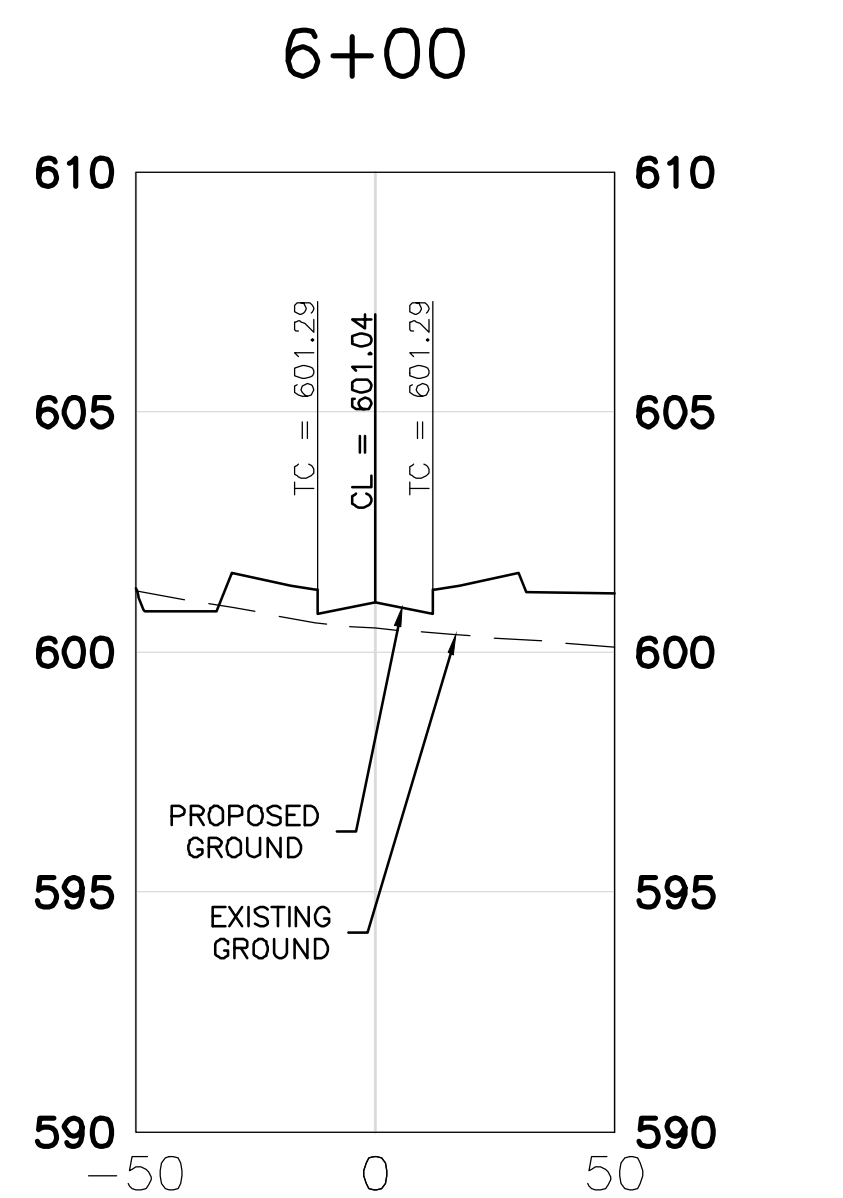
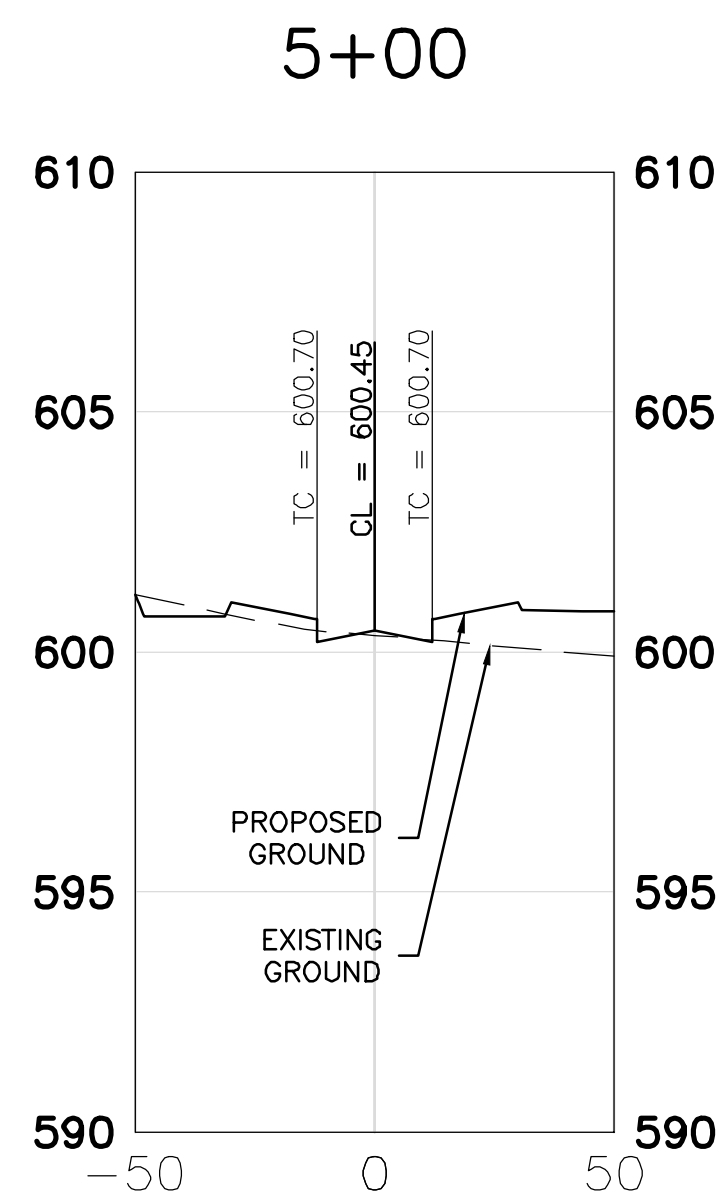
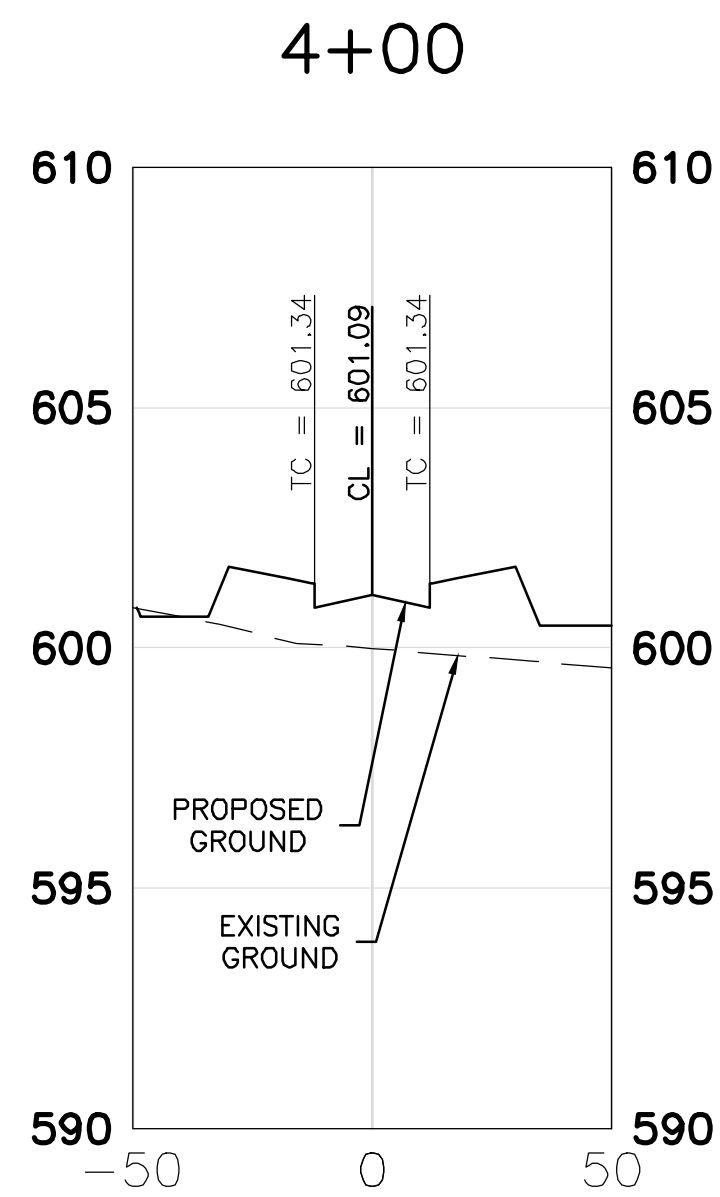
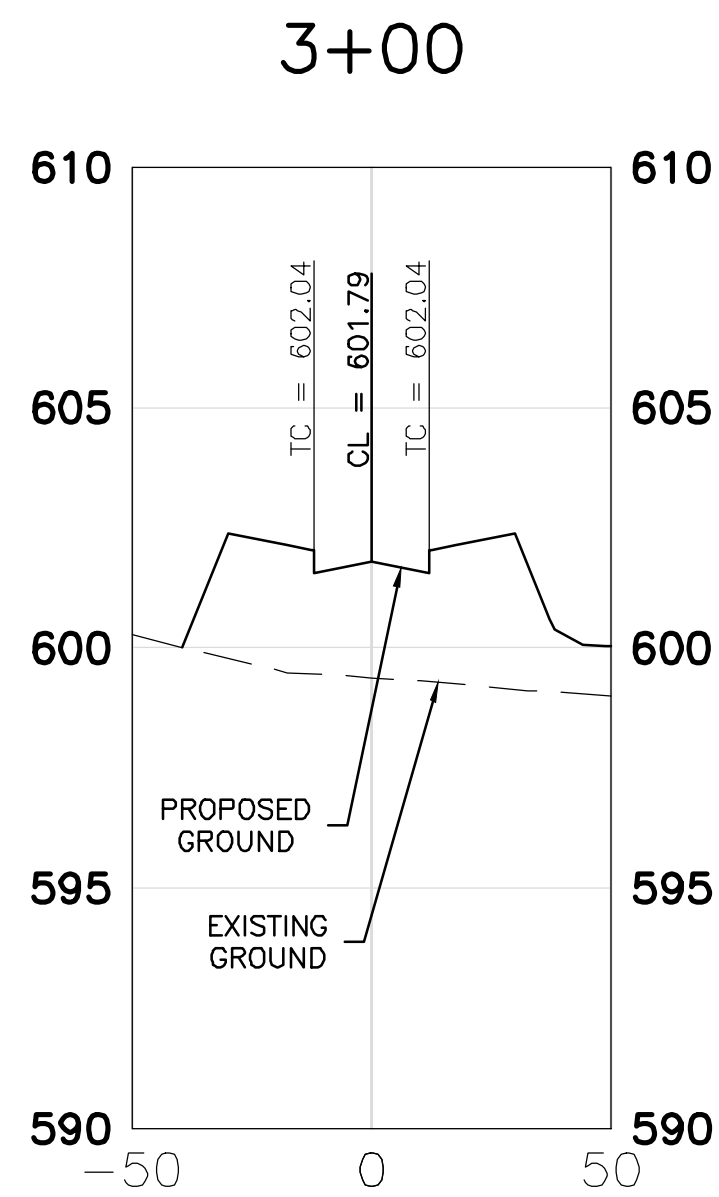
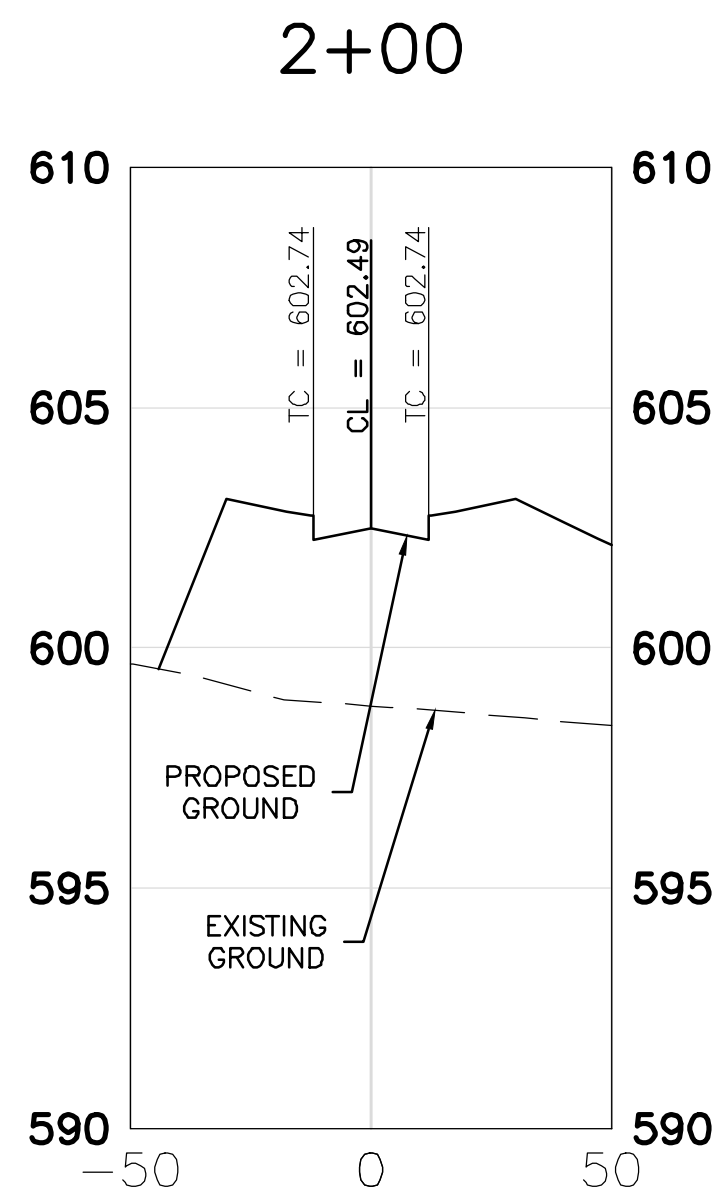
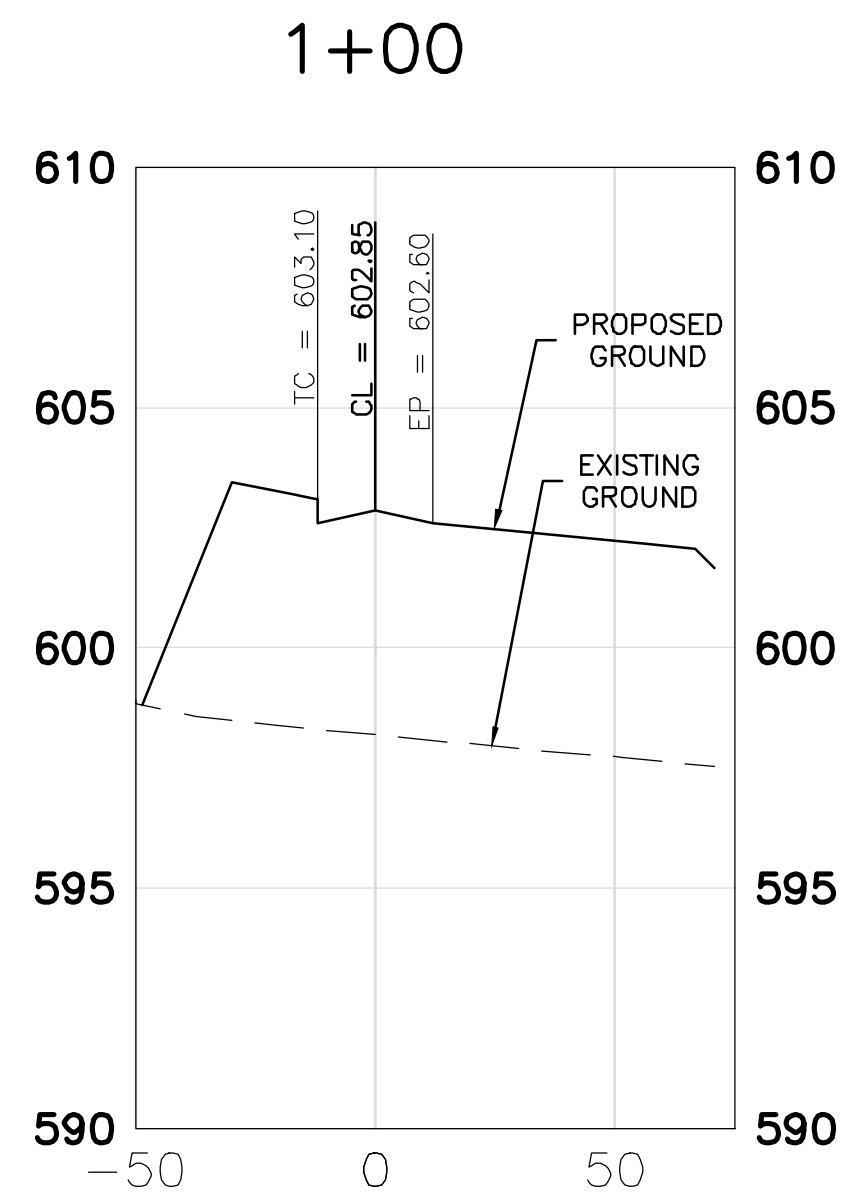
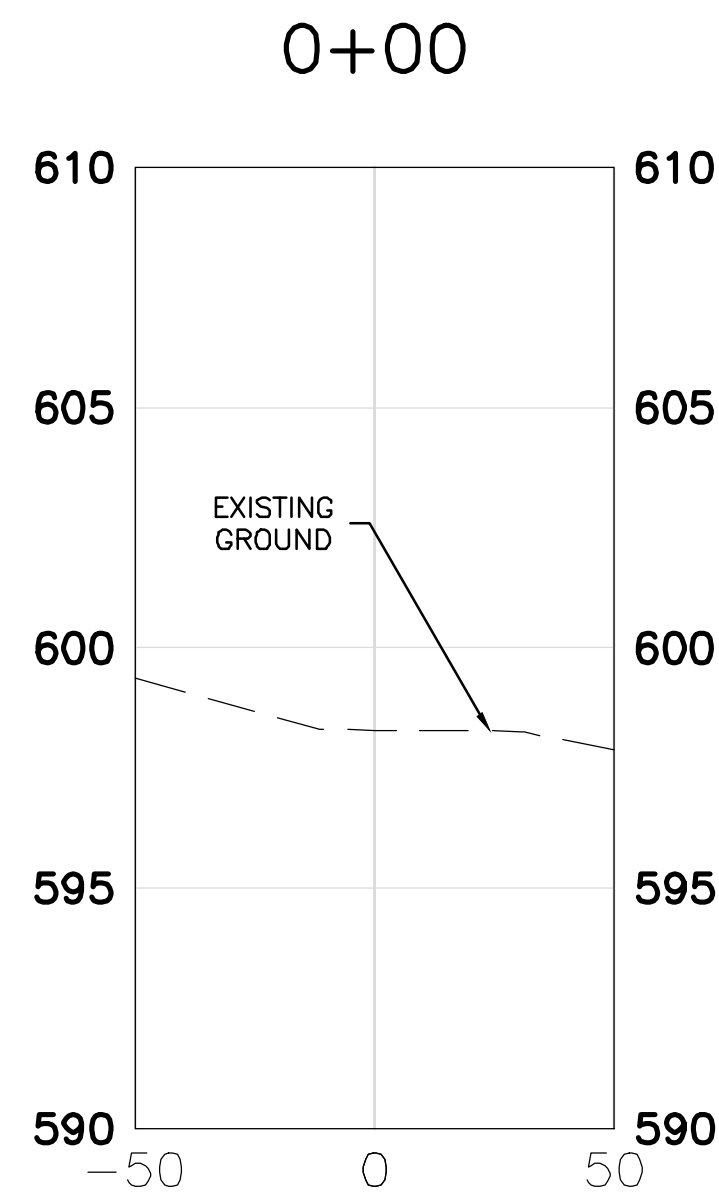
Phone 469.621.0710  
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LJA PROJECT ID  
NT561-0133  
DATE: JUN 2023  
DESIGN: MARTINEZ  
DRAWN: MARTINEZ

SCALE  
HORIZ: 1" = 40'  
VERT: N/A

SHEET  
10  
OF 35 SHEETS



BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP  
STAMPED "RANDOM" SET ON THE SOUTH  
SIDE OF GREGORY LANE INSIDE THE  
CIRCLE DRIVEWAY OF THE SUBJECT  
TRACT, BEING APPROXIMATELY 526 FEET  
WEST OF THE INTERSECTION OF GREGORY  
LANE AND THE FIRST SOUTHBOUND ROAD  
EAST OF THE SUBJECT TRACT. SAID  
POINT IS ALSO APPROXIMATELY 87 FEET  
NORTH OF THE NORTHWEST CORNER OF  
THE HOUSE LOCATED ON THE SITE, AND  
APPROXIMATELY 15 FEET SOUTH OF THE  
OVERHEAD POWER LINES.

ELEV 597.995

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## CROSS SECTIONS

### STA 0+00 TO 14+00

PANORAMA  
STREET

**CITY OF PARKER**  
**COLLIN COUNTY, TEXAS**

**LJA Engineering, Inc.**



6060 North Central Expressway Phone 469.621.0710  
Suite 400  
Dallas, Texas 75206 FRN - F-1386

Phone 469.621.0710

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LJA PROJECT ID  
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| DESIGN: | MARTINEZ |
| DRAWN:  | MARTINEZ |

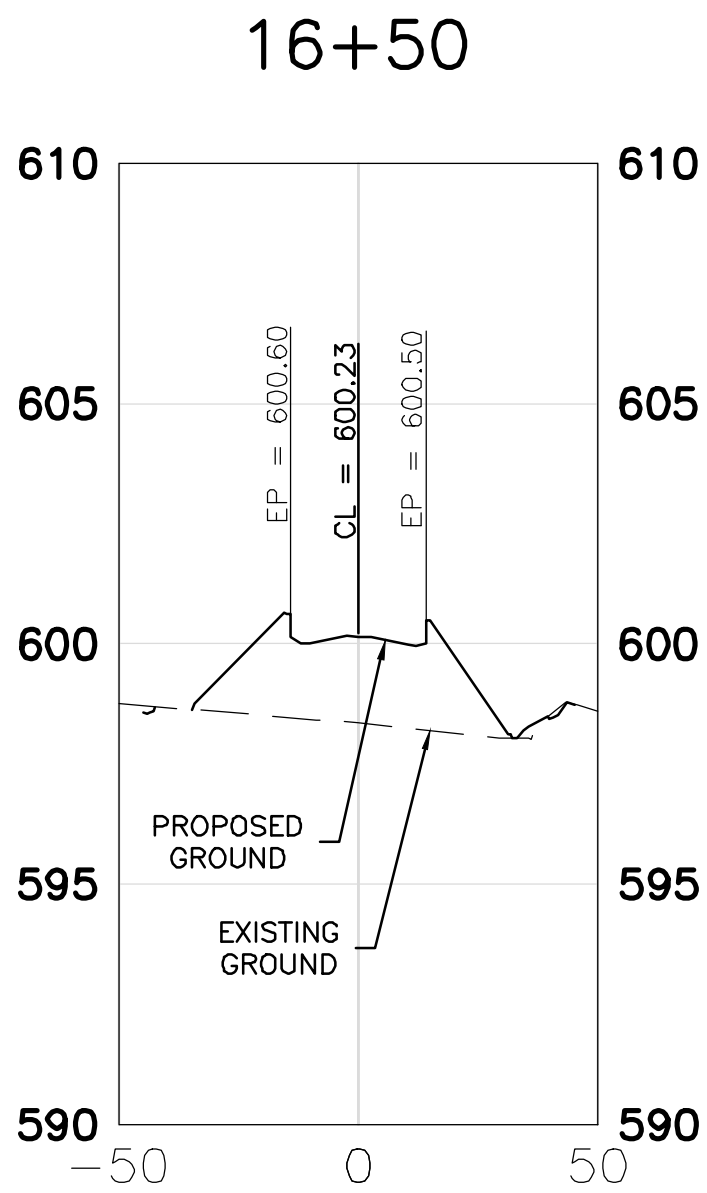
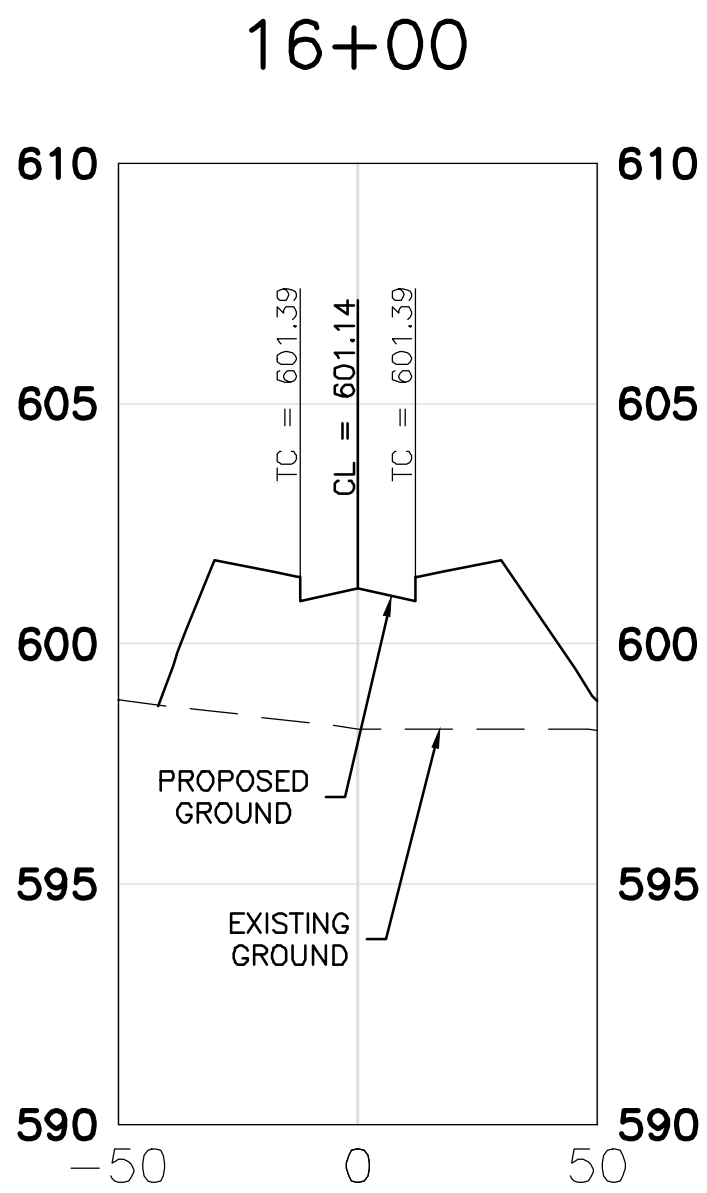
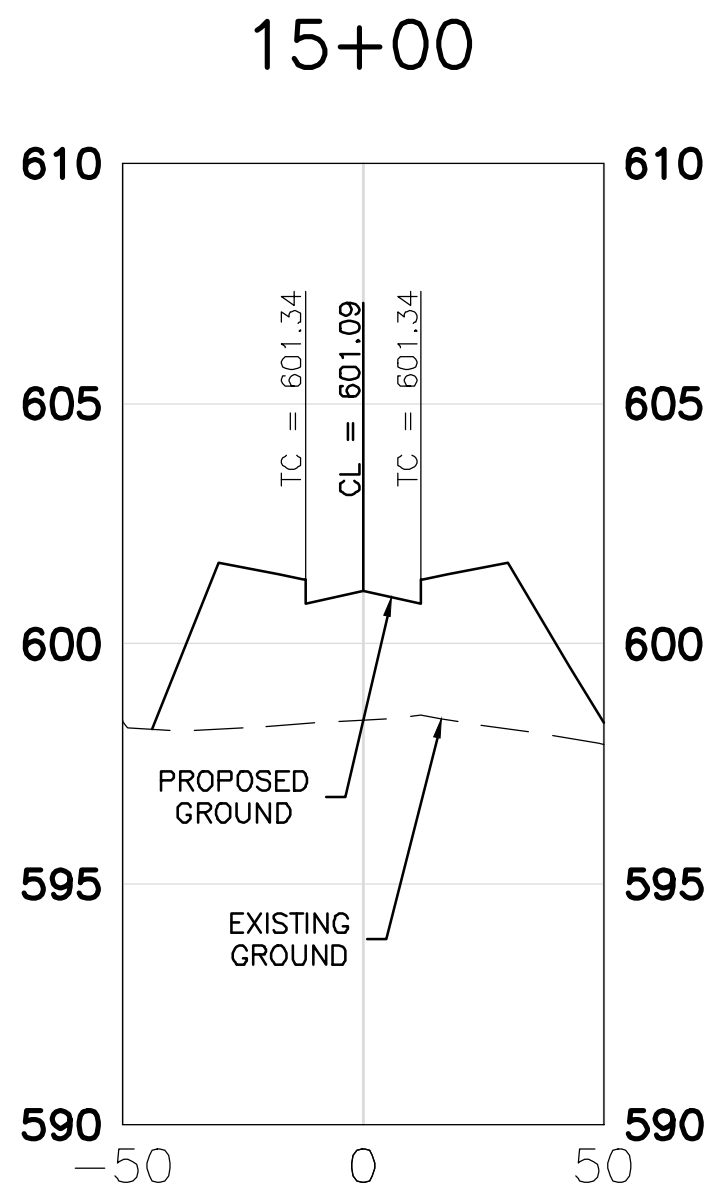
SCALE

HORZ: 1" = 40'

VERT: 1" = 4'

SHEET

11  
OF 35 SHEETS



**BENCHMARKS:**

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

ELEV 605.438

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ELEV 597.995

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| DATE | REVISION | BY |

**CROSS SECTIONS  
STA 15+00 TO 16+50**


**PANORAMA  
STREET**

**CITY OF PARKER  
COLLIN COUNTY, TEXAS**

**LJA Engineering, Inc.**  
6060 North Central Expressway  
Suite 400  
Dallas, Texas 75206

**LJA**  
Phone 469.621.0710  
FRN - F-1386

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|  | DATE: JUN 2023                            |                              |
|  | DESIGN: MARTINEZ                          |                              |
|  | DRAWN: MARTINEZ                           |                              |
|  | SCALE<br>HORIZ: 1" = 40'<br>VERT: 1" = 4' |                              |
|  | SHEET<br>12<br>OF 35 SHEETS               |                              |



**WARNING!!!**  
 APPROXIMATE LOCATION OF  
 EXISTING OVERHEAD ELECTRIC  
 LINE & WATER LINE,  
 CONTRACTOR TO VERIFY  
 LOCATION PRIOR TO  
 CONSTRUCTION

# DRAINAGE DESIGN CRITERIA

## RATIONAL METHOD

### 100 YEAR DESIGN

BENCHMARKS:

ELEV 605.438

ELEV 597.995

## EXISTING DRAINAGE AREA MAP

**CITY OF PARKER**  
**COLLIN COUNTY, TEXAS**

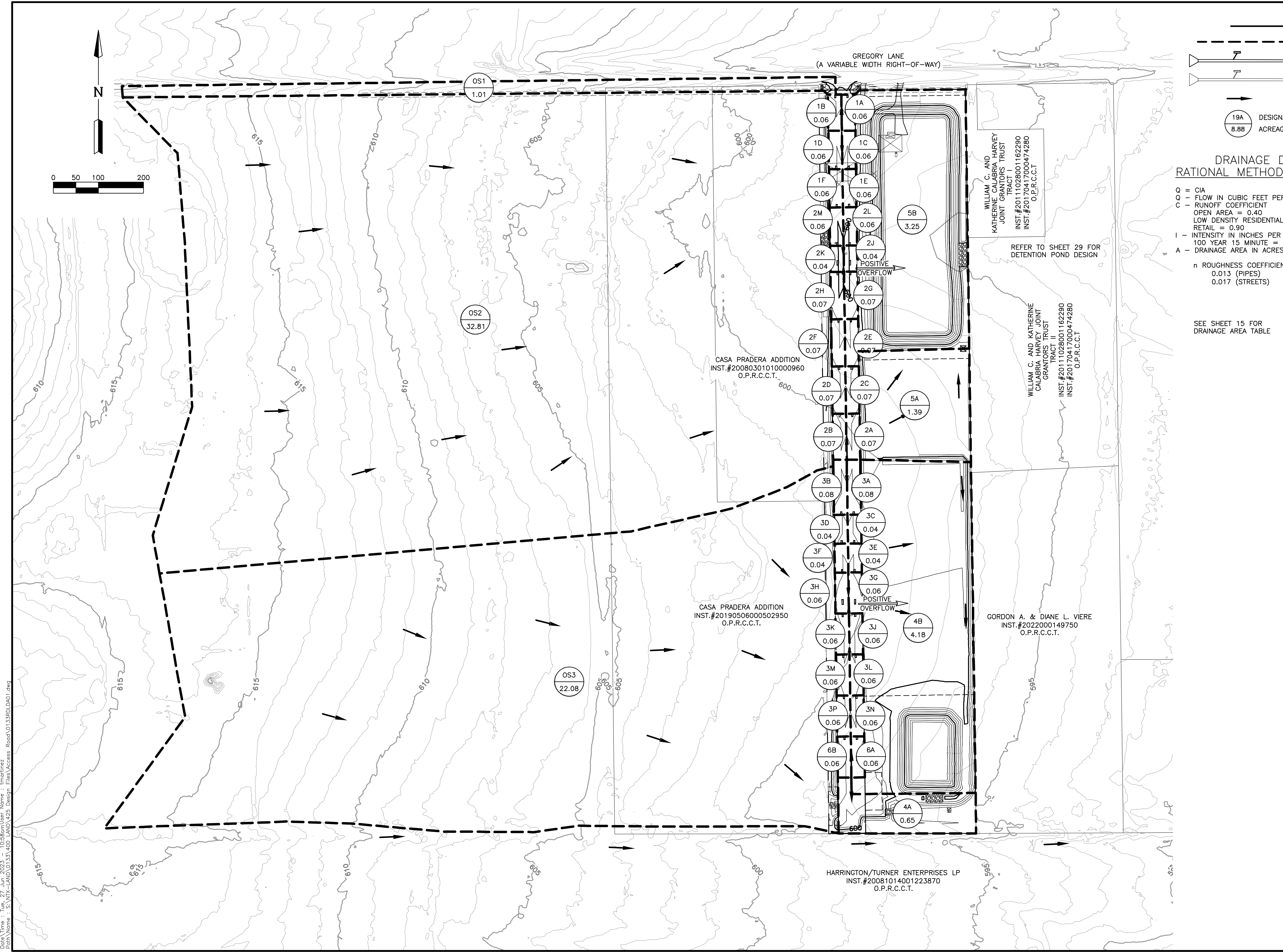
**LJA**

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| LJA PROJECT ID |          |
| NT561-0133     |          |
| DATE:          | JUN 2023 |
| DESIGN:        | MARTINEZ |
| DRAWN:         | MARTINEZ |

SHEET

13

OF 35 SHEETS



LEGEND

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8.88

DESIGNATION  
ACREAGE

DRAINAGE AREA

DRAINAGE DESIGN CRITERIA  
RATIONAL METHOD – 100 YEAR DESIGN

- Q = CIA  
Q = FLOW IN CUBIC FEET PER SECOND – CFS  
C = RUNOFF COEFFICIENT  
OPEN AREA = 0.40  
LOW DENSITY RESIDENTIAL = 0.50  
RETAIL = 0.90  
I = INTENSITY IN INCHES PER HOUR  
100 YEAR 15 MINUTE = 7.88  
A = DRAINAGE AREA IN ACRES

BENCHMARKS:  
BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.  
ELEV 605.438

SEE SHEET 15 FOR  
DRAINAGE AREA TABLE

BM#3 5/8" IRON ROD WITH CAP STAMPED "RANDOM" SET ON THE SOUTH SIDE OF GREGORY LANE INSIDE THE CIRCLE DRIVEWAY OF THE SUBJECT TRACT, BEING APPROXIMATELY 526 FEET WEST OF THE INTERSECTION OF GREGORY LANE AND THE FIRST SOUTHBOUND ROAD EAST OF THE SUBJECT TRACT. SAID POINT IS ALSO APPROXIMATELY 87 FEET NORTH OF THE NORTHWEST CORNER OF THE HOUSE LOCATED ON THE SITE, AND APPROXIMATELY 15 FEET SOUTH OF THE OVERHEAD POWER LINES.  
ELEV 597.995

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POST-DEVELOPMENT  
DRAINAGE AREA MAP

PANORAMA  
STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

LJA Engineering, Inc.

6060 North Central Expressway  
Suite 400  
Dallas, Texas 75206

Phone 469.621.0710

FRN - F-1386

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LJA PROJECT ID  
NT561-0133

DATE: JUN 2023

DESIGN: MARTINEZ

DRAWN: MARTINEZ

SCALE  
HORIZ: 1" = 100'  
VERT: N/A

SHEET  
14  
OF 35 SHEETS

Plot Time : Tue, 27 Jun 2023 10:58:41 User Name : tmartinez  
PANORAMA - 20230627 - LJA\DWG\01337-400 - 17000\425 - Design Files\Access Road\01337PDD\0401.dwg

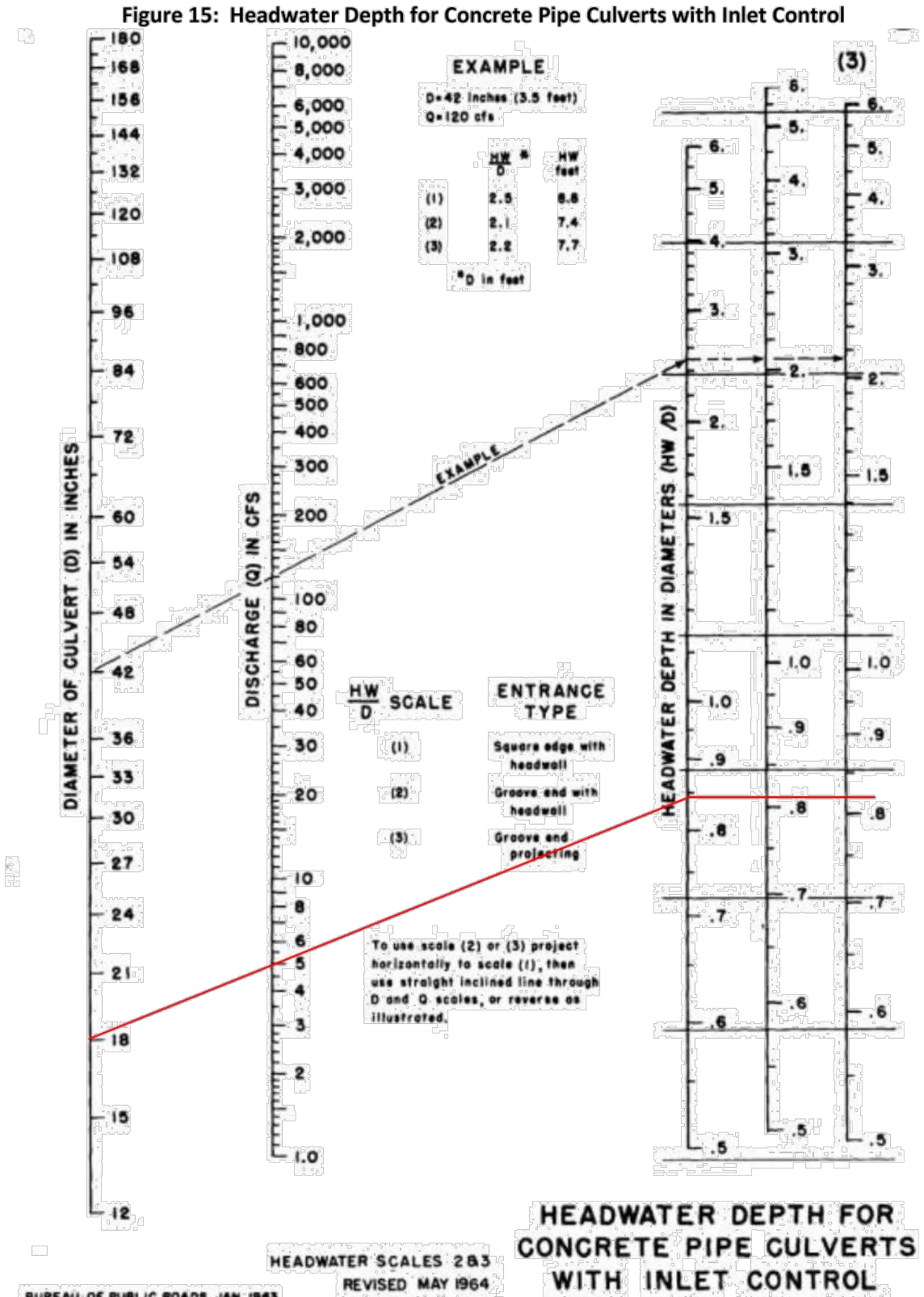
PANORAMA STREET

122



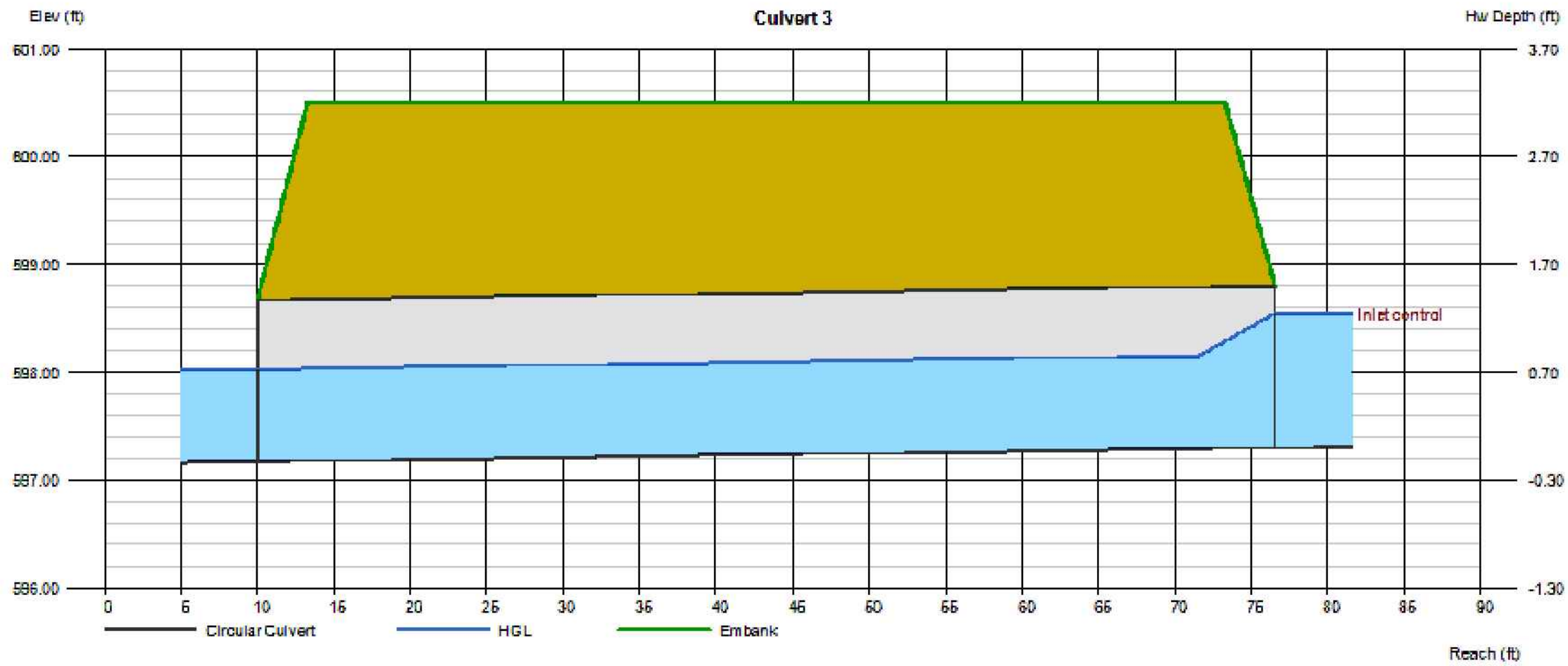
124





(Source: FHWA Hydraulic Design of Highway Culverts 3<sup>rd</sup> Ed., 2012)

8-17




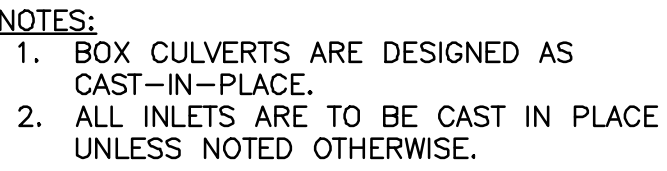
| Q     |       |       | Velo   |        | Depth |       | HGL    |        |        |      |
|-------|-------|-------|--------|--------|-------|-------|--------|--------|--------|------|
| Total | Pipe  | Over  | Dn     | Up     | Dn    | Up    | Dn     | Up     | Hw     | HwD  |
| (cfs) | (cfs) | (cfs) | (ft/s) | (ft/s) | (in)  | (in)  | (ft)   | (ft)   | (ft)   |      |
| 3.00  | 3.00  | 0.00  | 4.02   | 4.02   | 7.90  | 7.90  | 597.83 | 597.96 | 598.22 | 0.81 |
| 3.50  | 3.50  | 0.00  | 4.23   | 4.23   | 8.66  | 8.66  | 597.86 | 598.01 | 598.31 | 0.87 |
| 4.00  | 4.00  | 0.00  | 4.42   | 4.42   | 9.18  | 9.18  | 597.93 | 598.06 | 598.39 | 0.73 |
| 4.50  | 4.50  | 0.00  | 4.60   | 4.60   | 9.76  | 9.76  | 597.98 | 598.11 | 598.47 | 0.78 |
| 5.00  | 5.00  | 0.00  | 4.77   | 4.77   | 10.32 | 10.32 | 598.03 | 598.16 | 598.55 | 0.83 |

| DESIGN NODE                  | Kj   | EQUATION  |
|------------------------------|------|---|
| Inlet at end of line         | 1.25 | LOSS=Kj $\frac{V_{out}^2}{2g}$                          |
| 45° bend                     | 0.35 |   |
| 60° bend                     | 0.43 |   |
| Pipe size change             | N/A  |   |
| 60° wye connection           | 0.60 | LOSS= $\frac{V_{out}^2}{2g}$ - Kj $\frac{V_{in}^2}{2g}$ |
| 45° wye connection           | 0.75 |   |
| Manhole without inflow (90°) | 0.25 |   |
| Manhole with inflow (90°)    | 0.25 |   |

- (\*) DENOTES PARTIAL FLOW VELOCITY/DEPTH  
(~) DENOTES NORMAL FLOW VELOCITY/DEPTH  
(~) DENOTES HGL AT TOP OF PIPE (UPSTREAM PIPE IN FULL FLOW)  
[-] DENOTES TIME OF CONCENTRATION SET SAME AS UPSTREAM JUNCTION.  
^ DENOTES SUPERCRITICAL FLOW REGIME.

NOTE: IN A SUPERCRITICAL FLOW REGIME WITH PARTIAL FLOW CONDITIONS, HEAD LOSSES ARE NOT GENERATED AT UPSTREAM JUNCTIONS. JUNCTION HEAD LOSS HAS BEEN SET TO ZERO.

|  |          |   |
|--|----------|---|
| DATE   | REVISION | BY  |
| DRAINAGE CALCULATIONS  |          |   |
| PANORAMA STREET  |          |   |
| CITY OF PARKER<br>COLLIN COUNTY, TEXAS   |          |   |
| LJA Engineering, Inc. <br>6060 North Central Expressway Phone 469.621.0710<br>Suite 400<br>Dallas, Texas 75206 FRN - F-1386 |          |   |
| PRELIMINARY  |          | LJA PROJECT ID<br>NT561-0133                          |
| THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF VERONICA B. HADLEY, TEXAS P.E. #143748 ON 06 27 2023. THIS DOCUMENT IS NOT TO BE USED FOR THE PURPOSES OF CONSTRUCTION.               |          | DATE: JUN 2023<br>DESIGN: MARTINEZ<br>DRAWN: MARTINEZ |
|  |          | SCALE<br>HORIZ: N/A<br>VERT: N/A                      |
|  |          | SHEET<br>18<br>OF 35 SHEETS                           |



BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

BM#3 5/8" IRON ROD WITH CAP  
STAMPED "RANDOM" SET ON THE SOUTH  
SIDE OF GREGORY LANE INSIDE THE  
CIRCLE DRIVEWAY OF THE SUBJECT  
TRACT, BEING APPROXIMATELY 526 FEET  
WEST OF THE INTERSECTION OF GREGORY  
LANE AND THE FIRST SOUTHBOUND ROAD  
EAST OF THE SUBJECT TRACT. SAID  
POINT IS ALSO APPROXIMATELY 87 FEET  
NORTH OF THE NORTHWEST CORNER OF  
THE HOUSE LOCATED ON THE SITE, AND  
APPROXIMATELY 15 FEET SOUTH OF THE  
OVERHEAD POWER LINES.



# PANORAMA STREET

**CITY OF PARKER  
COLLIN COUNTY, TEXAS**



Phone 469.621.0710

FRN - F-1386

LA PROJECT ID  
NT561-0133

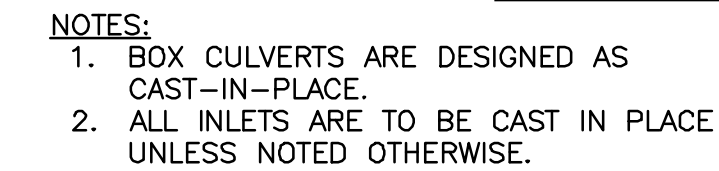
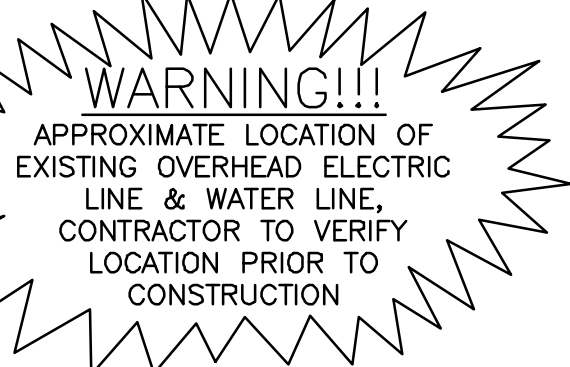
|       |          |
|-------|----------|
| E:    | JUN 2023 |
| SIGN: | MARTINEZ |
| AWN:  | MARTINEZ |

| SCALE |          |
|-------|----------|
| ORZ:  | 1" = 40' |
| RT:   | 1" = 4'  |

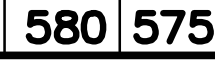
SHEE

19

35 SHEETS



ELEV 597.995

SHEET

- NOTES:
1. BOX CULVERTS ARE DESIGNED AS CAST-IN-PLACE.
  2. ALL INLETS ARE TO BE CAST IN PLACE UNLESS NOTED OTHERWISE.

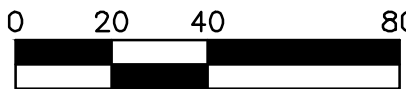
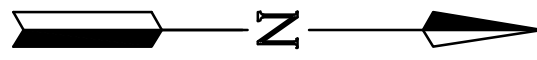
BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP STAMPED "RANDOM" SET ON THE SOUTH SIDE OF GREGORY LANE INSIDE THE CIRCLE DRIVEWAY OF THE SUBJECT TRACT, BEING APPROXIMATELY 526 FEET WEST OF THE INTERSECTION OF GREGORY LANE AND THE FIRST SOUTHBOUND ROAD EAST OF THE SUBJECT TRACT. SAID POINT IS ALSO APPROXIMATELY 87 FEET NORTH OF THE NORTHWEST CORNER OF THE HOUSE LOCATED ON THE SITE, AND APPROXIMATELY 15 FEET SOUTH OF THE OVERHEAD POWER LINES.

ELEV 597.995



ROAD DRAINAGE EASEMENT BY SEPARATE INSTRUMENT

STA 2+33.32 SD1=  
PAV STA 13+70.32 (12.68' RT)  
PANORAMA STREET  
INSTALL 45° BEND

STA 2+43.47 SD1=  
PAV STA 13+77.50 (5.50' RT)  
PANORAMA STREET  
INSTALL 45° BEND

STA 1+20.78 LAT1F=  
PAV STA 13+93.03 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 6" STD CURB INLET  
TOP = 600.70 FL = 596.20

STA 2+54.96 SD1=  
STA 1+00.00 LAT1E  
INSTALL 60° WYE CONNECTION

STA 1+20.78 LAT1D=  
PAV STA 14+78.03 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 6" STD CURB INLET  
TOP = 601.21 FL = 596.71

STA 3+39.96 SD1=  
STA 1+00.00 LAT1C  
INSTALL 60° WYE CONNECTION

STA 1+20.78 LAT1B=  
PAV STA 16+36.05 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 6" STD CURB INLET  
TOP = 600.76 FL = 596.26

STA 4+97.99 SD1=  
PAV STA 16+32.01 (5.50' RT)  
PANORAMA STREET  
INSTALL 60° BEND

STA 5+06.07 SD1=  
PAV STA 16+36.05 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 6" STD CURB INLET  
TOP = 600.76 FL = 596.26

STA 4+91.64 SD1=  
STA 1+00.00 LAT1B  
INSTALL 60° WYE CONNECTION

STA 1+08.08 LAT1E=  
PAV STA 13+93.03 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 6" STD CURB INLET  
TOP = 600.70 FL = 596.20

STA 2+48.61 SD1=  
STA 1+00.00 LAT1F  
INSTALL 60° WYE CONNECTION

STA 1+08.08 LAT1C=  
PAV STA 14+78.03 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 6" STD CURB INLET  
TOP = 601.21 FL = 596.71

STA 3+33.61 SD1=  
STA 1+00.00 LAT1D  
INSTALL 60° WYE CONNECTION

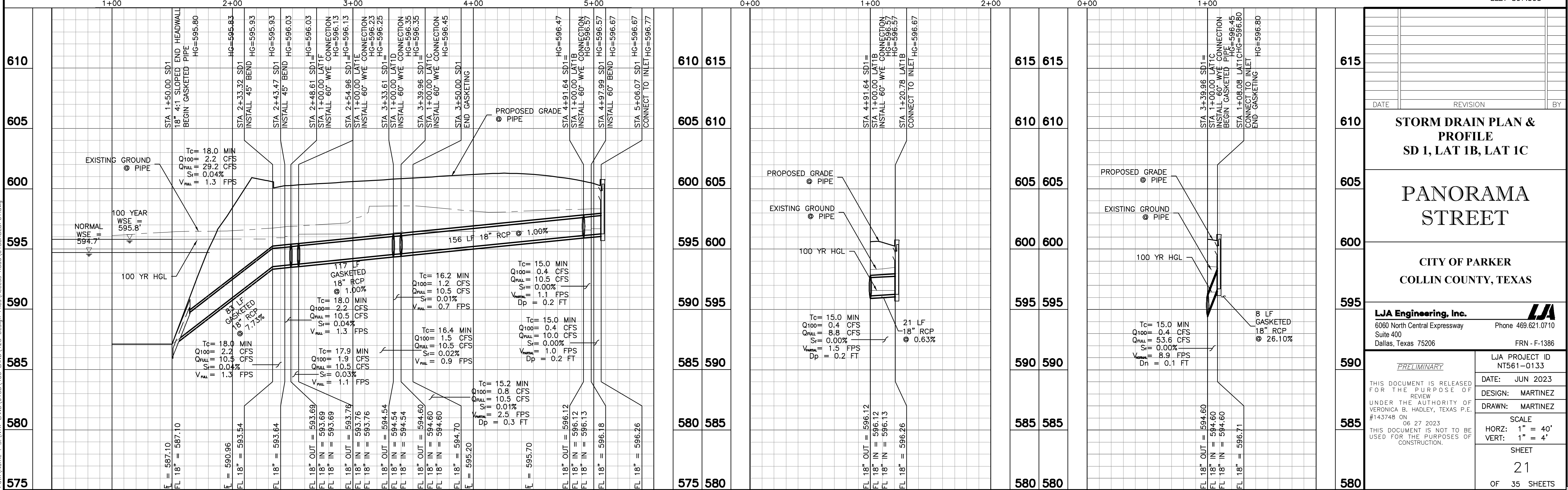
STA 1+50.00 SD1=  
PAV STA 13+70.32 (96.00' RT)  
PANORAMA STREET  
INSTALL 18" 4:1 SLOPED END HEADWALL

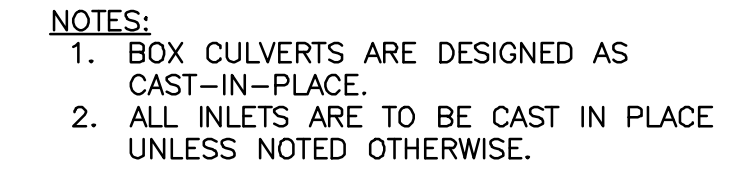
100 YEAR WATER SURFACE = 595.8'  
NORMAL WATER SURFACE = 594.70'

SD1

LAT1B

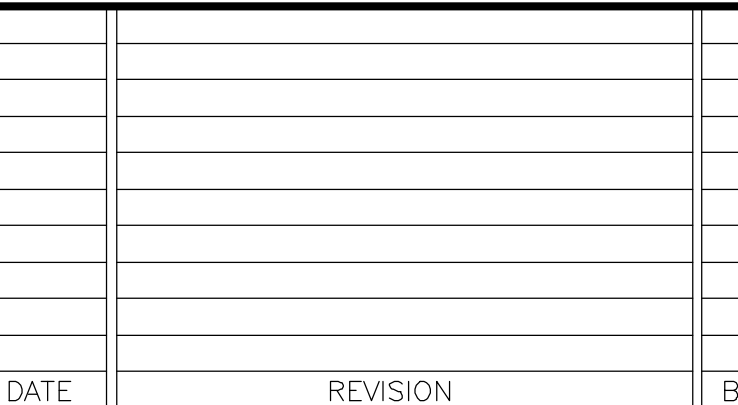
LAT1C





BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

BM#3 5/8" IRON ROD WITH CAP  
STAMPED "RANDOM" SET ON THE SOUTH  
SIDE OF GREGORY LANE INSIDE THE  
CIRCLE DRIVEWAY OF THE SUBJECT  
TRACT, BEING APPROXIMATELY 526 FEET  
WEST OF THE INTERSECTION OF GREGORY  
LANE AND THE FIRST SOUTHBOUND ROAD  
EAST OF THE SUBJECT TRACT. SAID  
POINT IS ALSO APPROXIMATELY 87 FEET  
NORTH OF THE NORTHWEST CORNER OF  
THE HOUSE LOCATED ON THE SITE, AND  
APPROXIMATELY 15 FEET SOUTH OF THE  
OVERHEAD POWER LINES.



# PANORAMA STREET

**LJA Engineering, Inc.**



PRELIMINARY

100

THIS DOCUMENT IS RELEASE  
FOR THE PURPOSE OF

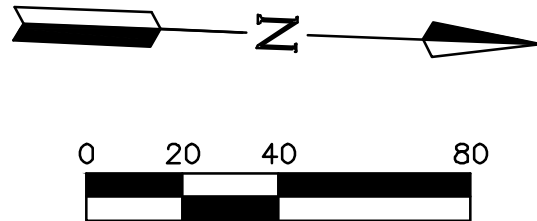
REVIEW  
UNDER THE AUTHORITY OF

VERONICA B. HADLEY, TEXAS P.

06 27 2023

THIS DOCUMENT IS NOT TO BE  
USED FOR THE PURPOSES OF

CONSTRUCTION.



ROAD DRAINAGE EASEMENT BY SEPARATE INSTRUMENT

ACCESS EASEMENT BY SEPARATE INSTRUMENT

ROAD DRAINAGE EASEMENT BY SEPARATE INSTRUMENT

STA 1+18.00 LAT3M=  
PAV STA 3+93.57 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 601.39 FL = 596.89

STA 1+18.00 LAT3P=  
PAV STA 3+02.57 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 602.02 FL = 597.52

STA 4+10.07 SD3=  
STA 1+00.00 LAT3L=  
STA 1+00.00 LAT3M=  
PAV STA 3+93.57 (5.50' RT)  
PANORAMA STREET  
INSTALL TYPE A STORM  
MANHOLE

STA 1+18.00 LAT3K=  
PAV STA 4+84.57 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 600.76 FL = 596.26

STA 5+20.00 SD3=  
STA 1+00.00 LAT3H=  
INSTALL 60" WYE CONNECTION  
STA 1+20.78 LAT3H=  
PAV STA 5+13.89 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 10' STD CURB INLET  
TOP = 600.68 FL = 596.18

STA 1+20.78 LAT3F=  
PAV STA 5+82.58 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 601.10 FL = 596.60

STA 5+95.04 SD3=  
STA 1+00.00 LAT3E=  
INSTALL 60" WYE CONNECTION

STA 1+20.78 LAT3D=  
PAV STA 6+46.63 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 601.81 FL = 597.31

STA 6+52.74 SD3=  
STA 1+00.00 LAT3D=  
INSTALL 60" WYE CONNECTION  
STA 6+59.10 SD3=  
STA 1+00.00 LAT3C=  
INSTALL 60" WYE CONNECTION

STA 1+20.78 LAT3B=  
PAV STA 7+10.63 (12.50' LT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 602.51 FL = 598.01

STA 7+23.09 SD3=  
PAV STA 7+06.59 (5.50' RT)  
PANORAMA STREET  
INSTALL 60" BEND

STA 7+31.17 SD3=  
PAV STA 7+10.63 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 602.51 FL = 598.01

STA 7+16.74 SD3=  
STA 1+00.00 LAT3B=  
INSTALL 60" WYE CONNECTION

STA 1+08.08 LAT3C=  
PAV STA 6+46.63 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 601.81 FL = 597.31

STA 1+08.08 LAT3E=  
PAV STA 5+82.58 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 601.10 FL = 596.60

STA 5+88.69 SD3=  
STA 1+00.00 LAT3F=  
INSTALL 60" WYE CONNECTION

STA 1+07.00 LAT3J=  
PAV STA 4+84.57 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 600.76 FL = 596.26

STA 1+08.08 LAT3G=  
PAV STA 5+13.89 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 10' STD CURB INLET  
TOP = 600.68 FL = 596.18

STA 5+26.35 SD3=  
STA 1+00.00 LAT3G=  
INSTALL 60" WYE CONNECTION

STA 5+01.07 SD3=  
STA 1+00.00 LAT3K=  
STA 1+00.00 LAT3J=  
PAV STA 4+84.57 (5.50' RT)  
PANORAMA STREET  
INSTALL TYPE A STORM  
MANHOLE

STA 1+07.00 LAT3L=  
PAV STA 3+93.57 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 601.39 FL = 596.89

PT STA 3+19.07 SD3=  
STA 1+00.00 LAT3P=  
STA 1+00.00 LAT3N=  
PAV STA 3+02.57 (5.50' RT)  
PANORAMA STREET  
INSTALL TYPE A STORM  
MANHOLE

STA 1+07.00 LAT3N=  
PAV STA 3+02.57 (12.50' RT)  
PANORAMA STREET  
INSTALL - 1 6' STD CURB INLET  
TOP = 602.02 FL = 597.52

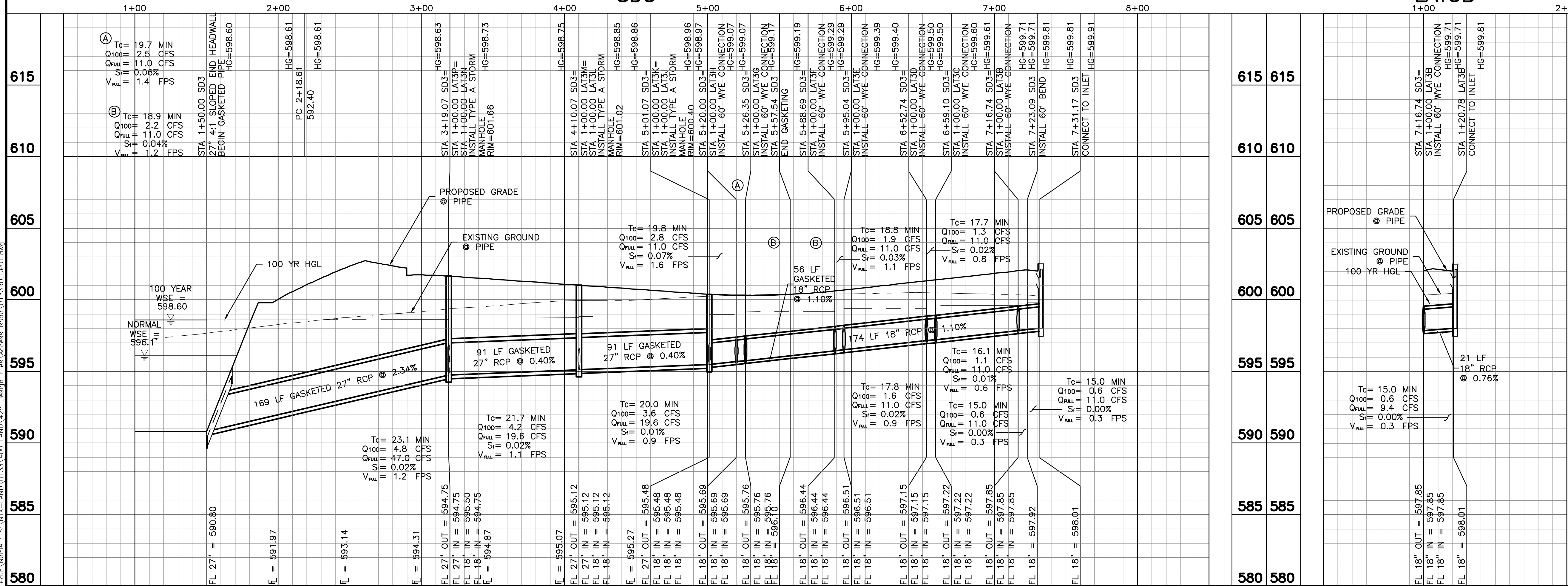
PC STA 2+18.61 SD3  
PAV STA 2+37.59 (68.86' RT)  
PANORAMA STREET

STA 1+50.00 SD3=  
PAV STA 2+35.86 (137.45' RT)  
PANORAMA STREET  
INSTALL 27" 4:1 SLOPED END HEADWALL

100 YEAR WATER  
SURFACE = 598.6'  
NORMAL WATER  
SURFACE = 596.10'

SD3

LAT3B



- NOTES:
1. BOX CULVERTS ARE DESIGNED AS CAST-IN-PLACE.
  2. ALL INLETS ARE TO BE CAST IN PLACE UNLESS NOTED OTHERWISE.

| CENTERLINE CURVE DATA |           |        |         |                    |
|-----------------------|-----------|--------|---------|--------------------|
| CV#                   | DELTA     | RADIUS | LENGTH  | CHORD              |
| C1                    | 88°33'11" | 65.00' | 100.46' | N45°07'00"W 90.76' |

BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP STAMPED "RANDOM" SET ON THE SOUTH SIDE OF GREGORY LANE INSIDE THE CIRCLE DRIVEWAY OF THE SUBJECT TRACT, BEING APPROXIMATELY 526 FEET WEST OF THE INTERSECTION OF GREGORY LANE AND THE FIRST SOUTHBOUND ROAD EAST OF THE SUBJECT TRACT. SAID POINT IS ALSO APPROXIMATELY 87 FEET NORTH OF THE NORTHWEST CORNER OF THE HOUSE LOCATED ON THE SITE, AND APPROXIMATELY 15 FEET SOUTH OF THE OVERHEAD POWER LINES.

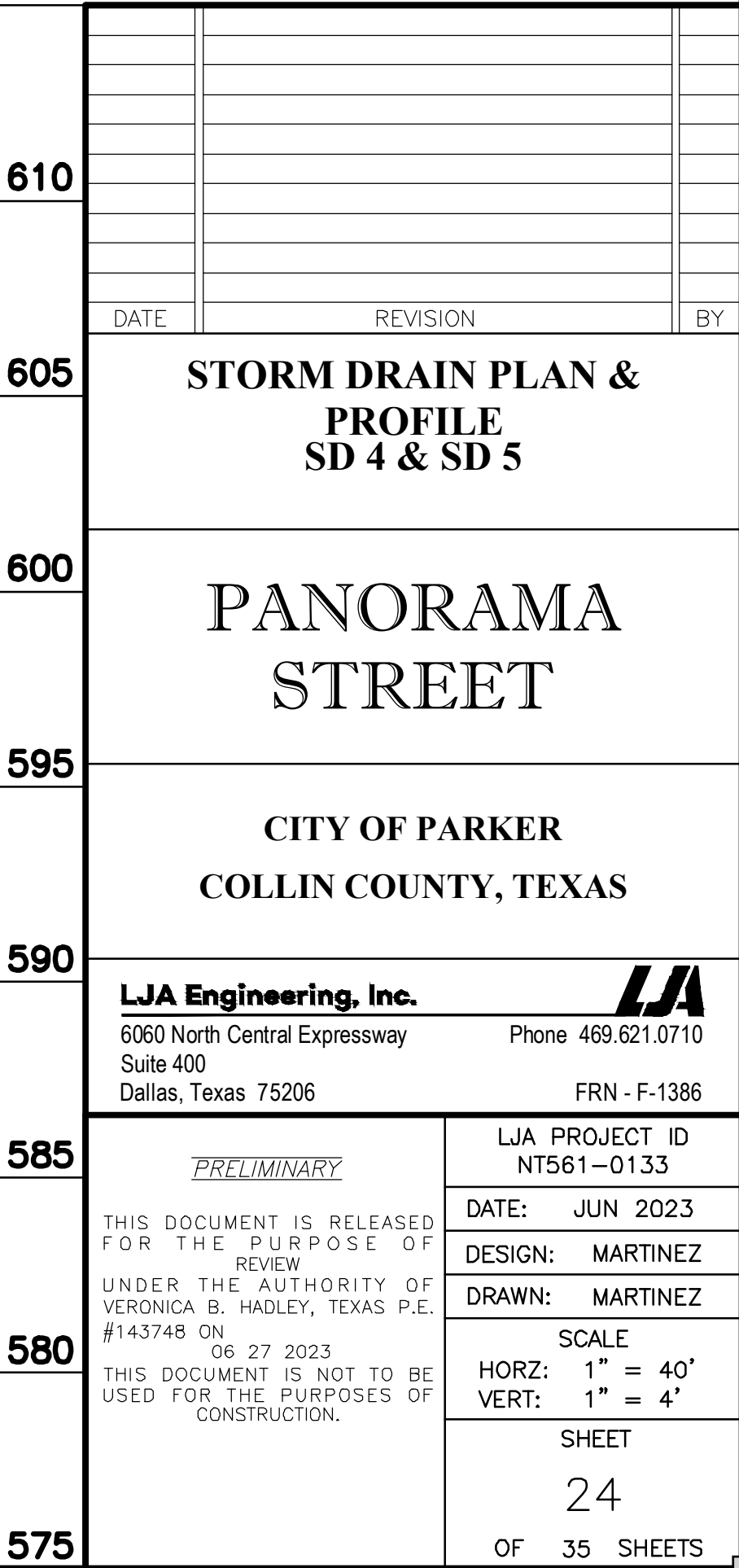
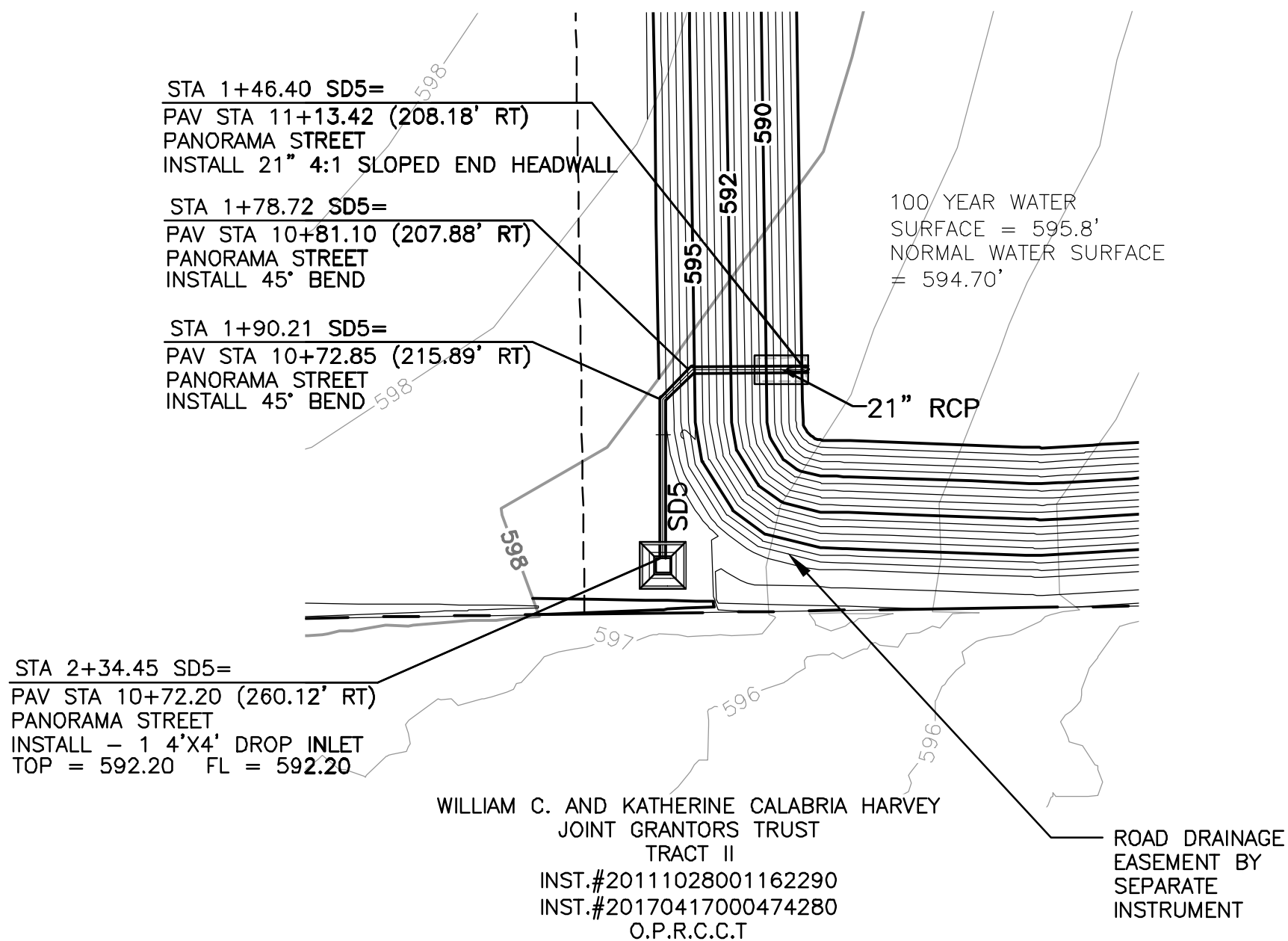
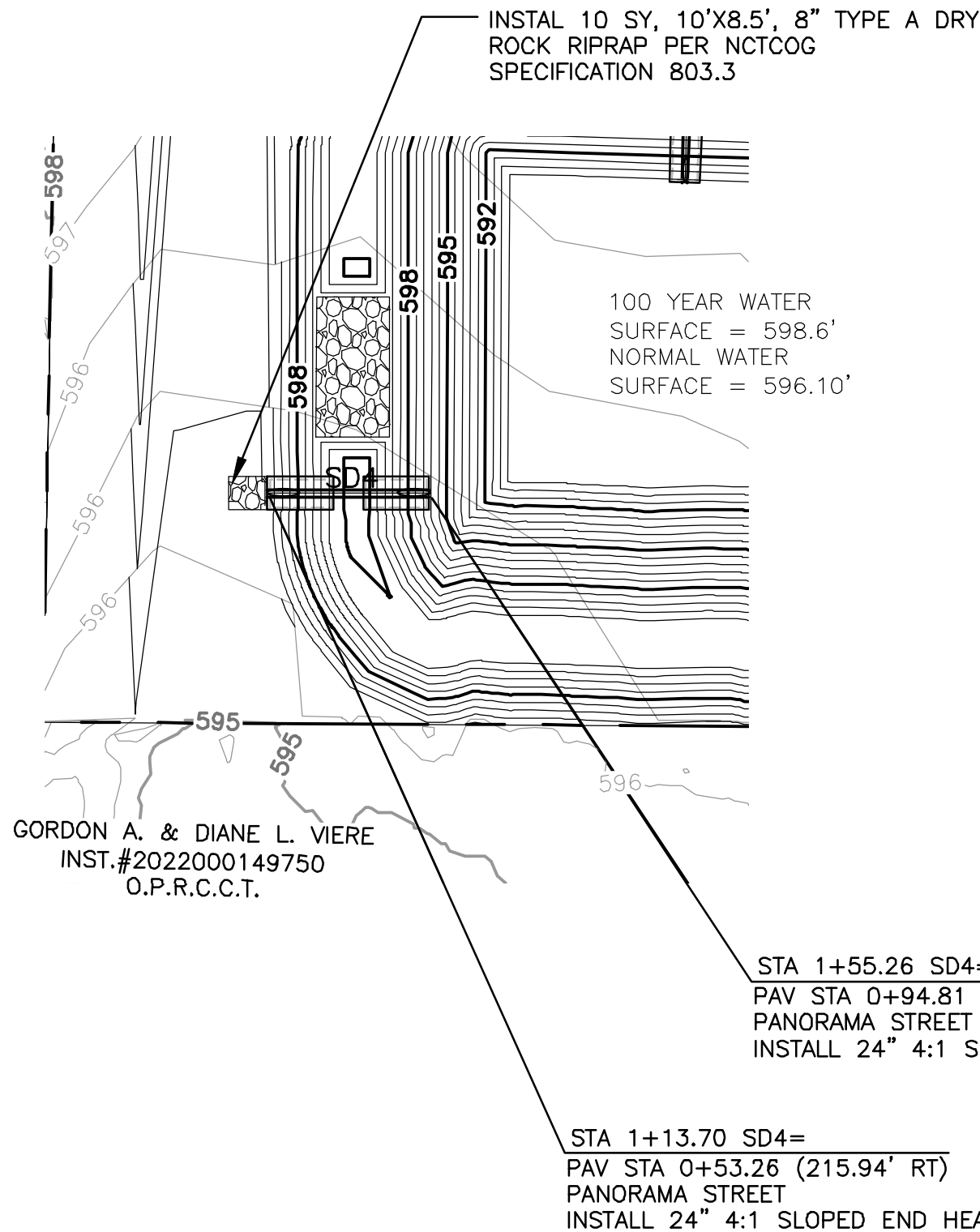
ELEV 597.995

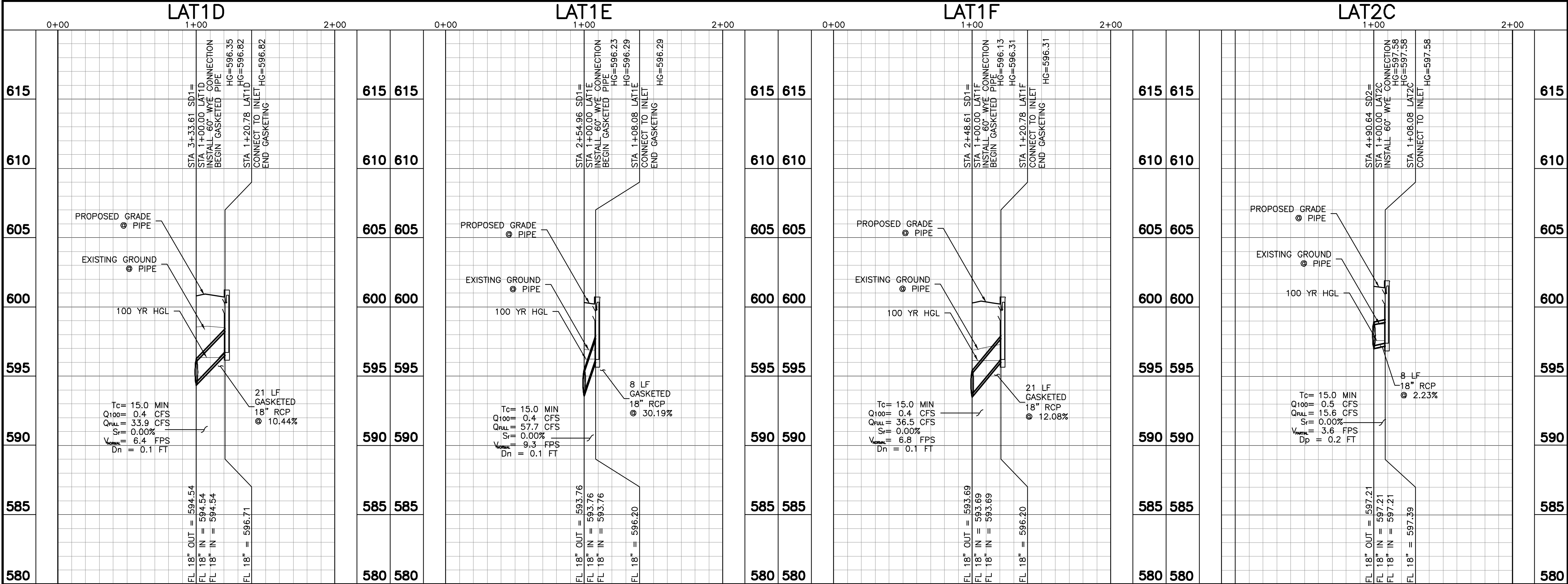
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### BENCHMARKS:

ELEV 605.438

ELEV 597.995





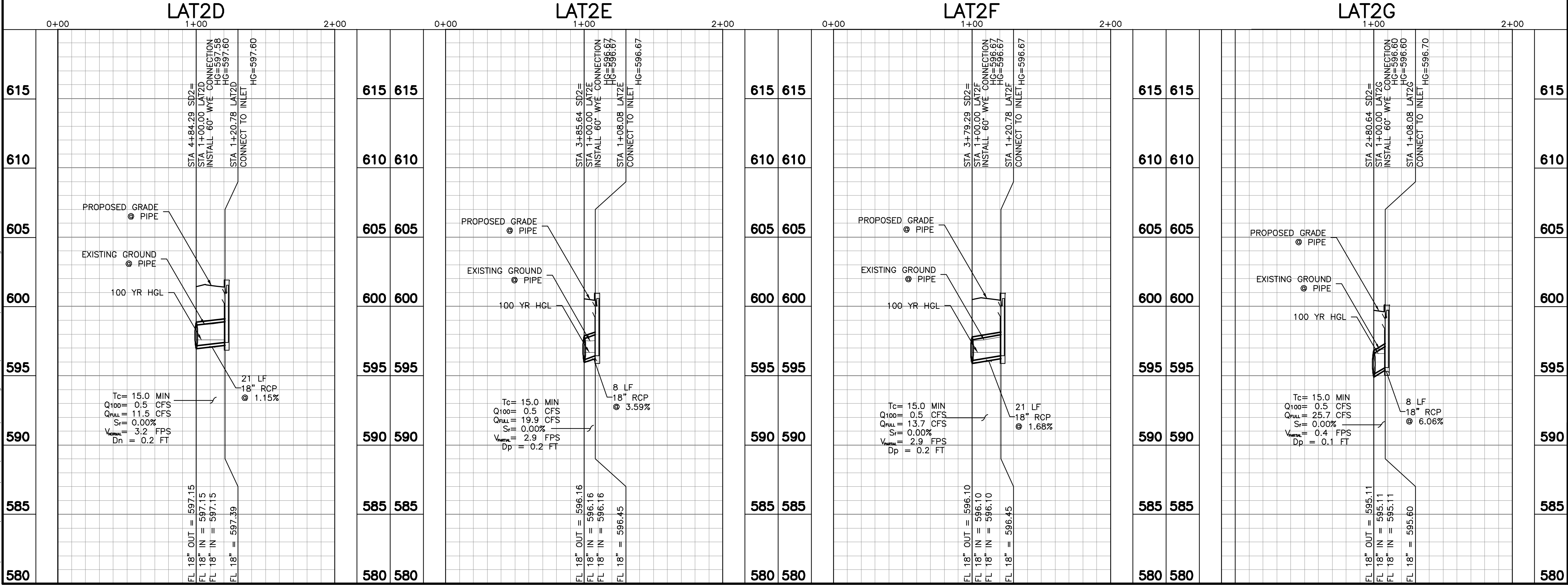
BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP STAMPED "RANDOM" SET ON THE SOUTH SIDE OF GREGORY LANE INSIDE THE CIRCLE DRIVEWAY OF THE SUBJECT TRACT, BEING APPROXIMATELY 526 FEET WEST OF THE INTERSECTION OF GREGORY LANE AND THE FIRST SOUTHBOUND ROAD EAST OF THE SUBJECT TRACT. SAID POINT IS ALSO APPROXIMATELY 87 FEET NORTH OF THE NORTHWEST CORNER OF THE HOUSE LOCATED ON THE SITE, AND APPROXIMATELY 15 FEET SOUTH OF THE OVERHEAD POWER LINES.

ELEV 597.995



STORM DRAIN PLAN & PROFILE  
LAT 1D, 1E, 1F, 2C, 2D, 2E, 2F, & 2G

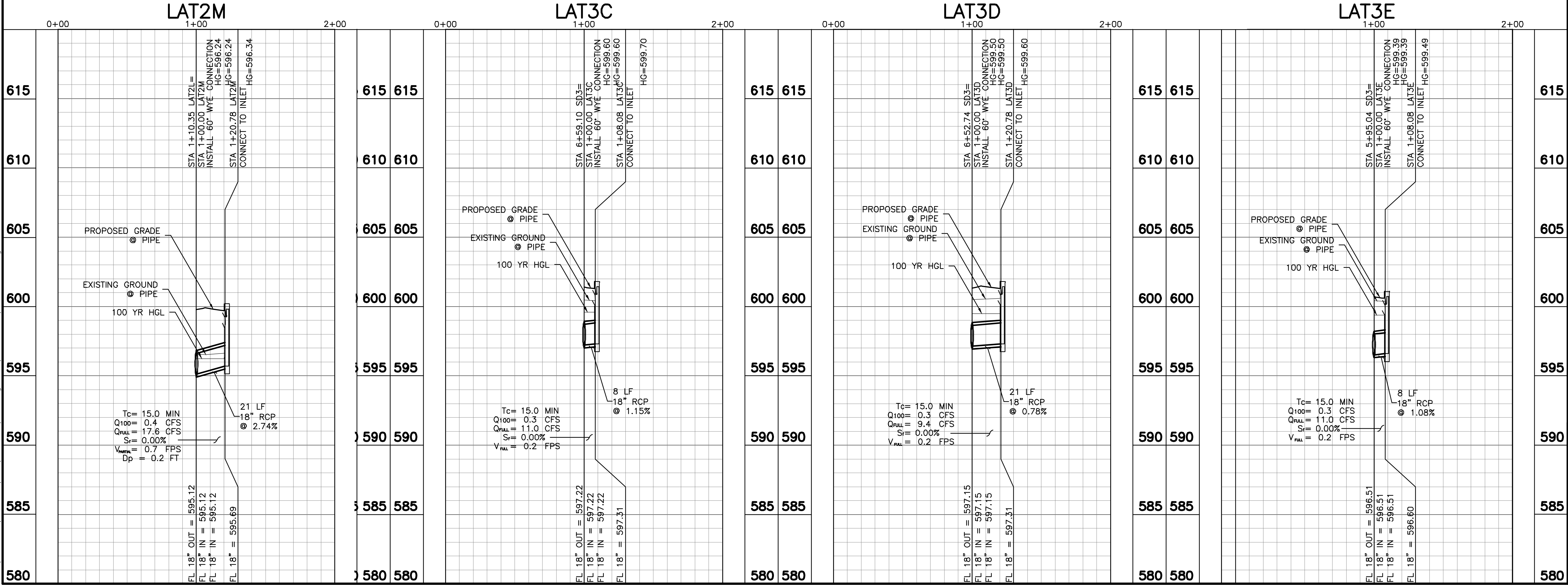
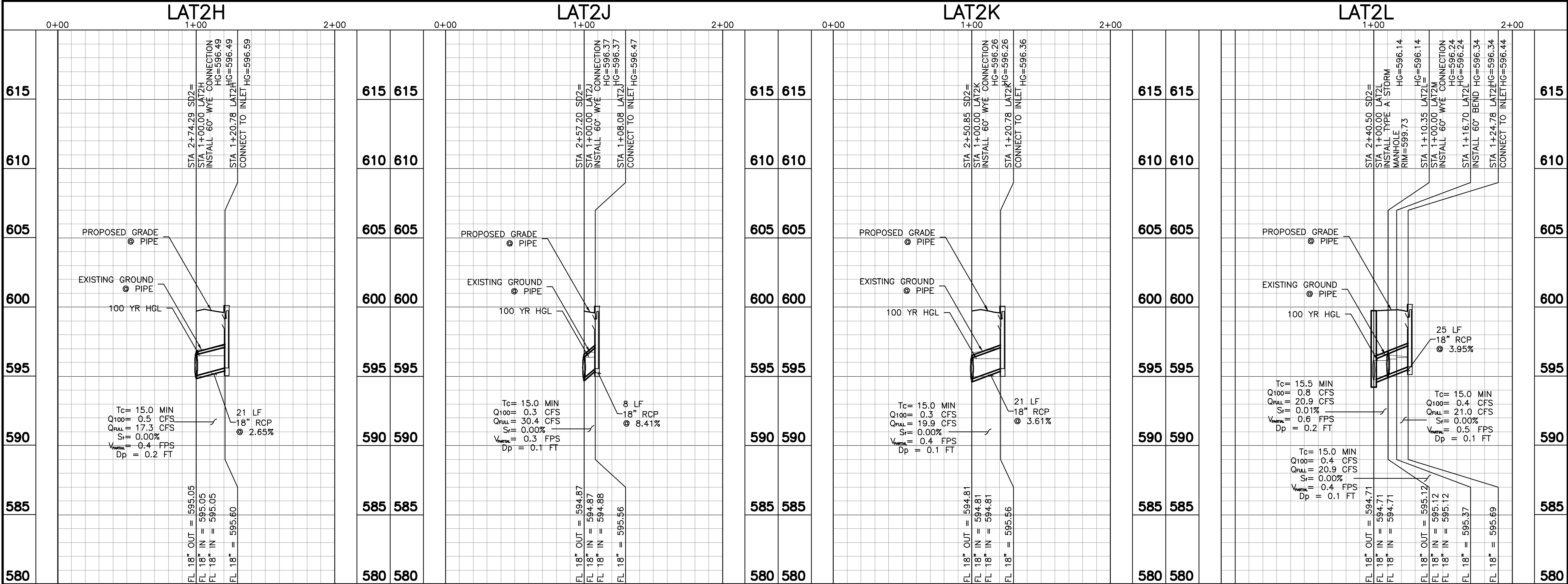
PANORAMA STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

**LJA Engineering, Inc.**  
6060 North Central Expressway  
Suite 400  
Dallas, Texas 75206  
Phone 469.621.0710  
FRN - F-1386

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LJA PROJECT ID  
NT561-0133  
DATE: JUN 2023  
DESIGN: MARTINEZ  
DRAWN: MARTINEZ  
SCALE  
HORZ: 1" = 40'  
VERT: 1" = 4'  
SHEET  
25  
OF 35 SHEETS



BENCHMARKS:

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ELEV 597.995

STORM DRAIN PLAN & PROFILE  
LAT 2H, 2J, 2K, 2L, 2M, 3C, 3D, & 3E

PANORAMA STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

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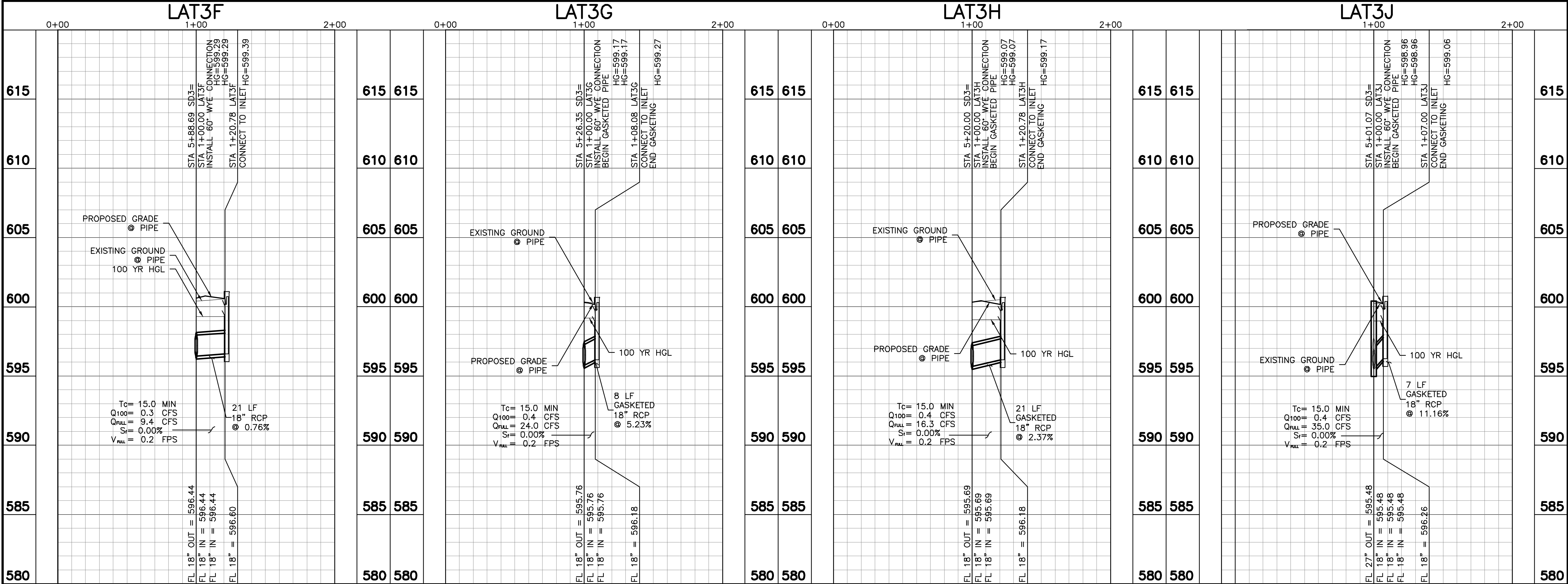
SCALE  
HORZ: 1" = 40'  
VERT: 1" = 4'

SHEET

26

OF 35 SHEETS

PANORAMA STREET



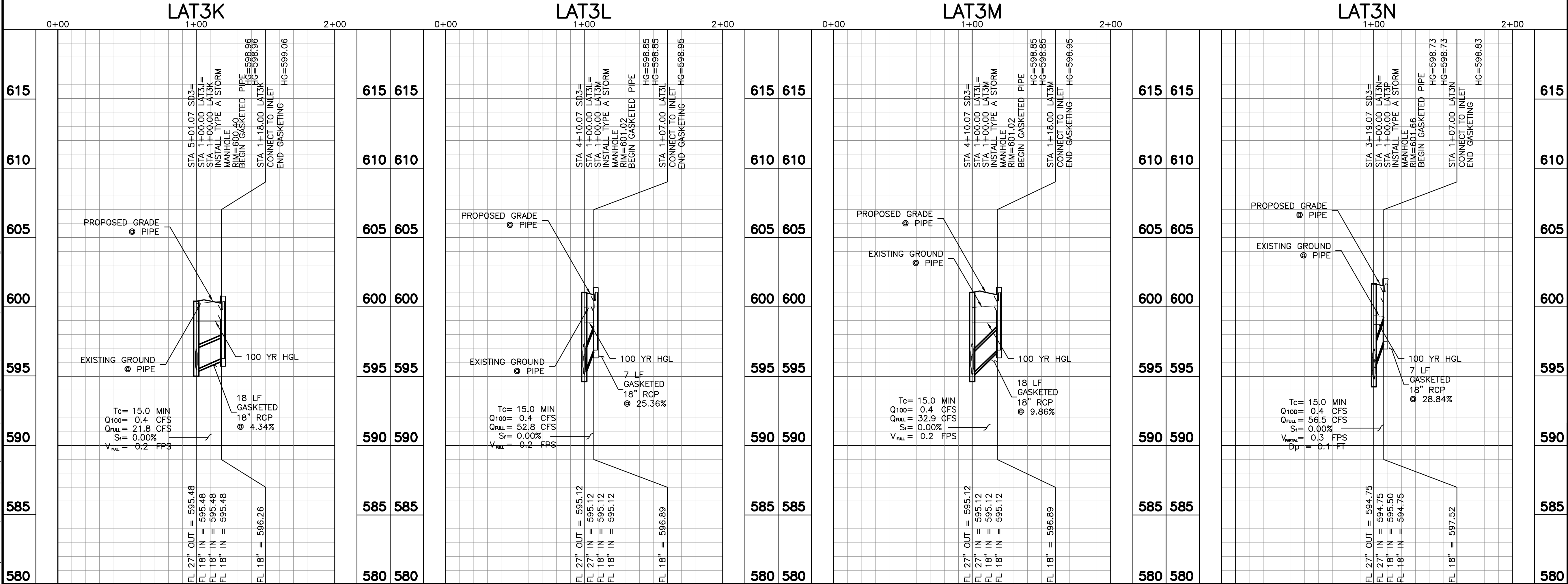
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ELEV 597.995



STORM DRAIN PLAN & PROFILE  
LAT 3F, 3G, 3H, 3J, 3K, 3L, 3M, & 3N

PANORAMA STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

LJA Engineering, Inc.



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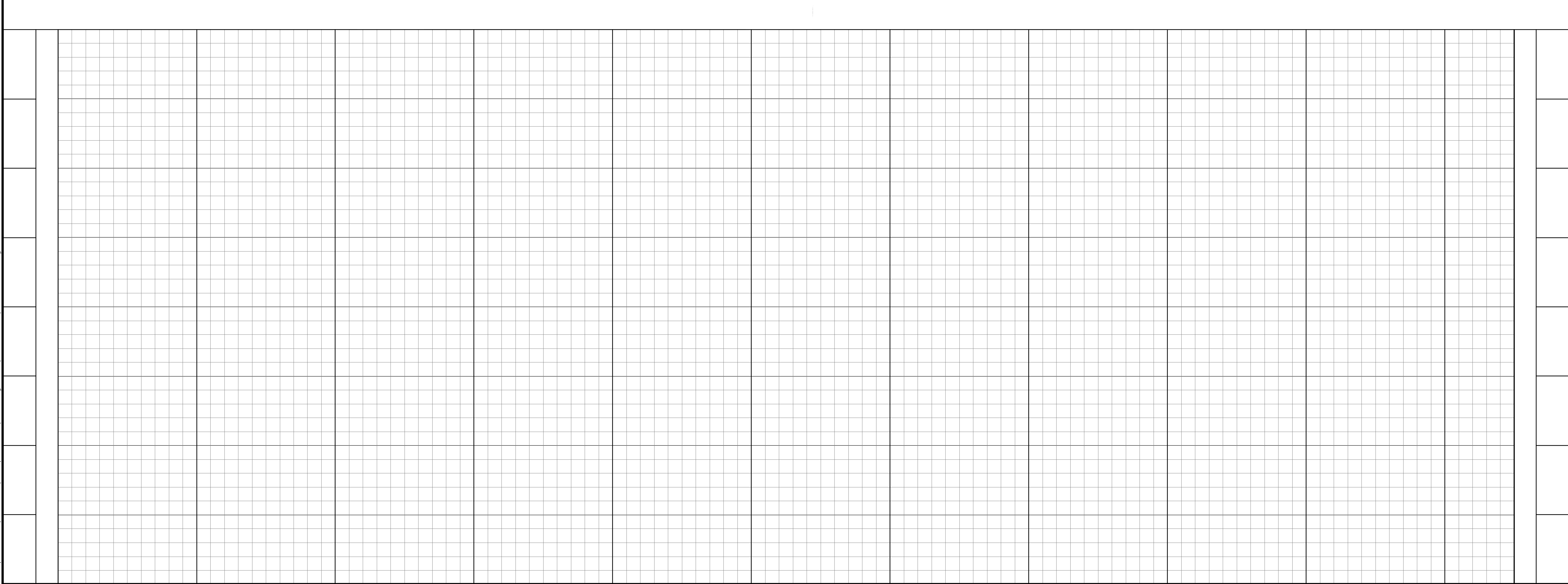
SCALE  
HORZ: 1" = 40'  
VERT: 1" = 4'

SHEET

27

OF 35 SHEETS

PANORAMA STREET



ELEV 597.995

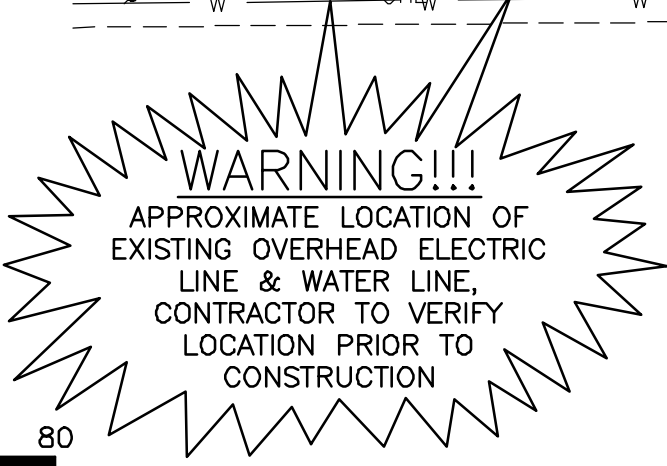
## STORM DRAIN PLAN & PROFILE LAT 3P, 3Q, & 3R

PANORAMA  
STREET

**CITY OF PARKER**  
**COLLIN COUNTY, TEXAS**

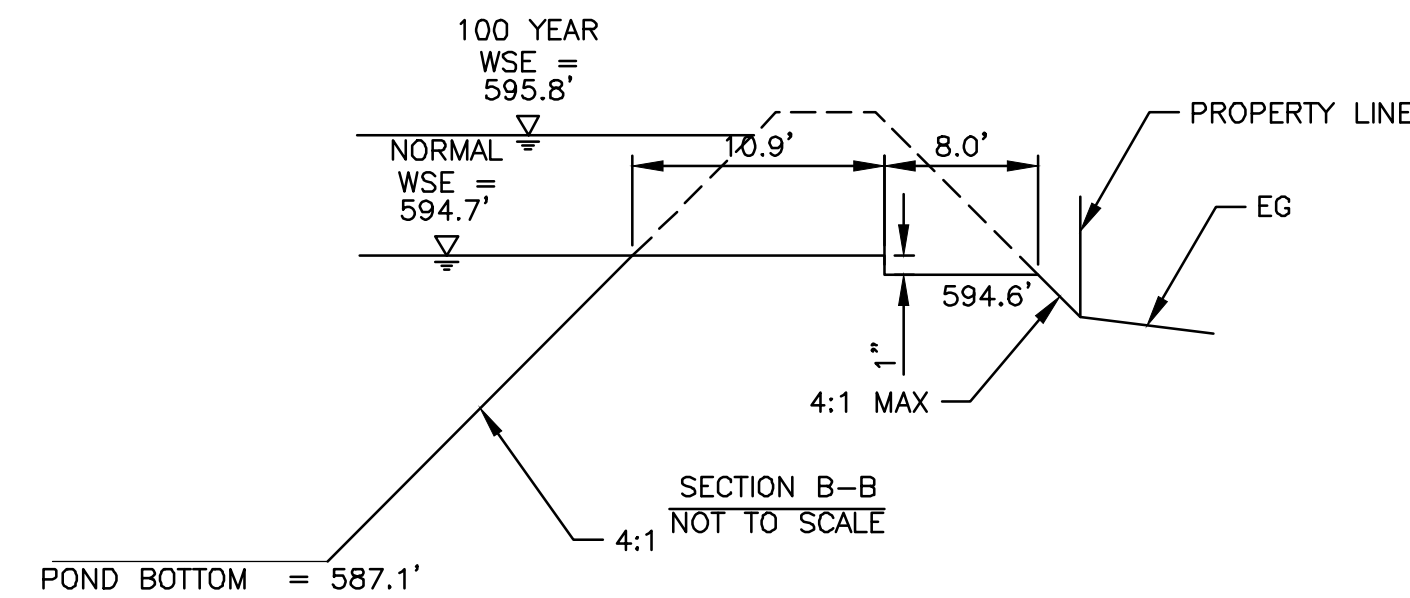
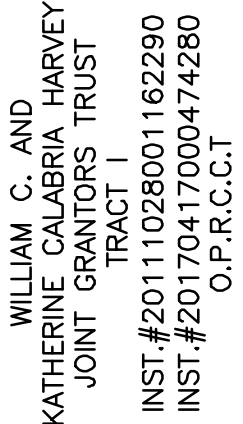


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CASA PRADERA ADDITION  
INST.#20080301010000960  
O.P.R.C.C.T.

\*Release rate from primary outlet structure during 100-yr storm event.



### BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP  
STAMPED "RANDOM" SET ON THE SOUTH  
SIDE OF GREGORY LANE INSIDE THE  
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ELEV 597.995

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| DATE | REVISION | BY |

**LJA Engineering, Inc.**

6060 North Central Expressway Phone 469.621.0710  
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Dallas, Texas 75206 FRN - F-1380

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DESIGN: MARTINEZ

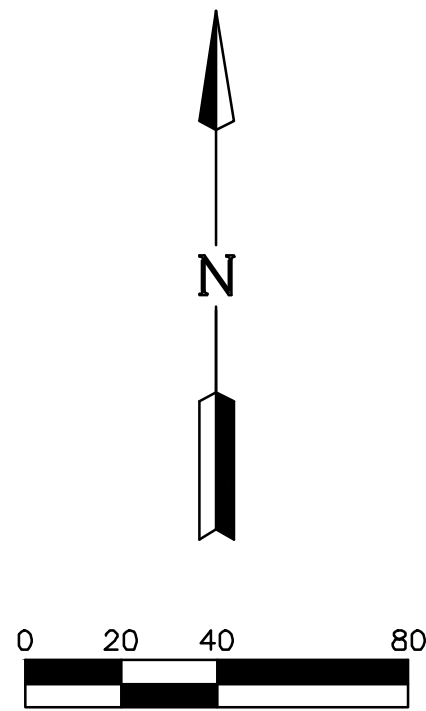
SCALE

HORZ: 1" = 40'  
VERT: N/A

SHEET

29

OF 35 SHEETS



| Turner Tract - Access Road Proposed Pond-South Hydrology |       |       |       |       |        |
|--|-------|-------|-------|-------|--------|
| FREQUENCY  | 1-YR  | 2-YR  | 25-YR | 50-YR | 100-YR |
| INFLOW (CFS)   | 15    | 16    | 34    | 38    | 43     |
| OUTFLOW (CFS)  | 4     | 5     | 12    | 14    | 16     |
| WSEL (FT)  | 597.2 | 597.3 | 598.2 | 598.4 | 598.6  |
| VOLUME (AC-FT)   | 0.4   | 0.5   | 1.0   | 1.1   | 1.2    |
| TOP OF POND (FT)   |       |       |       | 599.8 |        |
| NORMAL HIGH WATER LEVEL (FT)                             |       |       |       | 596.1 |        |
| BOTTOM OF POND (FT)                                      |       |       |       | 590.8 |        |

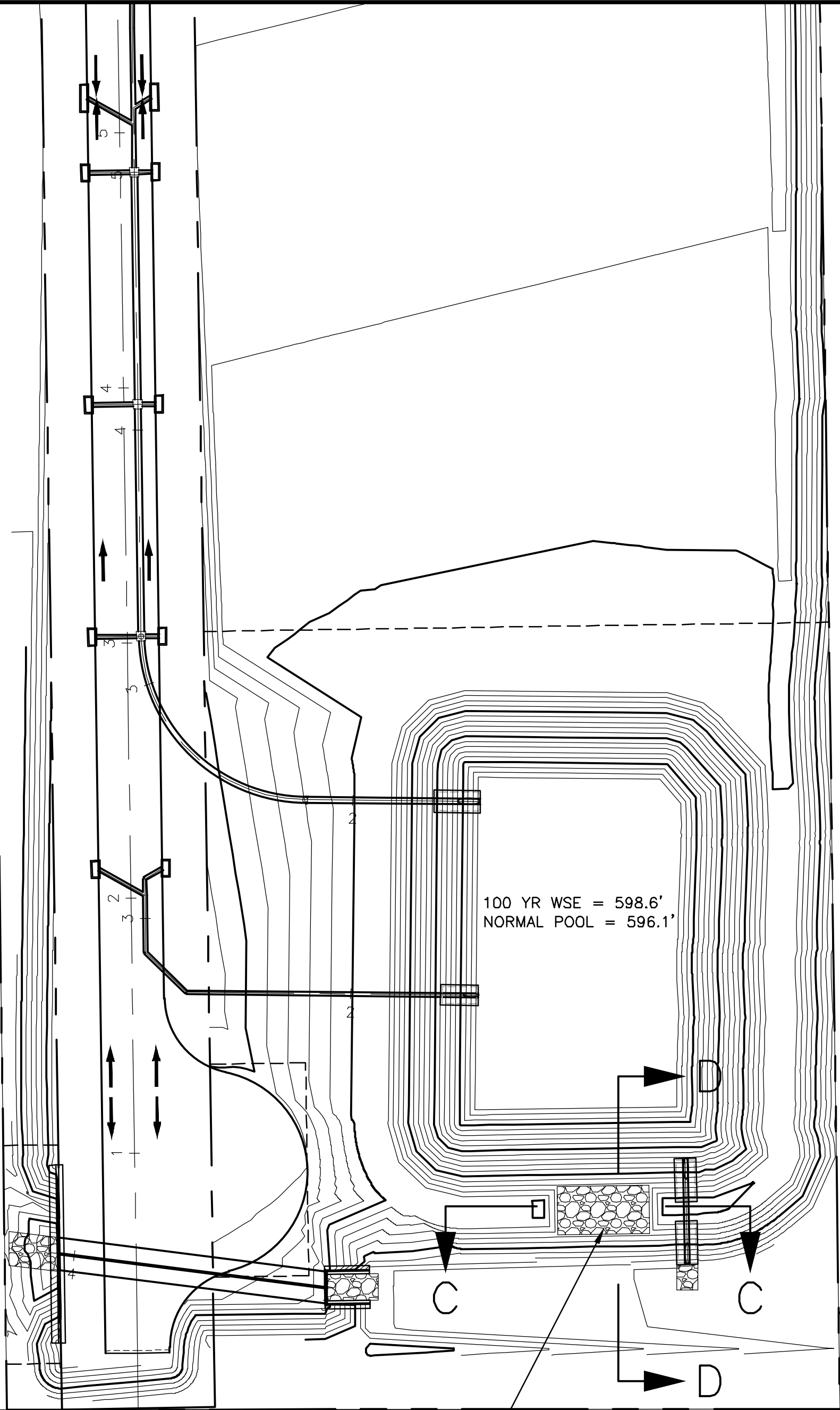
| EMERGENCY SPILLWAY DISCHARGE** |         |        |
|--------------------------------|---------|--------|
| WSEL (FT)                      | Q (CFS) | H (FT) |
| 598.7                          | 0.0     | 0.00   |
| 598.8                          | 3.0     | 0.10   |
| 598.9                          | 8.6     | 0.20   |
| 599                            | 15.9    | 0.30   |
| 599.1                          | 24.7    | 0.40   |
| 599.2                          | 34.9    | 0.50   |
| 599.3                          | 46.3    | 0.60   |
| 599.4                          | 58.9    | 0.70   |
| 599.5                          | 72.7    | 0.80   |
| 599.6                          | 87.6    | 0.90   |
| 599.7                          | 103.6   | 1.00   |
| 599.8                          | 120.6   | 1.10   |

\*\*Assuming 100% blockage of the primary outlet structure during 100-yr storm event.

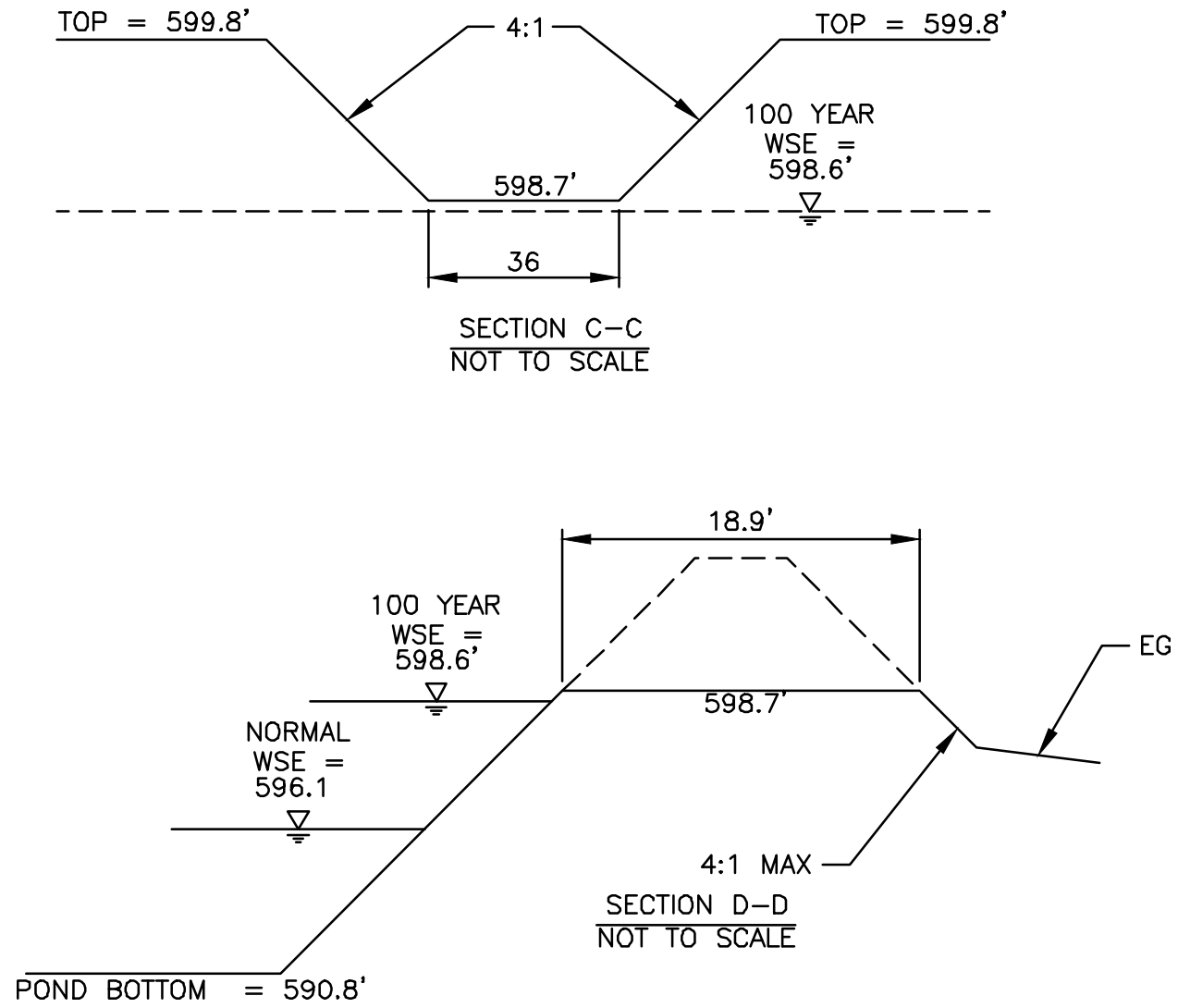
| Turner Tract - Access Road Proposed South Pond 100-YR Stage-Storage |            |           |                |                  |                     |
|---|------------|-----------|----------------|------------------|---------------------|
| ELEVATION (FT)  | STAGE (FT) | AREA (AC) | VOLUME (AC-FT) | Σ VOLUME (AC-FT) | RELEASE RATE* (CFS) |
| 590.80  | 0.0        | 0.23      | 0.0            | 0.0              | 0.0                 |
| 596.1   | 5.3        | 0.46      | 0.0            | 0.0              | 0.0                 |
| 596.5   | 5.7        | 0.48      | 0.1            | 0.1              | 0.7                 |
| 597.0   | 6.2        | 0.51      | 0.3            | 0.4              | 3.1                 |
| 597.5   | 6.7        | 0.53      | 0.2            | 0.6              | 6.7                 |
| 598.4   | 7.6        | 0.58      | 0.5            | 1.1              | 15.0                |
| 598.6   | 7.8        | 0.60      | 0.1            | 1.2              | 16.4                |

\*Release rate from primary outlet structure during 100-yr storm event.

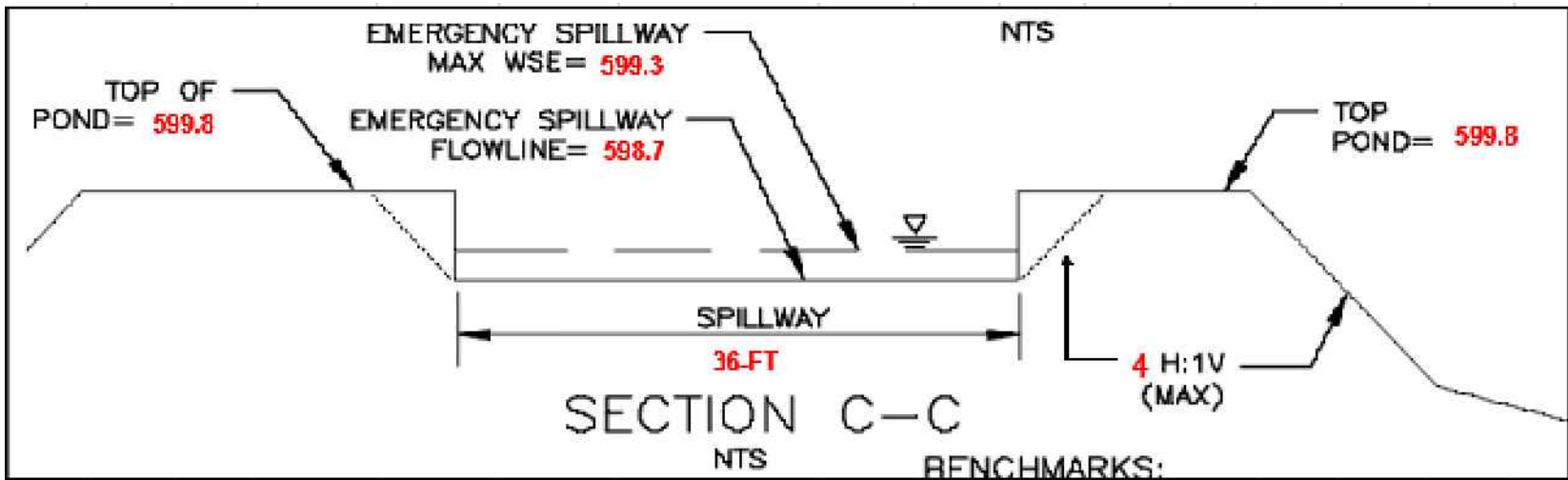
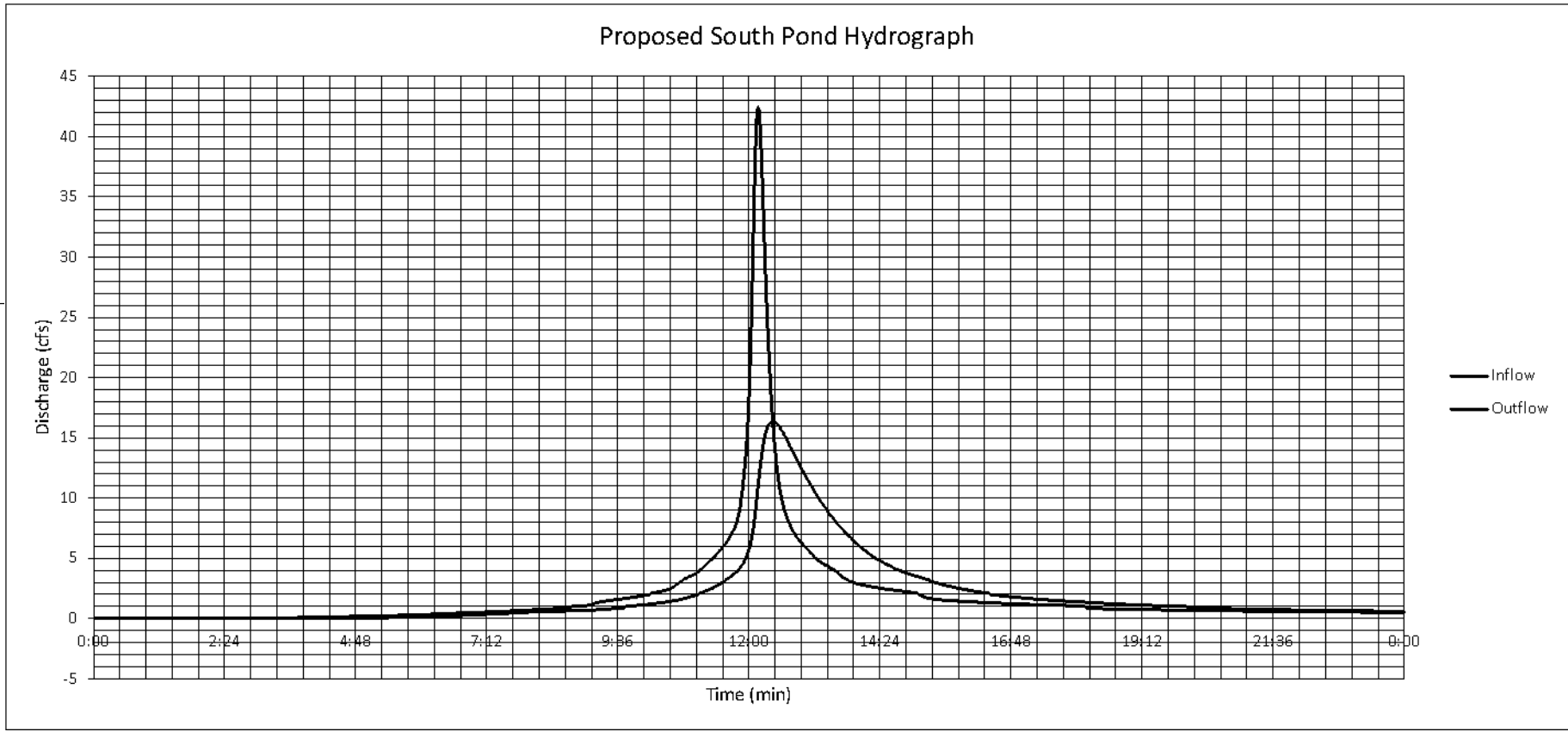
| SPILLWAY DESIGN CALCULATIONS  |          |   |
|---|----------|---|
| Q = CLH <sup>1.5</sup> Eqn 2.16, ISWM Technical Manual - Hydraulics |          |   |
| C=  | 2.6      | Per Table 2.4, ISWM Technical Manual - Hydraulics           |
| L=  | 36 ft    | Per construction drawings                                   |
| Elev=   | 599.8 ft | Top of Pond   |
| H=  | 0.6 ft   | Design Spillway Depth                                       |
| Elev=   | 599.3 ft | Spillway WSEL (0.5' min freeboard below pond top)           |
| Elev=   | 598.7 ft | Spillway Crest ( Minimum 100-yr WSEL + 0.03')               |
| SS=   | 4 :1     | Trapezoidal Side Slope                                      |
| Q=  | 46 cfs   | Spillway Capacity   |
| Q=  | 16 cfs   | Minimum required spillway discharge (100-YR Pond Outflow Q) |



INSTALL 76 SY, 19'X36', 8" TYPE A DRY ROCK RIPRAP PER NCTCOG SPECIFICATION 803.3



Q<sub>100 - yr EX</sub> = 37.1 cfs  
Q<sub>100 - yr PROPOSED</sub> = 33.5 cfs



#### BENCHMARKS:

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ELEV 605.438

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ELEV 597.995

| DATE | REVISION | BY |
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#### DETENTION PLAN SOUTH POND

## PANORAMA STREET

#### CITY OF PARKER COLLIN COUNTY, TEXAS

**LJA Engineering, Inc.**  
6060 North Central Expressway  
Suite 400  
Dallas, Texas 75206  
Phone 469.621.0710  
FRN - F-1386

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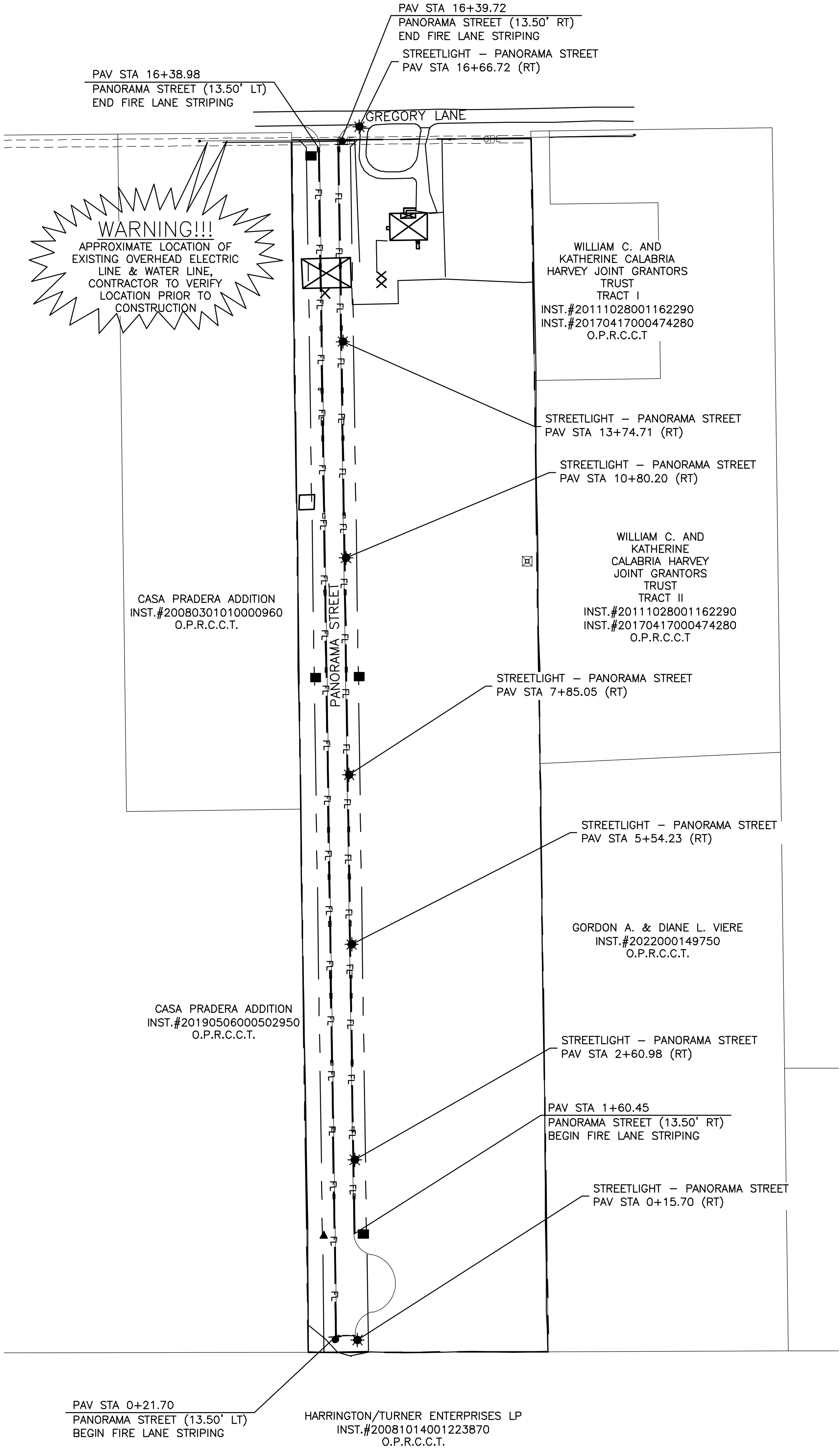
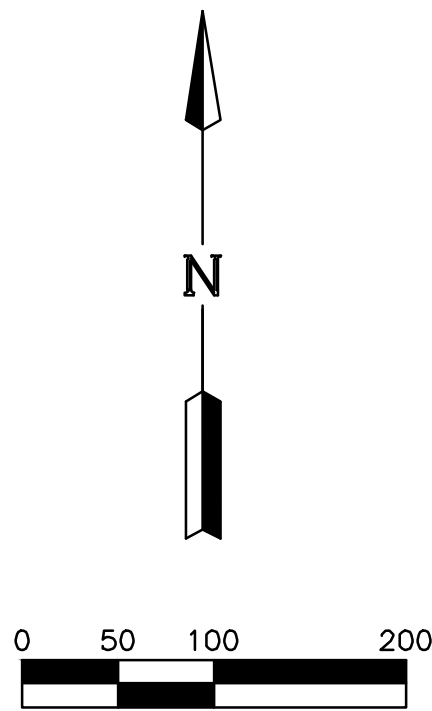
DESIGN: MARTINEZ

DRAWN: MARTINEZ

SCALE  
HORIZ: 1" = 40'  
VERT: N/A

SHEET  
30  
OF 35 SHEETS

D:\p\Time : Tue, 27 Jun 2023 : 1:57\p\Time Name : tncat\ncz  
PANORAMA ST - 2023 - LJA\DWG\133\405 - LAND\425 - Design - Files\Access - Road\0133RD.SL01.dwg



LEGEND

- PROPOSED STREET LIGHT LOCATION
- PROPOSED DOUBLE STREET LIGHT LOCATION
- EXISTING DOUBLE STREET LIGHT LOCATION
- EXISTING STREET LIGHT LOCATION
- PROPOSED DEAD END SIGN
- PROPOSED NO PARKING SIGN
- PROPOSED STOP SIGN LOCATION
- FL FIRE LANE STRIPING

| PAVEMENT MARKING TABLE |          |
|------------------------|----------|
| TYPE                   | QUANTITY |
| FIRE LANE STRIPING     | 3097 LF  |

BENCHMARKS:

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ELEV 597.995

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| DATE | REVISION | BY |

STREET LIGHT AND SIGNAGE PLAN

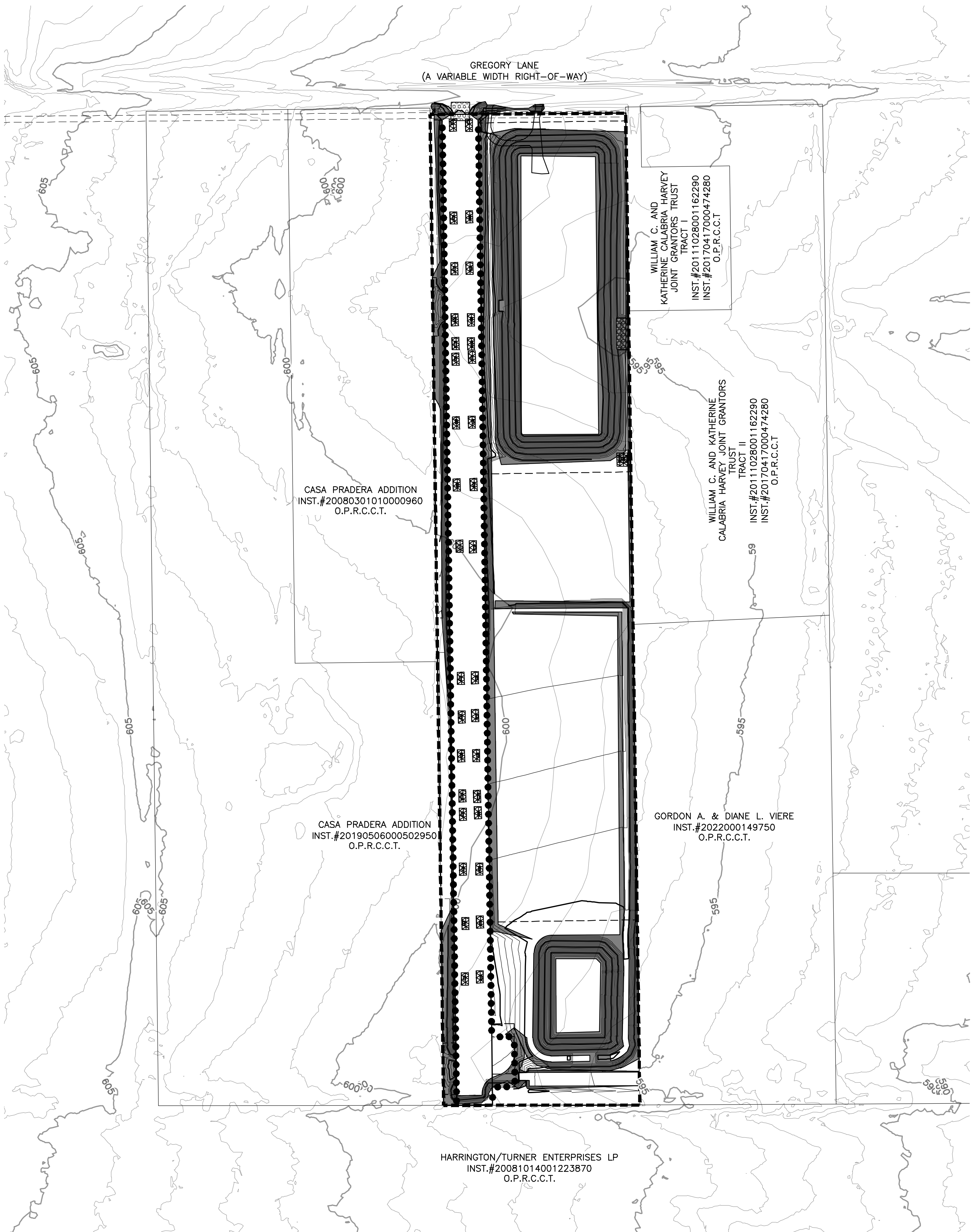
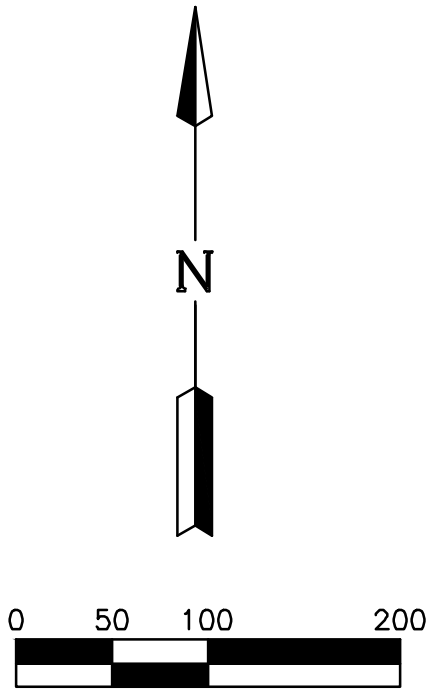
PANORAMA STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

**LJA Engineering, Inc.**  
6060 North Central Expressway Suite 400  
Dallas, Texas 75206  
Phone 469.621.0710  
FRN - F-1386

|  |                                       |                              |
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|  | DATE: JUN 2023                        |                              |
|  | DESIGN: BROOME                        |                              |
|  | DRAWN: BROOME                         |                              |
|  | SCALE<br>HORZ: 1" = 100'<br>VERT: N/A |                              |
| SHEET<br>31<br>OF 35 SHEETS  |                                       |                              |

PANORAMA STREET



EROSION CONTROL MEASURES

- SILT FENCE EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO ANY LAND DISTURBANCE OR INITIAL GRADING. (BY GRADING CONTRACTOR.)
- CONSTRUCTION ENTRANCE
- FLOW DIRECTION (POST CONSTRUCTION)
- CURLEX EROSION CONTROL DEVICES TO BE INSTALLED AFTER FINAL GRADING AND/OR AFTER PAVEMENT CONSTRUCTION AND CURB BACKFILL. (BY PAVING CONTRACTOR)
- EROSION CONTROL MAT
- INLET PROTECTION

BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

ELEV 605.438

BM#3 5/8" IRON ROD WITH CAP STAMPED "RANDOM" SET ON THE SOUTH SIDE OF GREGORY LANE INSIDE THE CIRCLE DRIVEWAY OF THE SUBJECT TRACT, BEING APPROXIMATELY 526 FEET WEST OF THE INTERSECTION OF GREGORY LANE AND THE FIRST SOUTHBOUND ROAD EAST OF THE SUBJECT TRACT. SAID POINT IS ALSO APPROXIMATELY 87 FEET NORTH OF THE NORTHWEST CORNER OF THE HOUSE LOCATED ON THE SITE, AND APPROXIMATELY 15 FEET SOUTH OF THE OVERHEAD POWER LINES.

ELEV 597.995

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EROSION CONTROL PLAN

PANORAMA STREET

CITY OF PARKER  
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|   | DRAWN: MARTINEZ                        |
|   | SCALE<br>HORIZ: 1" = 100'<br>VERT: N/A |
| SHEET<br>32<br>OF 35 SHEETS   |  |

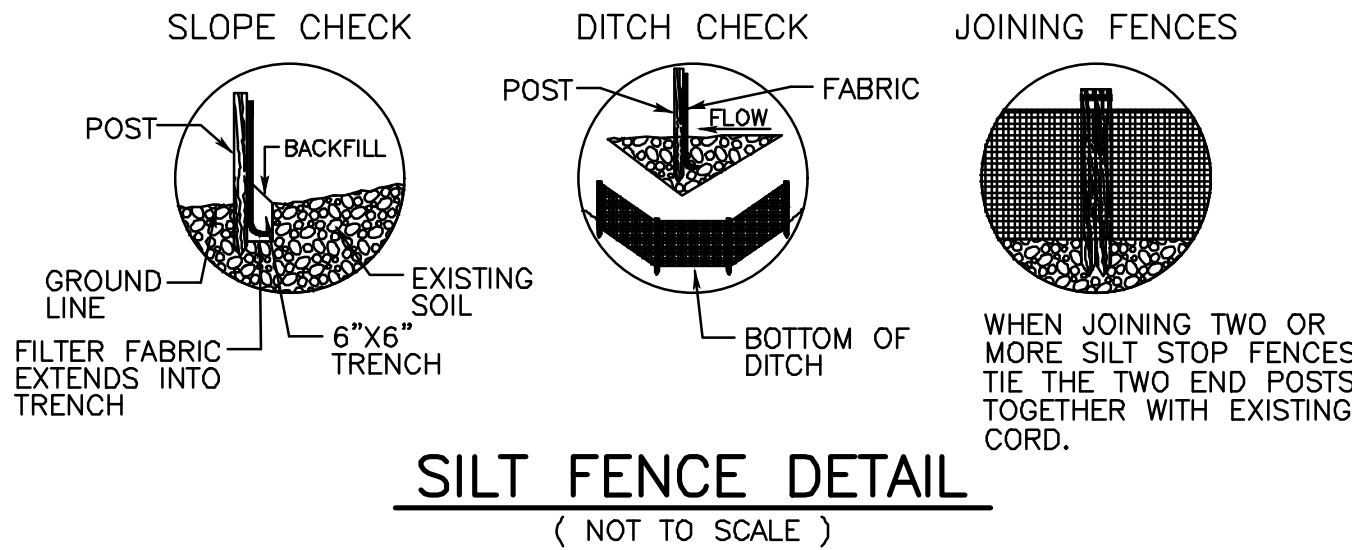
INSTRUCTIONS TO OPERATOR

OPERATOR SHALL:

1. ACTIVELY MAINTAIN THIS EROSION CONTROL PLAN AND THE ASSOCIATED STORM WATER POLLUTION PREVENTION PLAN (BY OTHERS).
2. POST SITE NOTICE AND/OR THE NOTICE OF INTENT (NOI) PROVIDED IN SWPPP AT OR NEAR THE CONSTRUCTION ENTRANCE.
3. WRITE NAME AND DATE AT EACH LOCATION WHERE EROSION CONTROL DEVICE IS INSTALLED.
4. SHOW ON THESE PLANS LOCATION AND WRITE NAME AND DATE OF INSTALLATION ON ALL CONSTRUCTION ENTRANCES, EQUIPMENT STORAGE LOCATIONS, MATERIAL STORAGE LOCATIONS, VEHICLE WASHES, AND SANITARY FACULTIES.
5. WITH A HIGHLIGHTER, MARK THOSE AREAS WHERE VEGETATION HAS BEEN STRIPPED OR WHERE SOIL HAS BEEN DISTURBED. DATE OF DISTURBANCE SHALL BE PLACED IN THESE AREAS. SEE LEGEND.
6. SOLID FILL, WITH A HIGHLIGHTER, THOSE AREAS WHERE CONSTRUCTION HAS CEASED AND PERMANENT VEGETATION IS BEING ESTABLISHED. SEE LEGEND.
7. DATE REMOVAL OF EROSION CONTROL DEVICES AND NOTE REASON FOR REMOVAL IN THE SWPPP.
8. CROSS OUT AND DATE ANY LOTS THAT HAVE BEEN TRANSFERRED TO A SEPARATE OPERATOR. A NOTICE OF CHANGE SHALL BE MAILED TO THE TCEQ. AND A COPY SHALL BE PLACED IN THE SWPPP.
9. NOTIFY ENGINEER IN WRITING WHOSE SEAL APPEARS ON THESE DOCUMENTS OF ALL MODIFICATIONS AS REQUIRED BY THE TEXAS STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS.
10. PRIOR TO BEGINNING OPERATOR SHALL MAKE COPIES OF PLAN. IF CURRENT PLAN BE COMES TOO CROWDED FOR USE, OPERATOR SHALL PLACE "SEE REVISED PLAN" WITH DATE ON CURRENT PLAN, AND BEGIN TO USE A COPY FOR NEW PLAN.

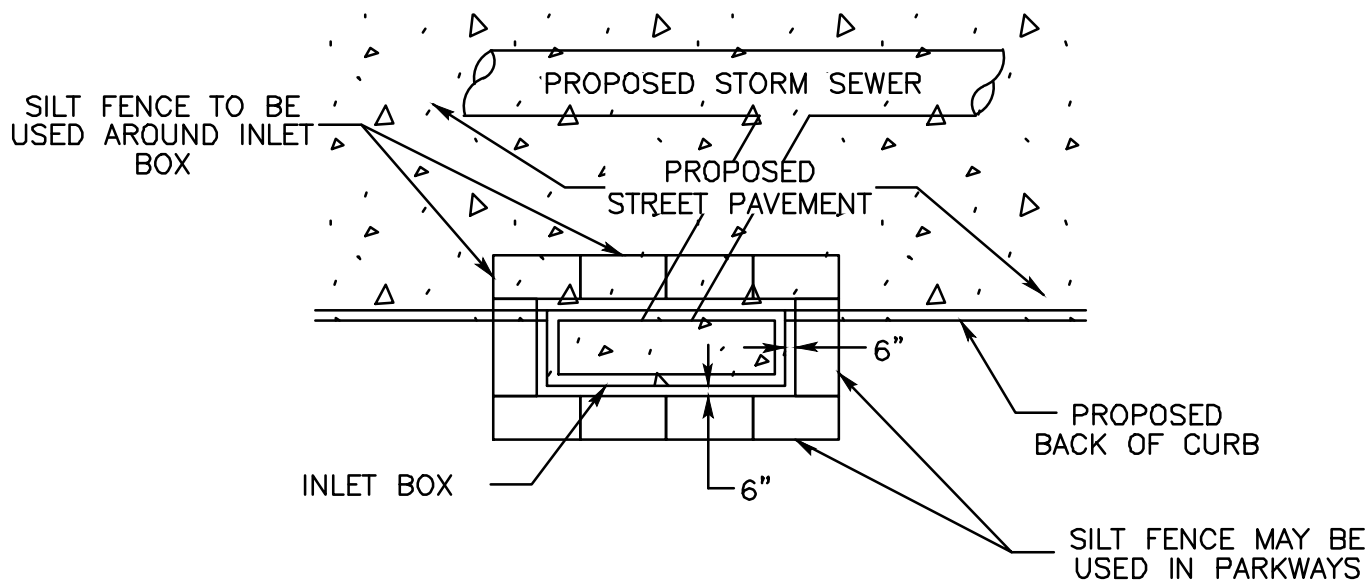
EROSION CONTROL NOTES:

1. APPROXIMATE AREA TO BE DISTURBED IS ±12.36 ACRES FOR PAVING, GRADING, AND DRAINAGE ON 1 COLLECTOR STREET.
2. CONSTRUCTION ENTRANCE LOCATION TO BE APPROVED BY THE OWNER, AND THE CITY OF PARKER.
3. ALL EROSION CONTROL DEVICES SHALL BE IN ACCORDANCE WITH CITY OF PARKER STANDARD DETAILS AND SPECIFICATIONS.
4. ALL EROSION CONTROL DEVICES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
5. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF PARKER ENGINEERING DIVISION.
6. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
7. OFF-SITE SOIL BORROW AND SPOIL AREAS ARE CONSIDERED AS PART OF THE PROJECT SITE AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THIS PROJECT. THIS INCLUDES THE INSTALLATION OF BMP'S TO CONTROL OFF-SITE SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON DISTURBED AREAS PRIOR TO FINAL APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AN ECP AND SWPPP FOR OFFSITE AREAS.
8. INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ONTO A PUBLIC ROADWAY, THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASHDOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF-SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF-SITE SEDIMENTATION. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.
9. CONTRACTOR SHALL HAVE A COPY OF THE CITY OF PARKER EROSION AND SEDIMENT CONTROL MANUAL ON SITE AT ALL TIMES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A. STORMWATER POLLUTION PREVENTION REQUIREMENTS.
11. ALL EROSION CONTROL MEASURES SHALL COMPLY WITH THE CITY OF PARKER REQUIREMENTS.
12. INSTALL 4' WIDE EROSION MAT (CURLEX) BEHIND CURB DURING THIS PHASE. LEAVE A 1" SOIL DEPRESSION BELOW STREET CURB & ALLEY FOR THIS INSTALLATION.
13. SEDIMENTATION BASIN SHALL REMAIN IN PLACE UNTIL THE TOTAL ACREAGE OF VACANT LOTS IS LESS THAN 5 ACRES, AT WHICH TIME IT SHALL BE REMOVED.

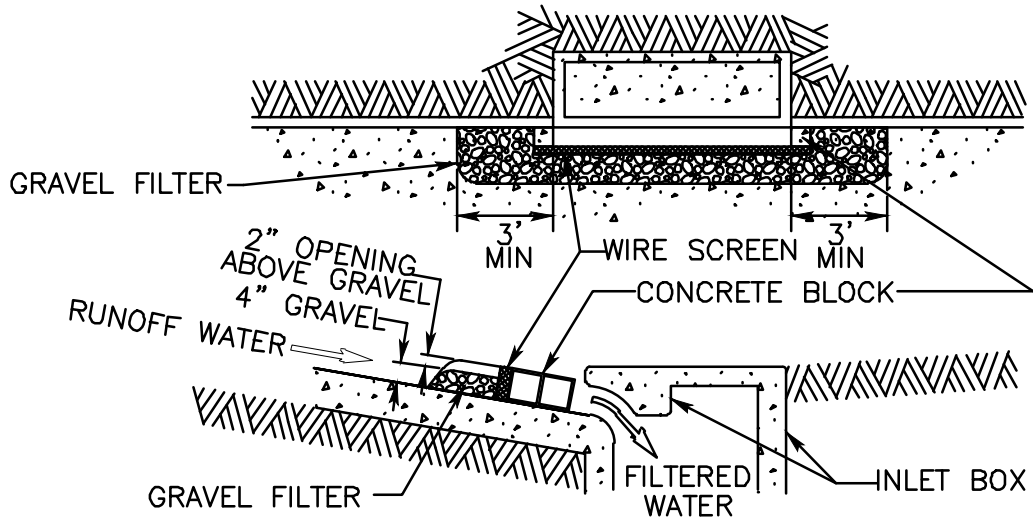
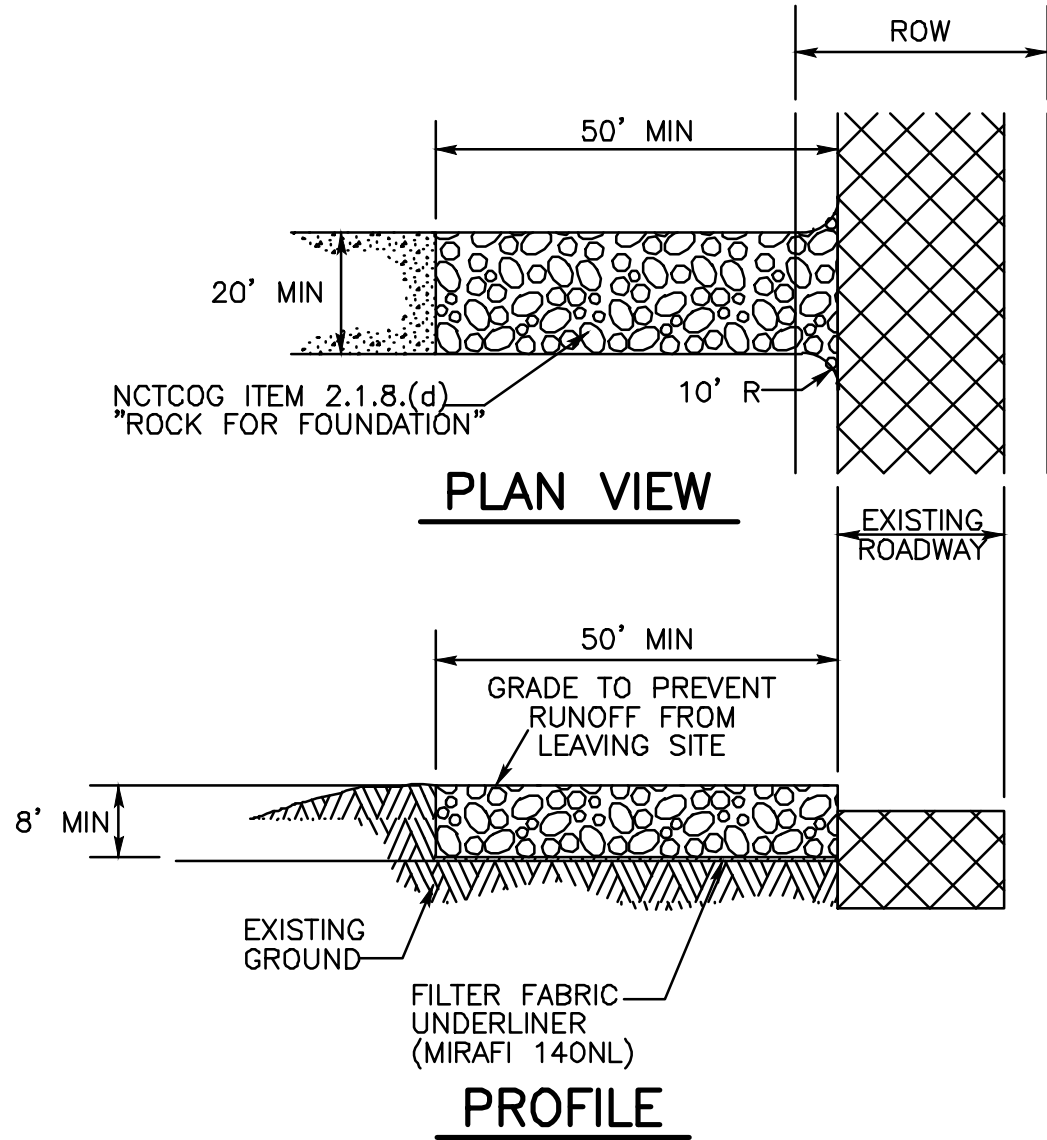


NOTE:

- 1.) SILT FENCE FABRIC SHALL BE MIRAFI 100 X OR EQUAL.
- 2.) INSTALL SILT FENCES AT LOCATIONS DIRECTED BY OWNER.
- 3.) FENCE POSTS SHALL BE GALVANIZED STEEL AND MAY BE ROLL FORMED OR TUBULAR IN CROSS-SECTION. "T" POSTS MAY BE USED WHEN IN CONFORMANCE WITH SPECIFICATION.



TYPICAL DETAIL OF EROSION CONTROL AROUND INLETS



SEDIMENT BARRIER AT INLETS

OR TYPE P-2 INLET FILTERS AFTER PAVEMENT CONSTRUCTION ( NOT TO SCALE )

BENCHMARKS:

BM#2 "X" CUT ON THE NORTHWEST CORNER OF AN INLET ON THE NORTH SIDE OF ROLLING RIDGE ROAD, AND APPROXIMATELY 47 FEET EAST OF THE INTERSECTION OF ROLLING RIDGE ROAD AND PRESCOTT DRIVE, AND APPROXIMATELY 351 FEET WEST OF THE INTERSECTION OF ROLLING RIDGE DRIVE AND OVERLAND DRIVE.

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ELEV 597.995

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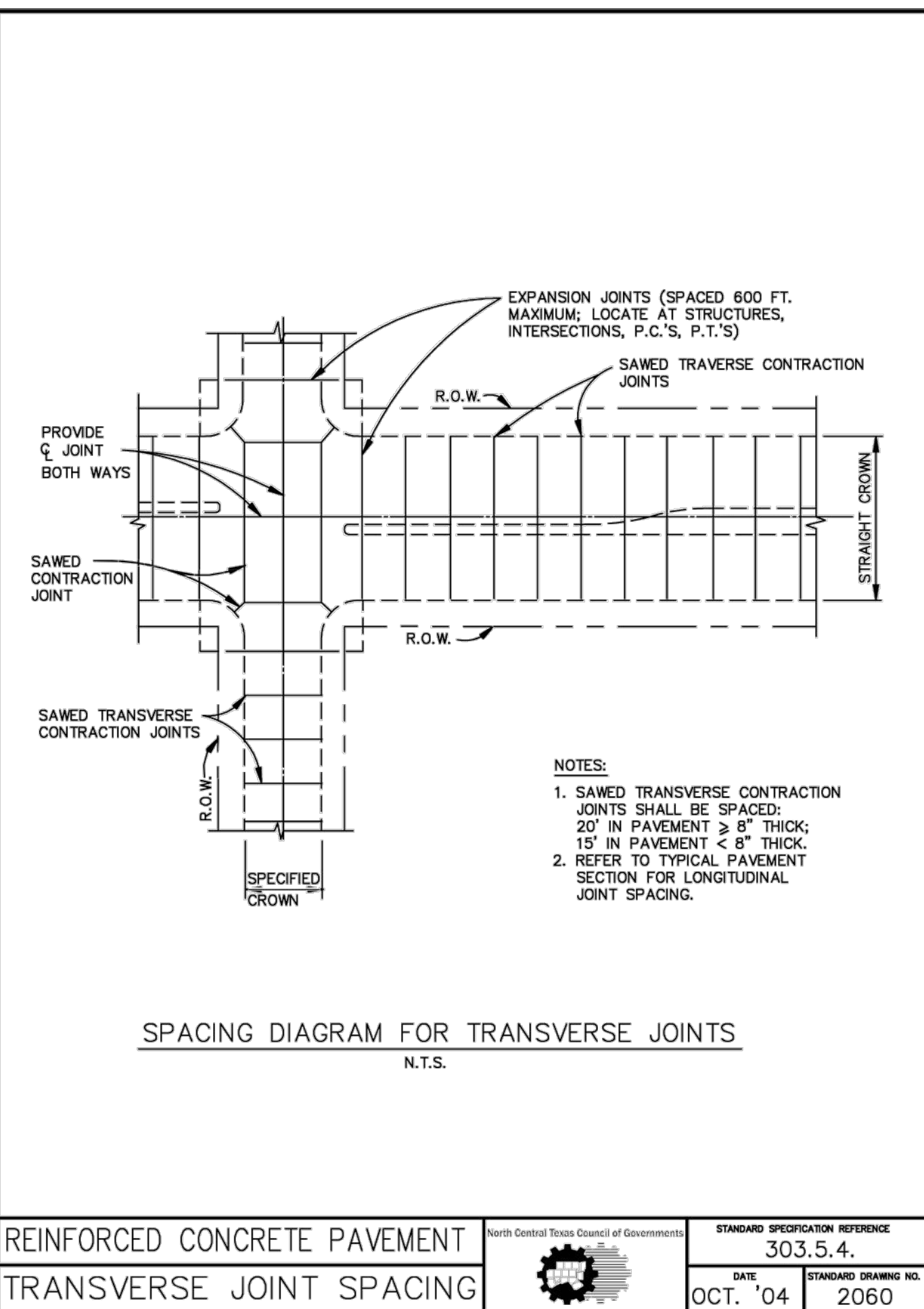
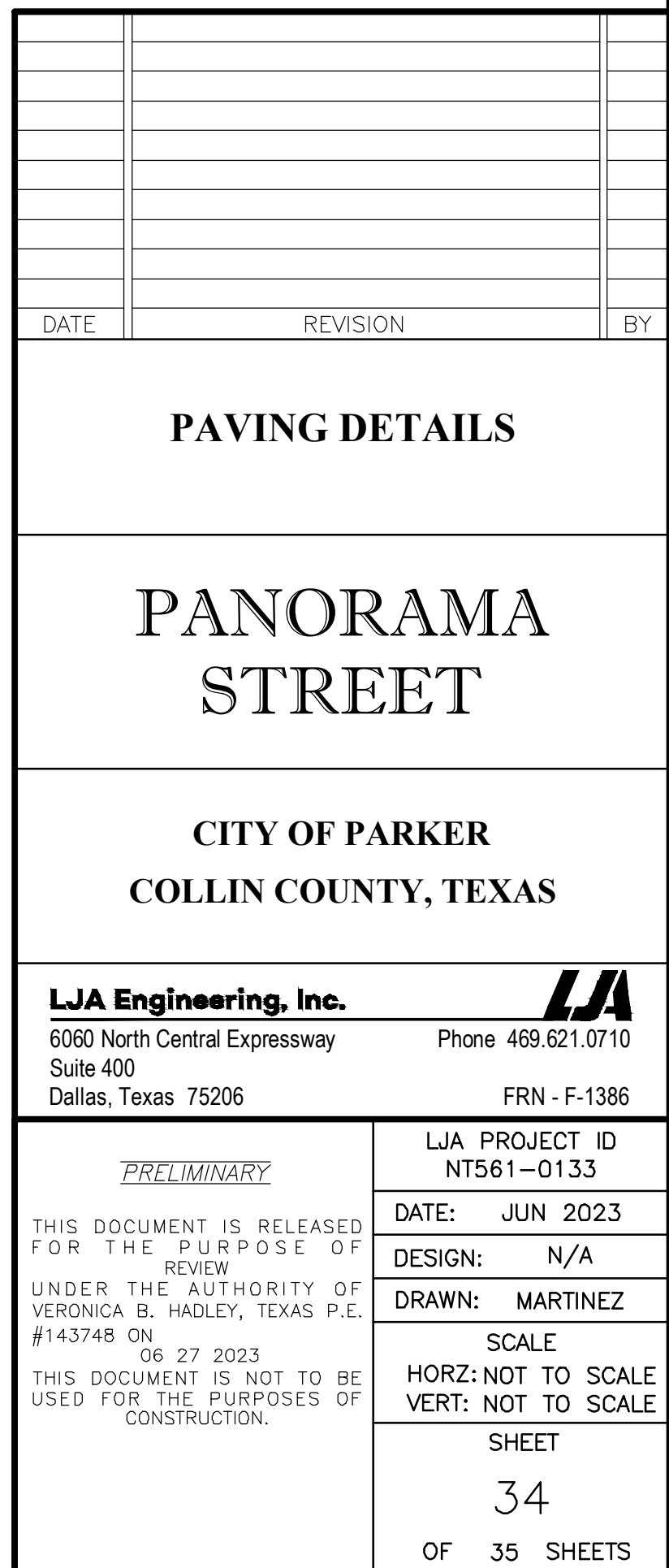
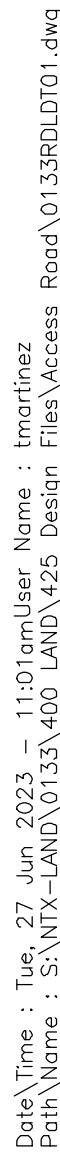
EROSION CONTROL DETAILS

PANORAMA STREET

CITY OF PARKER  
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**LJA Engineering, Inc.**  
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|  | SCALE<br>HORZ: NOT TO SCALE<br>VERT: NOT TO SCALE |
|  | SHEET<br>33<br>OF 35 SHEETS                       |



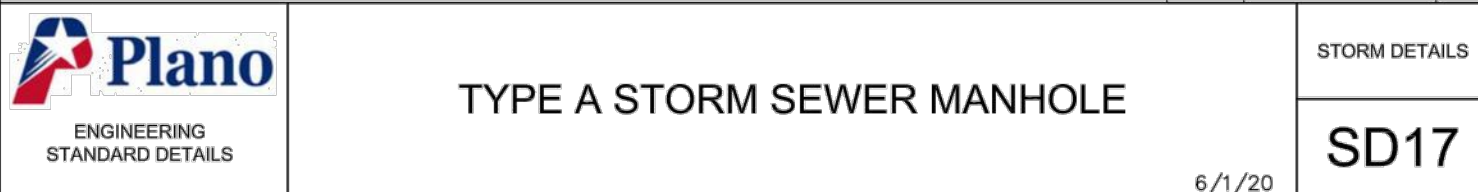


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|  <p>ENGINEERING<br/>STANDARD DETAILS</p> | <p>STORM INLET REIM</p> |
|---|-------------------------|

|                          |              |
|--------------------------|--------------|
| REINFORCEMENT BAR DETAIL | STORM DETAIL |
|                          | SD02         |



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## STORM DETAILS

# PANORAMA STREET

**CITY OF PARKER**  
**COLLIN COUNTY, TEXAS**

**LJA Engineering, Inc.**

6060 North Central Expressway Phone 469.621.0710  
Suite 400  
Dallas, Texas 75206 FRN - F-1386

PRELIMINARY

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#143748 ON

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LJA PROJECT ID  
NT561-0133

DATE: JUN 2023

DESIGN: N/A

DRAWN: MARTINEZ

SCALE

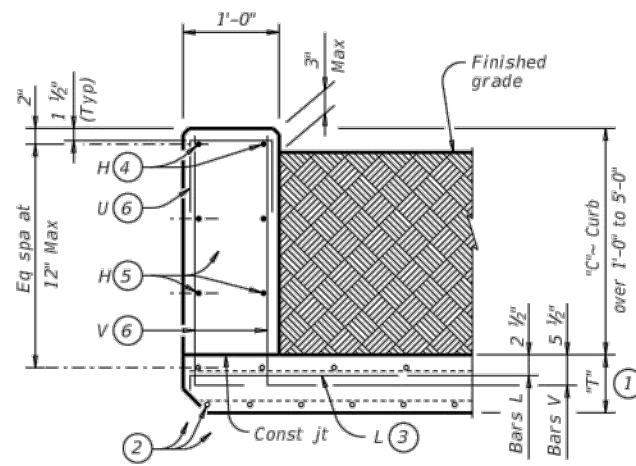
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SHEET

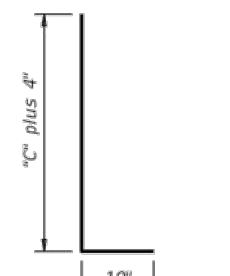
36

OF 35 SHEETS



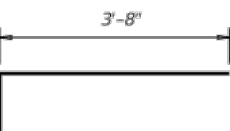
TYPICAL SECTION

Used for curbs over 1'-0" to 5'-0"



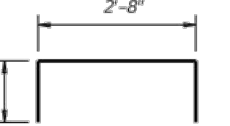
BARS V (#5)

Spaced at 12" Max



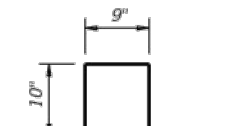
BARS L (#5)

Spaced at 12" Max



OPTIONAL BARS L (#5)

Spaced at 12" Max



BARS U (#4)

Spaced at 12" Max

- 1" is equal to the culvert top slab thickness. For precast boxes with slabs less than 6" thick, see SCP-MD standard for additional details.
- Adjust normal culvert slab bars as necessary to clear obstructions.
- Place bars L as shown. Tilt hook as necessary to maintain cover.
- Place normal culvert curb bars H(#4) as shown. Adjust as necessary to clear obstructions.
- Additional bars H(#4) as required to maintain 12" Max spacing.
- Replace normal culvert curb bars K with one bar U and two bars V as shown spaced at 12" Max. Adjust length of bars V as necessary to maintain clear cover.
- Optional bars L are to be used only for precast box culverts with 3'-0" closure pour.
- Quantities shown are for Contractor's information only. Quantities are per linear foot of curb length. The value in table can be interpolated for intermediate values of curb height, "C". Quantity includes bars K (when applicable).

## CONSTRUCTION NOTES:

Adjust reinforcing steel as necessary to provide 1 1/2" cover.

For vehicle safety, top of the curb must not project more than 3" above the finished grade.

MATERIAL NOTES:

Provide Grade 60 reinforcing steel.

Provide galvanized reinforcing steel if required elsewhere in the plans.

Provide Class "C" concrete (f'c = 3,600 psi) minimum for curbs.

Provide bar laps, where required, as follows:

- Uncoated or galvanized - #4 = 1'-8" Min

GENERAL NOTES:

Designed according to AASHTO LRFD Bridge Design Specifications.

These extended curb details have sufficient strength to allow for future retrofit of Type T631 or T631LS railing.

These details are suitable for use with PR11, PR22 and PR3 type rails. These details are not suitable for the mounting of other rail types. For new construction using T631 or T631LS railing, use the T631-CN standard.

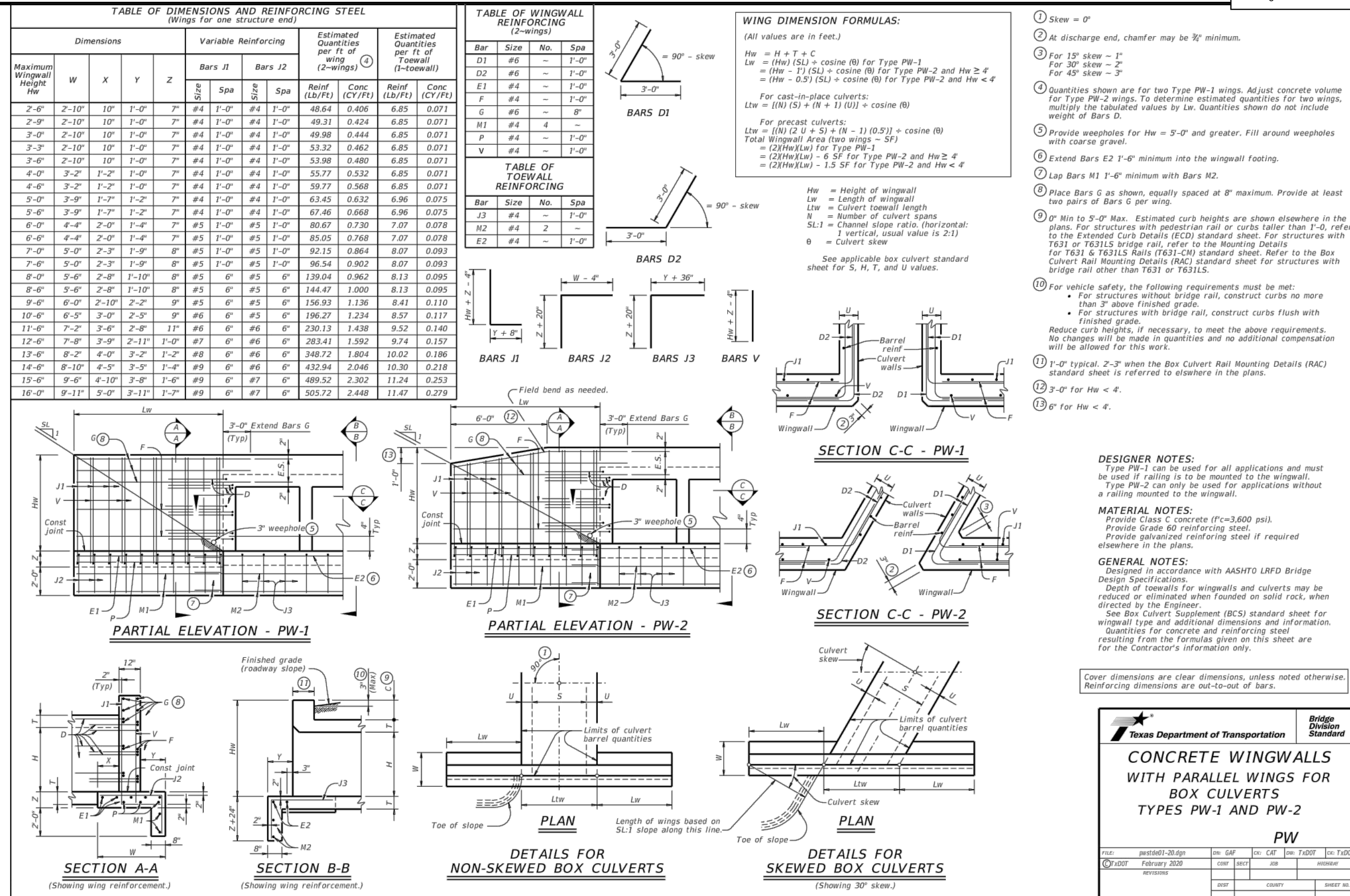
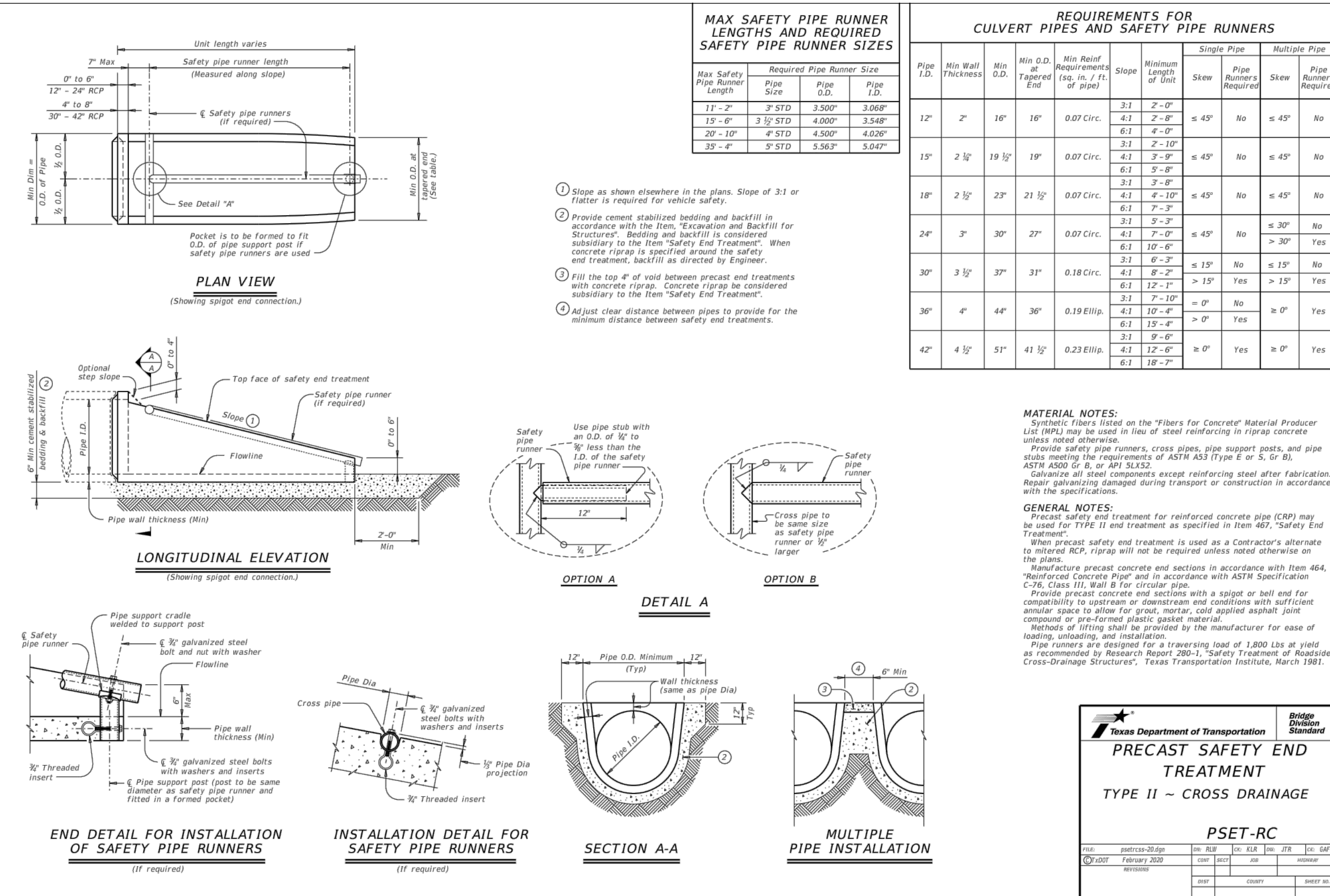
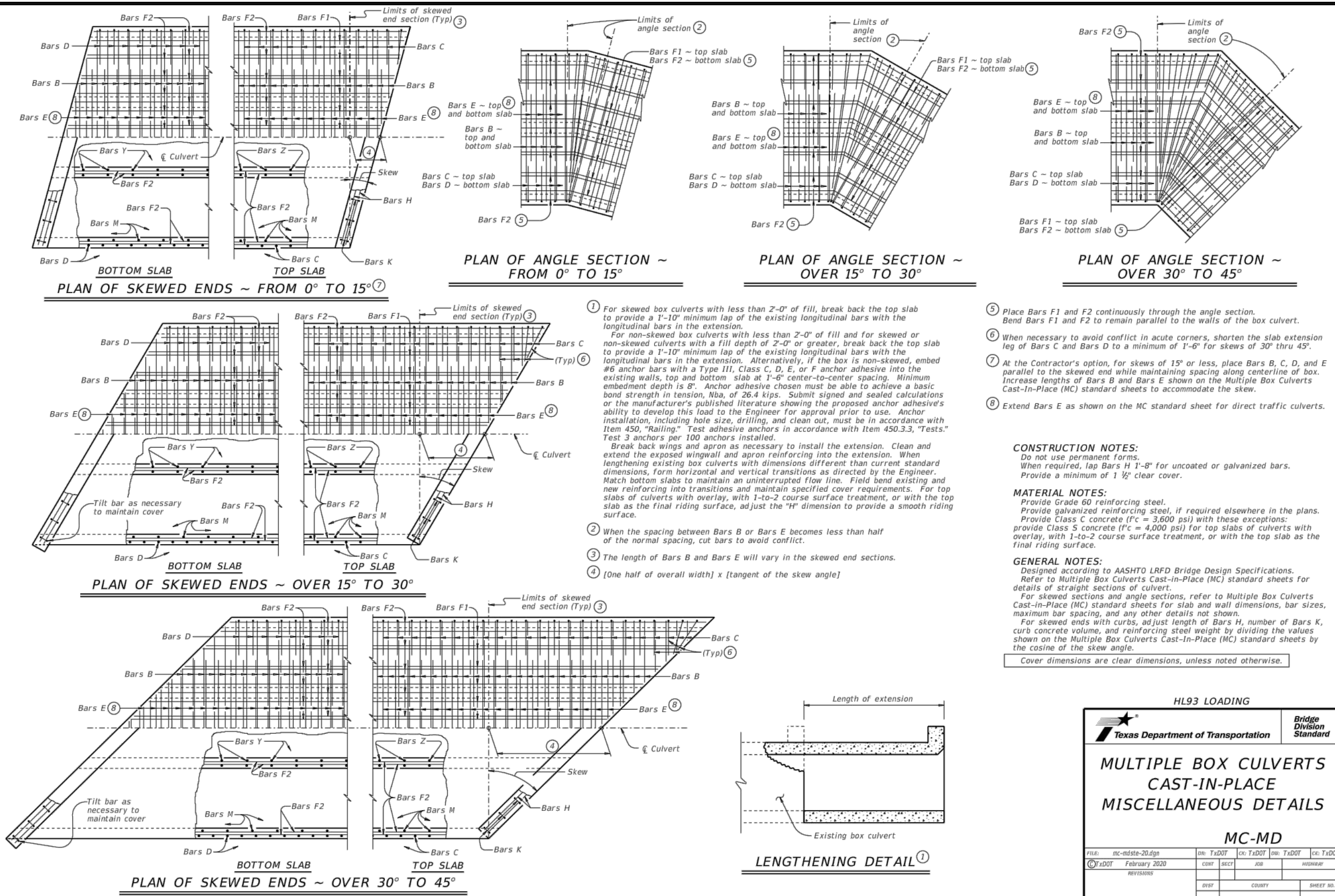
This Curb is considered as part of the Box Culvert for payment.

Cover dimensions are clear dimensions, unless noted otherwise.

Reinforcing bar dimensions shown are out-to-out of bar.

| Curb Height "C" | Conc (CY/LF) | Reinf Steel (LB/LF) |
|-----------------|--------------|---------------------|
| 1'-0"           | 0.037        | 10.4                |
| 1'-6"           | 0.056        | 14.5                |
| 2'-0"           | 0.074        | 15.6                |
| 2'-6"           | 0.093        | 18.0                |
| 3'-0"           | 0.111        | 19.0                |
| 3'-6"           | 0.130        | 21.3                |
| 4'-0"           | 0.148        | 22.4                |
| 4'-6"           | 0.167        | 24.8                |
| 5'-0"           | 0.185        | 25.9                |

| NUMBER OF SPANS | SECTION DIMENSIONS |   |   |   | BILLS OF REINFORCING STEEL (For Box Length = 40 feet) |      |     |        |            |     |      |     |        |    |     |      |              |        |    |     |              |     |        |    |             |      |     |        |                 |     |      |     |               |    |     |      |        |        |    |     |                    |     |        |    | QUANTITIES |      |     |        |       |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        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|-----------------|--------------------|---|---|---|---|------|-----|--------|------------|-----|------|-----|--------|----|-----|------|--------------|--------|----|-----|--------------|-----|--------|----|-------------|------|-----|--------|-----------------|-----|------|-----|---------------|----|-----|------|--------|--------|----|-----|--------------------|-----|--------|----|------------|------|-----|--------|-------|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|--------|----|-----|------|-----|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|                 |                    |   |   |   | Bars B  |      |     |        | Bars C & D |     |      |     | Bars E |    |     |      | Bars F1 ~ #4 |        |    |     | Bars F2 ~ #4 |     |        |    | Bars M ~ #4 |      |     |        | Bars Y & Z ~ #4 |     |      |     | Bars H 4 ~ #4 |    |     |      | Bars K |        |    |     | Per Foot of Barrel |     |        |    | Curb       |      |     |        | Total |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     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     |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     |        |    |     |      |     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|                 | S                  | H | T | U | No.   | Size | Spa | Length | Wt         | No. | Size | Spa | Length | Wt | No. | Size | Spa          | Length | Wt | No. | Size         | Spa | Length | Wt | No.         | Size | Spa | Length | Wt              | No. | Size | Spa | Length        | Wt | No. | Size | Spa    | Length | Wt | No. | Size               | Spa | Length | Wt | No.        | Size | Spa | Length | Wt    | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt | No. | Size | Spa | Length | Wt |



## STORM DETAILS

## PANORAMA STREET

CITY OF PARKER  
COLLIN COUNTY, TEXAS

**LJA Engineering, Inc.**

6060 North Central Expressway  
Suite 400  
Dallas, Texas 75206

Phone 469.621.0710  
FRN - F-1386

**LJA PROJECT ID**  
NT561-0133

**DATE:** JUN 2023

**DESIGN:** N/A

**DRAWN:** MARTINEZ

**SCALE**  
HORZ: NOT TO SCALE  
VERT: NOT TO SCALE

**SHEET**  
38  
OF 35 SHEETS

| TABLE OF DIMENSIONS AND REINFORCING STEEL<br>(Wings for one structure end) |       |       |       |       |                      |       |         |  |              |       |
|--|-------|-------|-------|-------|----------------------|-------|---------|--|--------------|-------|
| Dimensions   |       |       |       |       | Variable Reinforcing |       |         | Estimated Quantities per ft of wing length (2-wings) |              |       |
| Maximum Wingwall Height H <sub>w</sub>                                     | W     | X     | Y     | Z     | Bars J1              |       | Bars J2 |  | Conc (CY/Ft) |       |
|  |       |       |       |       | #                    | Spa   | #       | Spa  |              |       |
| 2'-6"  | 2'-5" | 1'-0" | 9"    | 7"    | #4                   | 1'-0" | #4      | 1'-0"  | 33.73        | 0.248 |
| 3'-0"  | 2'-5" | 1'-0" | 9"    | 7"    | #4                   | 1'-0" | #4      | 1'-0"  | 37.07        | 0.261 |
| 3'-6"  | 2'-5" | 1'-0" | 9"    | 7"    | #4                   | 1'-0" | #4      | 1'-0"  | 37.74        | 0.273 |
| 4'-0"  | 2'-5" | 1'-0" | 9"    | 7"    | #4                   | 1'-0" | #4      | 1'-0"  | 38.41        | 0.285 |
| 4'-6"  | 3'-2" | 1'-6" | 1'-0" | 7"    | #4                   | 1'-0" | #4      | 1'-0"  | 41.75        | 0.330 |
| 5'-0"  | 3'-2" | 1'-6" | 1'-0" | 7"    | #4                   | 1'-0" | #4      | 1'-0"  | 45.09        | 0.343 |
| 5'-6"  | 3'-2" | 1'-6" | 1'-0" | 7"    | #4                   | 1'-0" | #4      | 1'-0"  | 45.75        | 0.355 |
| 6'-0"  | 3'-2" | 1'-6" | 1'-0" | 7"    | #4                   | 1'-0" | #4      | 1'-0"  | 46.42        | 0.367 |
| 7'-0"  | 3'-8" | 1'-6" | 1'-3" | 7"    | #4                   | 1'-0" | #4      | 1'-0"  | 52.77        | 0.414 |
| 8'-0"  | 4'-2" | 2'-0" | 1'-6" | 6"    | #5                   | 1'-0" | #4      | 1'-0"  | 60.19        | 0.486 |
| 9'-0"  | 4'-8" | 2'-3" | 1'-9" | 6"    | #4                   | 6"    | #4      | 6"   | 81.49        | 0.535 |
| 10'-0"   | 5'-2" | 2'-6" | 2'-0" | 8"    | #5                   | 6"    | #4      | 6"   | 97.25        | 0.584 |
| 11'-0"   | 5'-8" | 2'-9" | 2'-3" | 8"    | #6                   | 6"    | #5      | 6"   | 133.65       | 0.634 |
| 12'-0"   | 6'-2" | 3'-0" | 2'-6" | 9"    | #7                   | 6"    | #5      | 6"   | 162.29       | 0.721 |
| 13'-0"   | 6'-8" | 3'-3" | 2'-9" | 11"   | #7                   | 6"    | #5      | 6"   | 178.80       | 0.856 |
| 14'-0"   | 7'-2" | 3'-6" | 3'-0" | 1'-0" | #8                   | 6"    | #5      | 6"   | 216.78       | 0.959 |
| 15'-0"   | 7'-8" | 4'-0" | 3'-0" | 1'-1" | #9                   | 6"    | #6      | 6"   | 283.06       | 1.068 |
| 16'-0"   | 8'-2" | 4'-6" | 3'-0" | 1'-3" | #9                   | 6"    | #6      | 6"   | 297.02       | 1.234 |

| TABLE OF WINGWALL REINFORCING<br>(2-wings) |      |     |       |  |  |  |  |  |  |
|--|------|-----|-------|--|--|--|--|--|--|
| Bar  | Size | No. | Spa   |  |  |  |  |  |  |
| D  | #5   | ~   | 1'-0" |  |  |  |  |  |  |
| E  | #4   | ~   | 1'-0" |  |  |  |  |  |  |
| F  | #4   | ~   | 1'-0" |  |  |  |  |  |  |
| G  | #6   | 4   | ~     |  |  |  |  |  |  |
| H  | #4   | 4   | ~     |  |  |  |  |  |  |
| P  | #4   | ~   | 1'-0" |  |  |  |  |  |  |
| R  | #5   | 6   | ~     |  |  |  |  |  |  |
| V  | #4   | ~   | 1'-0" |  |  |  |  |  |  |

TABLE OF ESTIMATED CULVERT TOEWALL QUANTITIES

| Bar           | Size | No. | Spa |  |  |  |  |  |       |
|---------------|------|-----|-----|--|--|--|--|--|-------|
| L             | #4   | 1   | ~   |  |  |  |  |  |       |
| Q             | #4   | 1   | ~   |  |  |  |  |  |       |
| Reinf (Lb/Ft) |      |     |     |  |  |  |  |  | 2.45  |
| Conc (CY/Ft)  |      |     |     |  |  |  |  |  | 0.037 |

## WING DIMENSION FORMULAS:

(All values are in feet.)

$$Hw = H + T + C - 0.250$$

$$Lw = (Hw - 0.333) (SL)$$

For cast-in-place culverts:

$$Lw = (N) (S) + (N + 1) (U)$$

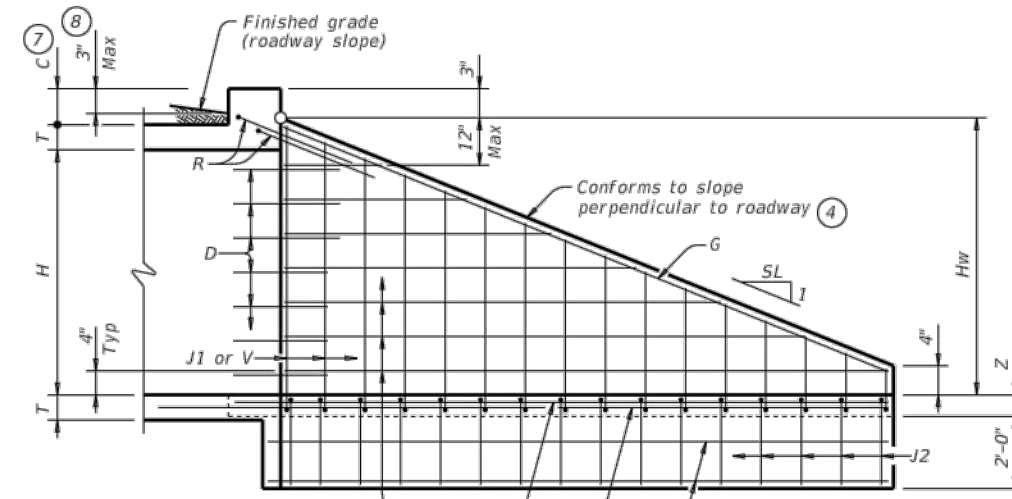
For precast culverts:

$$Lw = (N) (2U + S) + (N - 1) (0.5F)$$

$$\text{Total Wingwall Area (two wings - SF)} = (Hw + 0.333) (Lw)$$

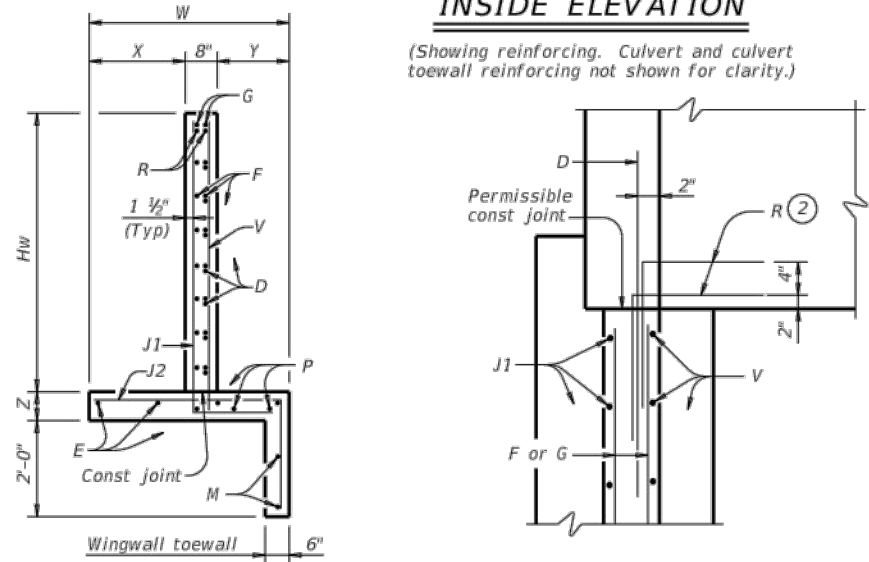
Hw = Height of wingwall  
SL:1 = Side slope ratio (horizontal:1 vertical)  
Lw = Length of wingwall  
Lw = Culvert toewall length  
N = Number of culvert spans

See applicable box culvert standard sheet for H, S, T, and U values.



## INSIDE ELEVATION

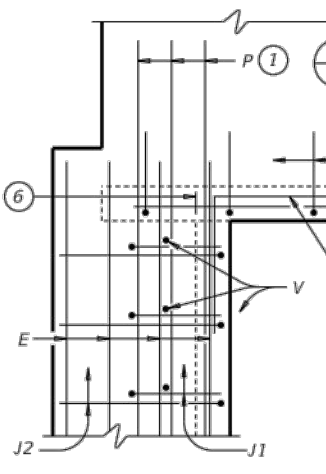
(Showing reinforcing. Culvert and culvert toewall reinforcing not shown for clarity.)



## SECTION A-A

## WINGWALL

## CORNER DETAILS



## FOOTING AND TOEWALL

## CORNER DETAILS

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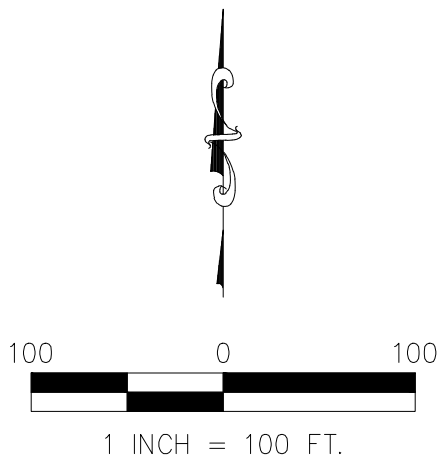
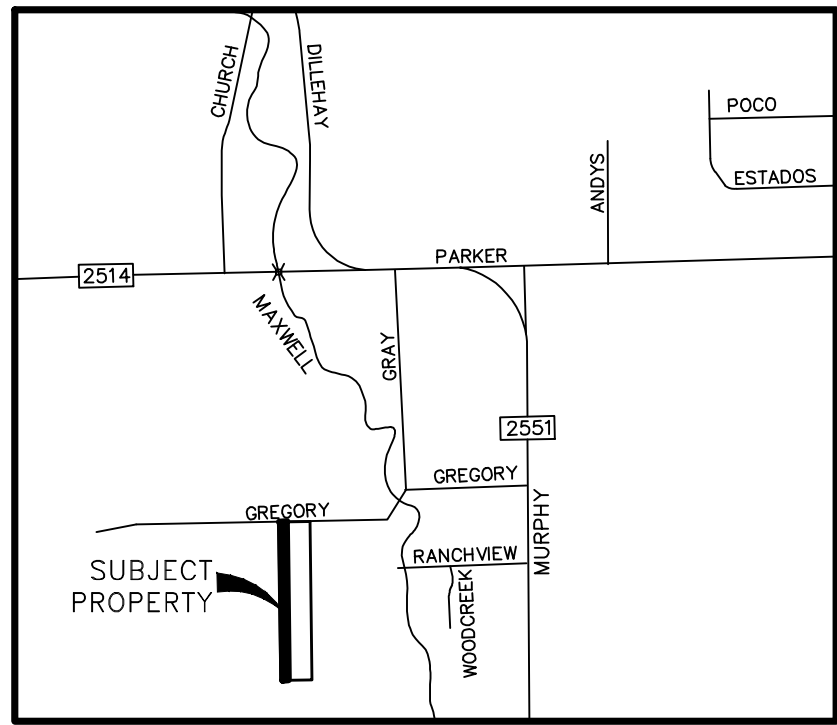
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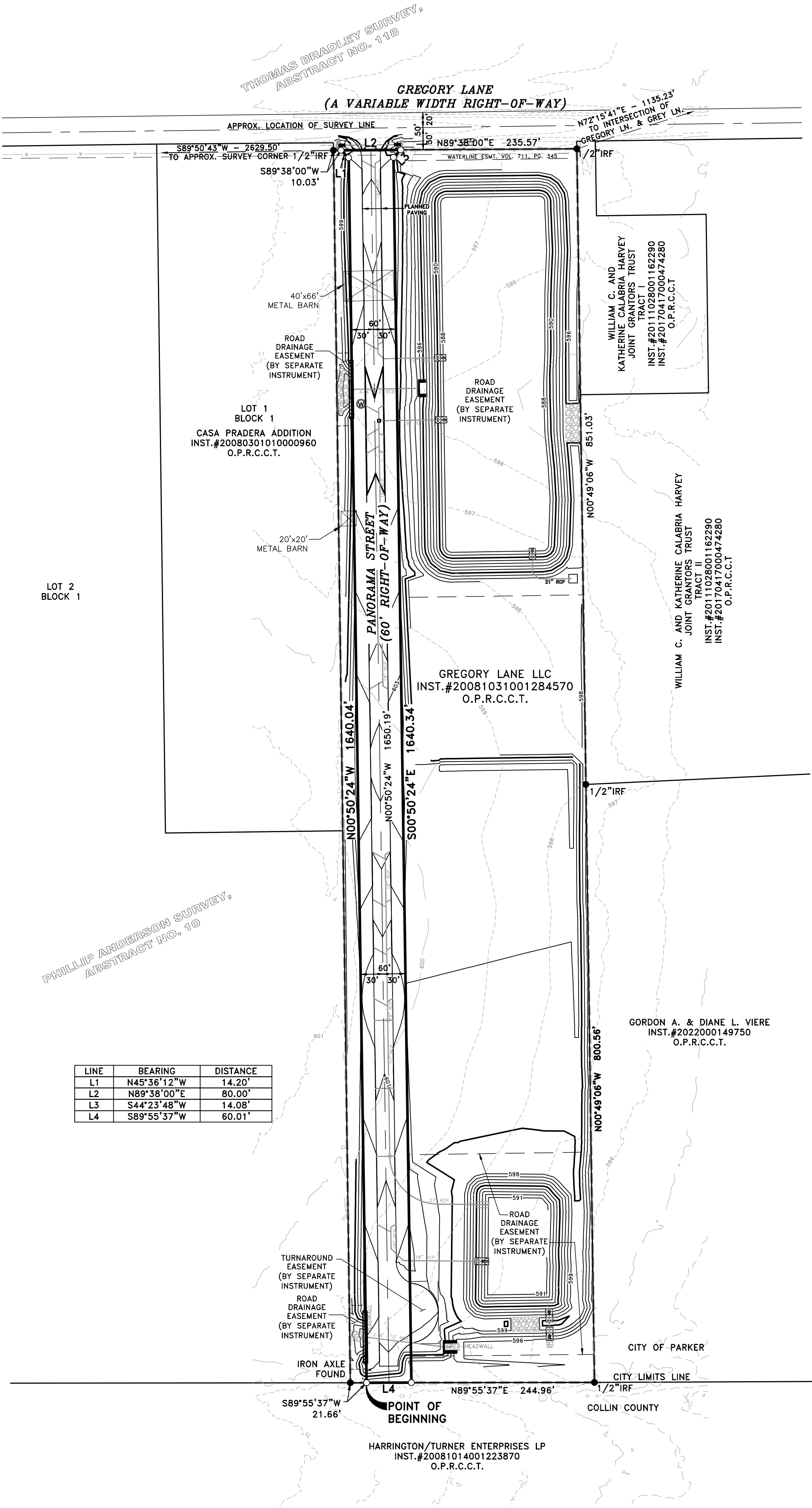
## CORNER DETAILS

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## CORNER DETAILS



- LEGEND**
- IRF CAPPED IRON ROD SET
  - ⊙ IRON ROD FOUND
  - ⊙ WATER WELL
  - O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
  - INST.# INSTRUMENT NO.
  - (CM) CONTROLLING MONUMENT
  - EXISTING GRADE
  - PROPOSED GRADE
  - STORM DRAIN
  - PROPOSED EASEMENTS
  - W EXISTING 8" WATERLINE
  - PROPOSED EROSION CONTROL



OWNER'S DEDICATION

STATE OF TEXAS )  
COUNTY OF COLLIN )

WHEREAS GREGORY LANE LLC IS THE OWNER OF A 2.275 ACRE TRACT OF LAND SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10, CITY OF PARKER, COLLIN COUNTY, TEXAS, AND BEING PART OF A TRACT OF LAND CONVEYED TO GREGORY LANE LLC, AS RECORDED IN INSTRUMENT NO. 20081031001284570, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEING 2.275 ACRES OF LAND SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10, CITY OF PARKER, COLLIN COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED TO GREGORY LANE LLC BY DEED RECORDED IN INSTRUMENT NO. 20081031001284570, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A CAPPED IRON ROD SET ON THE SOUTH LINE OF SAID GREGORY LANE TRACT, FROM WHICH AN IRON AXLE FOUND FOR THE SOUTHEAST CORNER OF THE CASA PRADERA ADDITION, AN ADDITION TO THE CITY OF PARKER, COLLIN COUNTY, TEXAS BY PLAT RECORDED IN INSTRUMENT NO. 20080301010000960 OF SAID OFFICIAL PUBLIC RECORDS BEARS SOUTH 89°55'37" WEST, A DISTANCE OF 21.66 FEET;

THENCE NORTH 00°50'24" WEST, OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 1640.04 FEET TO A CAPPED IRON ROD SET;

THENCE NORTH 45°36'12" WEST, CONTINUING OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 14.20 FEET TO A CAPPED IRON ROD SET ON THE SOUTH RIGHT-OF-WAY LINE OF GREGORY LANE, A VARIABLE-WIDTH RIGHT-OF-WAY, FROM WHICH A 1/2-INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAME TRACT BEARS SOUTH 89°38'00" WEST, A DISTANCE OF 10.03 FEET;

THENCE NORTH 89°38'00" EAST, WITH SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 80.00 FEET TO A CAPPED IRON ROD SET, FROM WHICH A 1/2-INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID GREGORY LANE TRACT BEARS NORTH 89°38'00" EAST, A DISTANCE OF 235.57 FEET;

THENCE SOUTH 44°23'48" WEST, OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 14.08 FEET TO A CAPPED IRON ROD SET;

THENCE SOUTH 00°50'24" EAST, CONTINUING OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 1640.34 FEET TO A CAPPED IRON ROD SET ON THE SOUTH LINE OF SAME TRACT, FROM WHICH A 1/2-INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID GREGORY LANE TRACT BEARS NORTH 89°55'37" EAST, A DISTANCE OF 244.96 FEET;

THENCE SOUTH 89°55'37" WEST, WITH THE SOUTH LINE OF SAID GREGORY LANE TRACT, A DISTANCE OF 60.01 FEET TO THE POINT OF BEGINNING AND CONTAINING A CALCULATED AREA OF 2.275 ACRES (99,111 SQ. FEET) OF LAND.

TO BE KNOWN AS:

**PANORAMA STREET**

AN ADDITION TO THE CITY OF PARKER, COLLIN COUNTY, TEXAS AND DO HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE EASEMENTS AND RIGHTS-OF-WAY AS SHOWN HEREON. AT THE CITY'S OPTION, PANORAMA STREET AND ALL DRAINAGE FACILITIES THAT SUPPORT IT WILL BE OWNED AND MAINTAINED BY THE CITY OR BY COLLIN COUNTY MUNICIPAL UTILITY DISTRICT NO. 7.

EXECUTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2023.

GREGORY LANE, LLC  
A TEXAS LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_  
NAME: MARGARET E. TURNER  
TITLE: DIRECTOR

STATE OF TEXAS )  
COUNTY OF \_\_\_\_\_ )

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2023

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, AARON C. BROWN, REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON DOES ACCURATELY REPRESENT THE PROPERTY AS DETERMINED BY AN ON THE GROUND SURVEY, MADE UNDER MY DIRECT SUPERVISION, AND THAT ALL CORNERS ARE AS SHOWN.

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT**

AARON C. BROWN  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6702

DATE: \_\_\_\_\_

**NOTES**

- HORIZONTAL DATUM: THE BEARING BASIS IS GRID NORTH, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NAD83 (NAD83 2011) EPOCH 2010, AS DETERMINED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN HEREON ARE THE RESULT OF THE APPLICATION OF A COMBINED SCALE FACTOR OF 1.0001527100.
- ALL SET CORNERS ARE 1 INCH IRON RODS WITH PLASTIC CAPS STAMPED "LJA SURVEYING" UNLESS OTHERWISE NOTED.
- SUBJECT TRACT IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATION OF ZONE "X" (UNSHADED), BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SCALED FROM FLOOD INSURANCE RATE MAP NO. 4806SC0415J, DATED JUNE 2, 2009 IN COLLIN COUNTY, STATE OF TEXAS.
- SUBJECT TRACT LIES WITHIN THE BOUNDS OF THE PLANO INDEPENDENT SCHOOL DISTRICT.
- ROAD DRAINAGE EASEMENT BY SEPARATE INSTRUMENT TO BE PROVIDED AT THE TIME OF FINAL PLAT.

**CITY APPROVAL CERTIFICATE**

RECOMMENDED FOR APPROVAL:

CHAIRMAN, PLANNING AND ZONING COMMISSION  
CITY OF PARKER, TEXAS

APPROVED AND ACCEPTED:

MAYOR, CITY OF PARKER, TEXAS

THE UNDERSIGNED, THE CITY SECRETARY OF THE CITY OF PARKER, HEREBY CERTIFIES THAT THE FOREGOING PRELIMINARY PLAT OF PANORAMA STREET, A SUBDIVISION OR ADDITION TO THE CITY OF PARKER WAS SUBMITTED TO THE CITY COUNCIL ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023, AND THE CITY COUNCIL BY FORMAL ACTION THEN AND THERE ACCEPTED THE DEDICATION OF STREETS, ALLEYS, EASEMENTS AND PUBLIC PLACES AS SHOWN AND SET FORTH IN AND UPON SAID MAP OR PLAT, AND SAID CITY COUNCIL FURTHER AUTHORIZED THE MAYOR TO NOTE THE APPROVAL THEREOF BY SIGNING HIS NAME HEREIN ABOVE SUBSCRIBED.

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

CITY SECRETARY  
CITY OF PARKER, TEXAS

A  
PRELIMINARY PLAT  
OF  
**PANORAMA STREET**  
2.275 ACRES  
SITUATED IN THE  
PHILLIP ANDERSON SURVEY, ABSTRACT NO. 10  
CITY OF PARKER, COLLIN COUNTY, TEXAS

OWNER/DEVELOPER:  
GREGORY LANE, LLC  
3510 DUBLIN RD  
PARKER, TX 75002-6516

ENGINEER/SURVEYOR:  
**LJA Surveying, Inc.**  
3017 W 7TH STREET, Suite 300  
Fort Worth, Texas 76107  
Phone 817.288.1900  
T.B.E.P.L.S. Firm No. 10194382

THIS PLAT FILED IN \_\_\_\_\_

JUNE 2023



## DEVELOPMENT APPLICATION

### City of Parker, Texas

Proposed Name of Subdivision: Panorama Street

| Plat Approval Requested                              | Filing Fee                    | Filing Fee  |
|--|-------------------------------|---|
| <input checked="" type="checkbox"/> Preliminary Plat | <u>\$800.00 + \$30/acre</u>   | <input type="checkbox"/> Final Plat                   |
| <input type="checkbox"/> Site Plan                   | <u>\$300.00 + \$25/acre</u>   | <input type="checkbox"/> Minor Plat (5 acres or less) |
| <input type="checkbox"/> Replat/Amended              | <u>\$500.00 plus \$15/lot</u> | <input type="checkbox"/> Development Plat             |
|  |                               | <u>\$800.00 + \$30/acre</u>                           |
|  |                               | <u>\$500.00 + \$100/lot</u>                           |
|  |                               | <u>\$300.00 + \$30/acre</u>                           |

Physical Location of Property: 5710 Gregory Lane, Parker, TX 75002 (Approx. 2700ft West of the intersection of North Murphy Road and Gregory Lane)  
(Address and General Location – Approximate distance to the nearest existing street corner)

Brief Legal description of Property (must attach accurate metes and bound description to application):

2.275 Acre tract situated in the Phillip Anderson Survey, Abstract No. 10 City of Parker, Collin County, Texas

(Survey/Abstract No. and Tracts: or platted Subdivision Name with Lot/Block)

Acreage: 2.275 Existing # of Lots/Tracts: N/A Existing Zoning: Single Family Residential  
(If a PD, include the Ordinance with application)

Property Owner's Name: Gregory Lane, LLC Phone Number: 214-802-0011

Applicant/Contact Person: Margaret Turner Title: President

Company Name: Gregory Lane, LLC

Street/Mailing Address: 3510 Dublin Road City: Parker State: TX Zip: 75002

Phone: 214-802-0011 Fax: \_\_\_\_\_ Email Address: margaretet16@yahoo.com

Engineering Company: LJA Engineering

Contact Person: Michelle Tilotta, P.E. Title: Project Manager

Street/Mailing Address: 6060 N. Central Expy. Suite 400 City: Dallas State: TX Zip: 75206

Phone: 214-451-0862 Fax: \_\_\_\_\_ Email Address: mtilotta@lja.com

**\*\* READ BEFORE SIGNING BELOW:** If there is more than one property owner, complete a separate sheet with the same wording as below. The City requires all Original Signatures. If applicant is other than the property owner, a "Power of Attorney" with original, notarized signatures is required.

STATE OF TEXAS )(

COUNTY OF COLLIN )(

BEFORE ME, a Notary Public, on this day personally appeared Margaret Turner  
the undersigned applicant, who, under oath, stated the following "I hereby certify that I am the owner, or duly authorized agent of the owner, (Proof must be attached, e.g. "Power of Attorney") for the purposes of this application; that all information submitted herein is true and correct. I understand that submitting this application does not constitute approval, and incomplete application will result in delays and possible denial."

Margaret Turner  
Owner Agent (circle one)

SUBSCRIBED AND SWORN TO before me, this the 28th day of June, 2023.

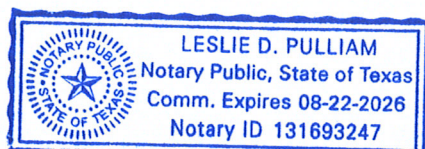
Notary Public in and for the State of Texas: Leslie D. Pulliam

Over

City of Parker \* 5700 E. Parker Road, Parker Texas 75002 972-442-6811 Fax 972-442-2894 www.parkertexas.us

BIT 1/2/05

N:\1 GR-Comm\1 - Admin\1 Gov\1 P2\Enr App Development\DEVELOPMENT APPLICATION Revised 20160720.doc



**SUBMITTAL DEADLINES:** Twenty eight (28) days prior to the Planning and Zoning Commission Meeting Date. Planning and Zoning Commission meets the second and fourth Thursday of each month.

**SUBMISSIONS.** Failure to submit all materials (including three sets of bound engineering plans) to the City with this application will result in delays scheduling the agenda date. Submit twelve (12) FOLDED to 8 1/2" X 11" copies of 24" X 36" prints [1"=100' scale] + electronic version in .jpeg, .tiff, or .pdf format. Applicant is to submit a complete copy of this application and drawings to the City Engineer

**ALL APPLICATIONS MUST BE COMPLETE BEFORE THEY WILL BE PLACED ON A CITY AGENDA.** It is the applicant's responsibility to be familiar with and to comply with, all City submittal requirements in the Zoning and Subdivision Ordinance ([www.parkertexas.us](http://www.parkertexas.us)), and any separate submittal policies, requirements and/or checklists that may be obtained from City staff)

**NOTICE OF PUBLIC RECORDS:** The submission of plans/drawings/etc. with this application makes such items public record, and the applicant understands that these items may be viewed by the general public. Unless the applicant expressly states otherwise in writing, submission of this application (with associated plans/drawings/etc.) will be considered consent by the applicant that the general public may view and/or reproduce (i.e. copy) such documents.

**SUBMITTAL FEES:** All fees are due and payable at the time of application, except inspection, engineering and legal fees, which are due at the time of pre-Construction meeting with the City. No construction shall take place prior to the pre-construction meeting and submission of certified construction cost bid(s) by the contractor(s) and Owner. No hearing will be scheduled nor will any reviews be made until payment of required filing fees has been accomplished. Fees are non-refundable regardless of outcome of request.

*City Contact Information:*

**Public Workers Superintendent**  
**City of Parker, Texas**  
**5700 E. Parker Road \* Parker, Texas 75002**  
**Phone 972-442-6811 \* Fax 972-442-2894 \* [www.parkertexas.us](http://www.parkertexas.us)**

OFFICE USE ONLY This submittal meets the City of Parker's requirements per City ordinances for processing.

Signature \_\_\_\_\_

Title \_\_\_\_\_

OFFICIAL SUBMISSION DATE

Fees Paid \$ \_\_\_\_\_ Check # \_\_\_\_\_ From: \_\_\_\_\_

P&Z Agenda Date: \_\_\_\_\_ Action: \_\_\_\_\_ CC Agenda Date: \_\_\_\_\_ Action: \_\_\_\_\_

Current Zoning: \_\_\_\_\_ Ordinance Number: \_\_\_\_\_ Date Approved: \_\_\_\_\_

Staff Comments forwarded to applicant on: \_\_\_\_\_ Revisions Due no later than: \_\_\_\_\_

Plans routed for review on \_\_\_\_\_, to: ☐ Public Works Director

☐ City Engineer

☐ Building Official

☐ Fire Department

Public Hearing Required: ☐ Yes ☐ No

Paper Notice \_\_\_\_\_ (date)

Written Notice \_\_\_\_\_ (date)

City of Parker \* 5700 E. Parker Road, Parker, Texas 75002 972-442-6811 Fax 972-442-2894 [www.parkertexas.us](http://www.parkertexas.us)

## DUPLICATE RECEIPT

1

DATE: 6/27/23

ACCOUNT: R601000000201

OWNER: GREGORY LANE LLC

PARCEL ADDRESS: 0005710 GREGORY LN

EXEMPTION CODES: AG002

LAWSUIT:

BKRPTCY:

LEGAL: ABS A0010 PHILLIP ANDERSON SURVEY  
TRACT 2  
12.357 ACRES

PIDN: 2117133

ACRES: 12.357

GREGORY LANE LLC  
3510 DUBLIN RD  
ALLEN TX 75002-6516

RECEIPT #: 46950938

CHECK #: 1002

DEPOSIT #: 202212068829-2022/lockbox

| YEAR | TAXING ENTITIES | TAXABLE<br>VALUE | TAX RATE<br>PER \$100 | PAY TYPE | DATE PAID | BASE TAX PAID | PENALTY &<br>INTEREST PAID |
|------|-----------------|------------------|-----------------------|----------|-----------|---------------|----------------------------|
| 2022 | COLLIN COUNTY   | \$170,753.00     | 0.152443              | L        | 12/5/22   | \$260.30      | \$0.00                     |
| 2022 | PARKER CITY     | \$170,753.00     | 0.329289              | L        | 12/5/22   | \$562.27      | \$0.00                     |
| 2022 | COLLIN COLLEGE  | \$170,753.00     | 0.081220              | L        | 12/5/22   | \$138.69      | \$0.00                     |
| 2022 | PLANO ISD       | \$170,753.00     | 1.259750              | L        | 12/5/22   | \$2,151.06    | \$0.00                     |

AMOUNT TENDERED \$3,112.32

AMOUNT PAID

BASE TAX \$3,112.32

TOTAL PAID \$3,112.32

PAYER: GREGORY LANE LLC  
3510 DUBLIN RD  
ALLEN TX 75002-6516REMAINING AMOUNT DUE  
AS OF 6/27/23  
0.00Collin County  
Kenneth L. Maun  
P.O. Box 8046  
McKinney, Texas 75070  
972-547-5020OWNER: GREGORY LANE LLC  
2117133

\*\*\* THIS IS A RECEIPT \*\*\*

ACCOUNT: R601000000201

REMAINING AMOUNT DUE  
AS OF 6/27/23  
0.00

**METES AND BOUNDS DESCRIPTION****2.275 ACRES**

BEING 2.275 ACRES OF LAND SITUATED IN THE PHILLIP ANDERSON SURVEY, ABSTRACT No. 10, CITY OF PARKER, COLLIN COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED TO GREGORY LANE LLC BY DEED RECORDED IN INSTRUMENT NO. 20081031001284570, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** AT A CAPPED IRON ROD SET ON THE SOUTH LINE OF SAID GREGORY LANE TRACT, FROM WHICH AN IRON AXLE FOUND FOR THE SOUTHEAST CORNER OF THE CASA PRADERA ADDITION, AN ADDITION TO THE CITY OF PARKER, COLLIN COUNTY, TEXAS BY PLAT RECORDED IN INSTRUMENT NO. 20080301010000960 OF SAID OFFICIAL PUBLIC RECORDS BEARS SOUTH 89°55'37" WEST, A DISTANCE OF 21.66 FEET;

THENCE NORTH 00°50'24" WEST, OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 1640.04 FEET TO A CAPPED IRON ROD SET;

THENCE NORTH 45°36'12" WEST, CONTINUING OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 14.20 FEET TO A CAPPED IRON ROD SET ON THE SOUTH RIGHT-OF-WAY LINE OF GREGORY LANE, A VARIABLE-WIDTH RIGHT-OF-WAY, FROM WHICH A 1/2-INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAME TRACT BEARS SOUTH 89°38'00" WEST, A DISTANCE OF 10.03 FEET;

THENCE NORTH 89°38'00" EAST, WITH SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 80.00 FEET TO A CAPPED IRON ROD SET, FROM WHICH A 1/2-INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID GREGORY LANE TRACT BEARS NORTH 89°38'00" EAST, A DISTANCE OF 235.57 FEET;

THENCE SOUTH 44°23'48" WEST, OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 14.08 FEET TO A CAPPED IRON ROD SET;

THENCE SOUTH 00°50'24" EAST, CONTINUING OVER AND ACROSS SAID GREGORY LANE TRACT, A DISTANCE OF 1640.34 FEET TO A CAPPED IRON ROD SET ON THE SOUTH LINE OF SAME TRACT, FROM WHICH A 1/2-INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID GREGORY LANE TRACT BEARS NORTH 89°55'37" EAST, A DISTANCE OF 244.96 FEET;

THENCE SOUTH 89°55'37" WEST, WITH THE SOUTH LINE OF SAID GREGORY LANE TRACT, A DISTANCE OF 60.01 FEET TO THE **POINT OF BEGINNING** AND CONTAINING A CALCULATED AREA OF 2.275 ACRES (99,111 SQ. FEET) OF LAND.

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED, VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT**

1051

**LJA**  
LJA ENGINEERING

**LJA Engineering, Inc.**  
NORTH TEXAS OFFICE  
6060 North Central Expressway, Suite 400  
Dallas, Texas 75206

DATE June 28, 2023 35-1125/1130

PAY TO THE ORDER OF City of Parker

Eight Hundred Sixty Eight Dollars & 25/100 \$ 868.25

FOR Prelim Plat App Fee

**Amegy Bank.**  
P.O. Box 27469  
Houston, Texas 77227-1469  
AMEGYBANK.COM • 713-225-0810

Security Features



6060 N Central Expy, Suite 440, Dallas, TX 75206  
t 469.621.0710 www.ljaengineering.com

Meeting Date: 08/01/2023 Item 5.

### LETTER OF TRANSMITTAL

To: Luke Olson  
City of Parker  
5700 E Parker Rd  
Parker, Texas 75002

Date: 06.28.2023

LJA Job No. NT561-0133

From: Michelle Tilotta, P.E.

LJA Engineering

RE: Panorama Street

WE ARE SENDING YOU the following items:

- ☐ Shop Drawings   ☐ Prints   ☒ Plans   ☐ Samples   ☐ Specifications  
☐ Copy of Letter   ☐ Change Order   ☐ Contract   ☒ Other:

| Copies | Date      | Description  |
|--------|-----------|--|
| 1      | June 2023 | Preliminary Plat Application   |
| 5      | June 2023 | 24"x36" Panorama Street Preliminary Plat - Bond  |
| 12     | June 2023 | 11"x17" Panorama Street Preliminary Plat   |
| 3      | June 2023 | Panorama Street Construction Plans   |
| 1      | June 2023 | 8.5"x11" Property Metes and Bounds   |
| 1      | June 2023 | Tax Certificate  |
| 1      | June 2023 | Check in the amount of \$868.25  |
| 1      | June 2023 | CD Containing Preliminary Plat Application, Preliminary Plat, Construction Plans, Metes and Bounds, Tax Certificate, and Copy of Check |

THESE ARE TRANSMITTED as checked below:

- ☐ For approval   ☐ Approved as submitted   ☐ Resubmit \_ copies for approval  
☐ For your use   ☐ Approved as noted   ☐ Submit \_ copies for distribution  
☐ As requested   ☐ Returned for corrections   ☐ Return \_ executed agreement  
☒ For review & comment   ☐ For signatures   ☐ \_\_\_\_\_

REMARKS: Please see the attached Preliminary Plat Application, Preliminary Plats, Construction Plans, Property Metes and Bounds, and Tax Certificate.

-CC  
Misty Ventura,  
Shupe Ventura, PLLC

c: \_\_\_\_\_ SIGNED: \_\_\_\_\_

S:\NTX-LAND\0133\NT561\700 COMMUNICATIONS\730 Transmittal\2023.06.27\_Preliminary Plat App to City of Parker.docx



## Council Agenda Item

|                                  |  |   |
|----------------------------------|--|---|
| Budget Account Code:             | Meeting Date:  | See above.  |
| Budgeted Amount:                 | Department/ Requestor:   | City Council                                      |
| Fund Balance-before expenditure: | Prepared by:   | ACA/CS Scott Grey for<br>City Administrator Olson |
| Estimated Cost:                  | Date Prepared:   | July 24, 2023                                     |
| Exhibits:                        | <ol style="list-style-type: none"> <li><a href="#">Proposed Resolution</a></li> <li><a href="#">Application(s) – 1 - (Emailed to Mayor/City Council only)</a> <ul style="list-style-type: none"> <li><a href="#">Lindy M. Buddy Pilgrim</a></li> </ul> </li> </ol> |   |

### AGENDA SUBJECT

CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2023-747 MAKING APPOINTMENTS TO THE ZONING BOARD OF ADJUSTMENT (ZBA).

### SUMMARY

Current members:

| Member            | Position                 | Term Expiration      |                    |
|-------------------|--------------------------|----------------------|--------------------|
| Steve Schoenekase | Place One (1)            | Nov. 30, 2023        |                    |
| Randy Kercho      | Place Two (2)            | Nov. 30, 2024        |                    |
| Andrew Ellison    | Place Three (3)          | Nov. 30, 2023        |                    |
| Don Dickson       | Place Four (4)           | Nov. 30, 2024        |                    |
| Brian Deaver      | Place Five (5)           | Nov. 30, 2023        |                    |
| <b>Vacant</b>     | <b>Alternate One (1)</b> | <b>Nov. 30, 2024</b> | <b>Resignation</b> |
| Trudy Jackson     | Alternate Two (2)        | Nov. 30, 2024        |                    |

Alt. Place One (1) is vacant due to Lucy Estabrook resigning and moving to Alt. 3 P&Z position. We received one application, which was provided to Council via email. Please review application(s).

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Patti Scott Grey</i> | Date: | 07/27/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |

**RESOLUTION NO. 2023-747**

*(2023 Zoning Board of Adjustment Appointment to Vacant Alternate Position)*

**A RESOLUTION OF THE CITY OF PARKER, COLLIN COUNTY, TEXAS, APPOINTING AN ALTERNATE MEMBER TO SERVE ON THE ZONING BOARD OF ADJUSTMENT**

**WHEREAS**, Members and Alternate Members of the Zoning Board of Adjustment serve in staggered two-year terms, commencing December 1st and ending on November 30th as set forth in Section 156.67(B)(1) of the City of Parker Code of Ordinances;

**WHEREAS**, one Alternate Position, Alternate 1 is vacant;

**WHEREAS**, the alternate member appointed herein shall begin service immediately and serve according to the Zoning Board of Adjustment Ordinance;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF PARKER, COLLIN COUNTY, TEXAS AS FOLLOWS:**

**SECTION 1. Appointment of an Alternate Member with term expiring November 30, 2024**

The following is hereby appointed to serve on the Zoning Board of Adjustment as an Alternate Member for a two-year term, expiring November 30, 2024:

Alternate 1 \_\_\_\_\_

**SECTION 2 Effective Date**

This resolution shall be effective upon its passage.

**PASSED AND APPROVED** by the City Council of the City of Parker, Collin County, Texas on this the 1<sup>st</sup> day of August, 2023.

**CITY OF PARKER:**

\_\_\_\_\_  
Lee Pettie, Mayor

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Patti Scott Grey, City Secretary

\_\_\_\_\_  
Amy J. Stanphill, City Attorney

Proposed



## Council Agenda Item

|                                  |                        |   |
|----------------------------------|------------------------|---|
| Budget Account Code:             | Meeting Date:          | See above.  |
| Budgeted Amount:                 | Department/ Requestor: | City Council                                      |
| Fund Balance-before expenditure: | Prepared by:           | ACA/CS Scott Grey for<br>City Administrator Olson |
| Estimated Cost:                  | Date Prepared:         | July 24, 2023                                     |
| Exhibits:                        | <u>None</u>            |   |

### AGENDA SUBJECT

AUTHORIZING STAFF AND ENGINEERING TO ADVERTISE AND PREPARE BID DOCUMENTS FOR THE 2024 STREET MAINTENANCE PROJECT.

### SUMMARY

This item would formally authorize staff to move forward with the bid process for Curtis Drive, Dublin Road and Lewis Lane..

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                            |
|--------------------------------|-------------------------|-------|----------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                            |
| Department Head/<br>Requestor: | <i>Gary Machado</i>     | Date: | 07/27/2023                 |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via<br>Municode |
| Public Work Director           | <i>Luke B. Olson</i>    | Date: | 07/xx 2023                 |



## Council Agenda Item

|                                  |                        |   |
|----------------------------------|------------------------|---|
| Budget Account Code:             | Meeting Date:          | See above.  |
| Budgeted Amount:                 | Department/ Requestor: | Council   |
| Fund Balance-before expenditure: | Prepared by:           | City Secretary Scott Grey for<br>City Administrator Olson |
| Estimated Cost:                  | Date Prepared:         | July 26, 2023   |
| Exhibits:                        | <b><u>None</u></b>     |   |

### AGENDA SUBJECT

#### UPDATE(S):

FM2551  
 COMPREHENSIVE PLAN  
 CAPITAL IMPROVEMENTS PLAN  
 ANY ADDITIONAL UPDATES

### SUMMARY

*Please review information provided.*

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Patti Scott Grey</i> | Date: | 07/26/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |



## Council Agenda Item

|                                  |                        |   |
|----------------------------------|------------------------|---|
| Budget Account Code:             | Meeting Date:          | See above.  |
| Budgeted Amount:                 | Department/ Requestor: | Council   |
| Fund Balance-before expenditure: | Prepared by:           | City Secretary Scott Grey for<br>City Administrator Olson |
| Estimated Cost:                  | Date Prepared:         | July 26, 2023   |
| Exhibits:                        | <b><u>None</u></b>     |   |

### AGENDA SUBJECT

#### ACCEPTANCE OF DONATION(S) FOR POLICE, FIRE, AND CITY STAFF FOR THE RECORD (Each valued at between \$0 - \$500)

Maryam Boroujerdi donated 1 dozen mini Bundtins from Nothing Bundt Cakes valued at \$27.00 to City Staff.

### SUMMARY

*Please review information provided.*

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Patti Scott Grey</i> | Date: | 07/26/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |



## Council Agenda Item

|                                     |                                     |
|-------------------------------------|-------------------------------------|
| Budget Account Code:                | Meeting Date: See above.            |
| Budgeted Amount:                    | Department/<br>Requestor: Council   |
| Fund Balance-before<br>expenditure: | Prepared by: ACA/CS Scott Grey      |
| Estimated Cost:                     | Date Prepared: July 26, 2023        |
| Exhibits:                           | <a href="#">Future Agenda Items</a> |

### AGENDA SUBJECT

FUTURE AGENDA ITEMS

### SUMMARY

Please review information provided.

### POSSIBLE ACTION

City Council may direct staff to take appropriate action.

| Inter – Office Use             |                         |       |                         |
|--------------------------------|-------------------------|-------|-------------------------|
| <b>Approved by:</b>            | Enter Text Here         |       |                         |
| Department Head/<br>Requestor: | <i>Patti Scott Grey</i> | Date: | 07/26/2023              |
| City Attorney:                 | <i>Amy J. Stanphill</i> | Date: | 07/xx/2023 via Municode |
| City Administrator:            | <i>Luke B. Olson</i>    | Date: | 07/xx/2023              |

**FUTURE AGENDA ITEMS**

|  | ITEM DESCRIPTION  | CONTACT      | Notes   |
|--|---|--------------|---|
| <b>2023</b>                                |   |              |   |
| Feb(Mar), May (July), Aug, Nov             | Fire Department Quarterly Report                              | Sheff/Miller | 1st Qtr 2022 0523 CC Agenda                   |
| <del>Feb(Mar)</del> , May (July), Aug, Nov | Investment Quarterly Report                                   | Savage       | 1st Qtr 2023 0418CC Agenda                    |
|  | <b>Council Committee Updates</b>                              | Council      |   |
|  | Public Safety Committee (MLP, MPTMS, & CMDA)                  | Council      | 2022 1115 and 2022 1206                       |
|  | Website Dev. Subcommittee (CMCM, CMTL, & MLP)                 | Council      | 2022 1115 and 2023 0620                       |
| Tentatively - August 15, 2023              | P&R Appointment   | Mayorr/C'sec | 2023 0718                                     |
| Tentatively - August 15, 2023              | Boards & Commissions - Attendance Policy Review               | Mayor        | 2023 0725; Added at 2022 1115 CC Meeting      |
| Tentatively - August 15, 2023              | Set Proposed Tax Rate   | Savage       | Rescheduled - Tentatively - August 15, 2023   |
| Tentatively - August, 2023                 | Planning Session  | Mayor        | Rescheduled                                   |
| Tentatively - August, 2023                 | Public Safety Appt.   | Mayor        | 2023 0613 - CA AS - Waiting on Ord. Amendment |
| Tentatively - August, 2023                 | Goal Setting Council Workshop                                 | Mayor        | 2023 0503                                     |
| Tentatively - August, 2023                 | CIP Workshop  | Mayor        | 2023 0411 Canceled; 2023 0503 T               |
| Tentatively - August, 2023                 | Comp Plan Meeting   | Mayor        | Added 2023 0621                               |
| Tentatively Sept. 5, 2023                  | Adopt Tax Rate for 2023                                       | Savage       | Set 2023 0712                                 |
| Tentatively Sept. 5, 2023                  | Adopt FY 2023-2024 Budget                                     | Savage       | Set 2023 0712                                 |
| <b>Tentatively - Sept. 2023</b>            | Enterprise Fleet Management                                   |              | Update - 2023 0726                            |
| <b>Tentatively - Sept. 2023</b>            | Texas Coalition for Affordable Power [TCAP] – Electric Supply |              | Update - 2023 0726                            |
| <b>Tentatively - 2023</b>                  | Review Franchise Agreements                                   | Mayor        | Added 2023 0621                               |