



## AGENDA

### PLANNING AND ZONING COMMISSION REGULAR MEETING

**AUGUST 22, 2024 @ 5:00 PM**

Notice is hereby given: the Planning and Zoning Commission for the City of Parker will hold a Meeting on Thursday, August 22, 2024, at 5:00 P.M. at Parker City Hall, 5700 E. Parker Road, Parker, Texas 75002. The meeting will be open to the public and live streamed.

Pursuant to Texas Government Code § 551.127, notice is given that it is the intent of the Planning and Zoning Commission that a quorum of the Commission will be physically present for the above-referenced meeting at Parker City Hall, 5700 E. Parker Road, Parker Texas. Some Commissioners or City employees may participate in this meeting remotely by means of video conference call in compliance with state law.

#### **CALL TO ORDER – Roll Call and Determination of a Quorum**

#### **PLEDGE OF ALLEGIANCE**

AMERICAN PLEDGE: I pledge allegiance to the flag of the United States of America; and to the republic for which it stands, one nation under God, indivisible with liberty and justice for all.

TEXAS PLEDGE: Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.

**PUBLIC COMMENTS** The City Council invites any person with business before the Council to speak to the Council. No formal action may be taken on these items at this meeting. Please keep comments to 3 minutes.

#### **INDIVIDUAL CONSIDERATION ITEMS**

##### 1. COLIN AND AUBREE MARINO SPECIAL USE PERMIT (SUP):

PUBLIC HEARING FOR A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.

CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.

##### 2. ZONING 1 – [MM SOUTH FORK 241, LLC - APPROXIMATELY 151.316 ACRES] :

PUBLIC HEARING REGARDING REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 151.316 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE SHERWOOD HERRING SURVEY, ABSTRACT NO. 404, EAST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (SF).

CONSIDERATION AND/OR AN APPROPRIATE ACTION ON THE MM SOUTH FORK 241, LLC REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 151.316 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE SHERWOOD HERRING SURVEY, ABSTRACT NO. 404, EAST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (SF).

##### 3. ZONING 2– [MM SOUTH FORK 241, LLC -APPROXIMATELY 54.053 ACRES] :

PUBLIC HEARING REGARDING REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 54.053 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE JOSEPH RUSSELL SURVEY, ABSTRACT NO. 778, WEST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (SF).

CONSIDERATION AND/OR AN APPROPRIATE ACTION ON THE MM SOUTH FORK 241, LLC REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 54.053 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE JOSEPH RUSSELL SURVEY, ABSTRACT NO. 778, WEST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (SF).

4. REVIEW AND DISCUSS THE COMPREHENSIVE PLAN (COMP PLAN).

**ROUTINE ITEMS**

**FUTURE AGENDA ITEMS**

**ADJOURN**

I In addition to any specifically identified Executive Sessions, the Planning and Zoning Commission may convene into Executive Session at any point during the open meeting to discuss any item posted on this Agenda. The Open Meetings Act provides specific exceptions to the requirement that a meeting be open. Should Commission elect to convene into Executive Session, those exceptions will be specifically identified and announced. Any subsequent action, as a result of this Executive Session, will be taken and recorded in open session.

I certify that this Notice of Meeting was posted on or before August 16, 2024, by 5:00 p.m. at the Parker City Hall, and required by Texas Open Meetings Act (TOMA) is also posted to the City of Parker Website at [www.parkertexas.us](http://www.parkertexas.us).

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Date Notice Removed

Patti Scott Grey  
City Secretary

The Parker City Hall is Wheelchair accessible. Sign interpretations or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972 442 6811.



## Commission Agenda Item

Budget Account Code:	Meeting Date: See above.
Budgeted Amount:	Department/ Requestor: P&Z Commission
Fund Balance-before expenditure:	Prepared by: ACA/CS Scott Grey Public Works Director Machado
Estimated Cost:	Date Prepared: July 23 2024
Exhibits:	<ol style="list-style-type: none"> <li>1. <a href="#">Special Use Permit Application and Map</a></li> <li>2. <a href="#">Code of Ordinances §156.31 Agricultural, Open Space District</a></li> <li>3. <a href="#">Public Hearing Notice, Collin County CAD map, and Verified list of residents</a></li> </ol>

### AGENDA SUBJECT

#### **COLIN AND AUBREE MARINO SPECIAL USE PERMIT (SUP):**

- A. PUBLIC HEARING FOR A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.
- B. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.

### SUMMARY

Please review the information provided.

### POSSIBLE ACTION

Planning and Zoning (P&Z) Commission may direct staff to take appropriate action.

Inter – Office Use			
<b>Approved by:</b>			
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	08/15/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	08/15/2024 via Municode
City Administrator:	<i>Gary Machado</i>	Date:	08/XX/2024



CITY OF

Meeting Date: 08/22/2024 Item 1.



PLEASE PRINT

APPLICATION FOR A SPECIAL USE PERMIT

The undersigned owner (contract owner) of property herein described hereby applies for a special use permit for the following described property:

(1) Location of Property or Street Address:

3901 SYCAMORE LANE Parker TX 75002

Existing Zoning: Farm and Ranch Single-family

(2) Legal Description of Property:

ABS A0432 AM Hatfield Survey Tract 23  
11.798 Acres

(3) Proposed Use of Property:

Our goal for this property is to produce quality horses with outstanding cow ability. To do this an arena is a critical part. This arena will give horses a safe area to be worked in a safe area. This will replace a smaller arena we currently have.

(4) Development Schedule: July 2024 - October 2024

(5) Desired Duration: ongoing

(6) Attached are the checklist, plans, and LETTER OF INTENT: Yes No

No application for a special use shall be granted by the City of Parker unless the City Council shall find all of the following conditions are present:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
2. That the uses, values, and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance, or operation of the special use.
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
4. That adequate utilities, access roads, drainage, and other necessary site improvements have been or are being provided.
5. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
6. That the special use shall conform to all applicable regulations of the district in which it is located.

I own X lease    this property.

I, the undersigned applicant, have reviewed the above standards and to the best of my knowledge this proposed special use complies with the standards for special use.

Respectfully submitted,

Aubree n  
\_\_\_\_\_  
Applicant Signature

Aubree Marino  
\_\_\_\_\_  
Printed Name  
       
\_\_\_\_\_  
Applicant Signature

Colin Marino  
\_\_\_\_\_  
Printed Name

Address: 3901 Sycamore Lane  
Parker TX 75002  
Phone: 903-312-5122

**ADDITIONAL REQUIREMENTS:**

Attach 12 copies of plat for the property containing the following information:

- a. North point, scale, and date
- b. Name and address of applicant, engineer, or surveyor
- c. Survey and abstract with tract designation
- d. Location of major and/or secondary thoroughfares located with or adjacent to property
- e. Location of existing or platted streets within and adjacent to property
- f. Location of existing rights-of-way, utility/drainage easements

**Fees:**

- a. The fee for a Special Use Permit before the Planning & Zoning Commission is (See Fee Schedule).
- b. The fee for a Special Use Permit before The City Council is (See Fee Schedule).

**FEES ARE NON-REFUNDABLE, IN THE EVENT THE APPLICATION FOR SPECIAL USE PERMIT IS DENIED.**

**Timing:**

Within twenty days of receipt of completed application and appropriate fee, a public hearing will be scheduled before the Planning and Zoning Commission, after notification of all property owners within 200 feet of the property has been duly accomplished. Additional notifications may be made at the discretion of the City Administrator.

The Planning and Zoning Commission will make a recommendation to the City Council for either approval, approval with conditions, or denial.

Applications that receive a recommendation for approval, or approval with conditions by the Planning and Zoning Commission, will then be scheduled for a Public Hearing before the Parker City Council, after notification of all property owners within 200 feet of the property has been duly accomplished. Additional notifications may be made at the discretion of the City Administrator.

The final authority for approval is with the City Council of the City of Parker.

Applications that have been denied by the Planning and Zoning Commission may be appealed to the Parker City Council.

**ORDINANCE 483****SECTION 17. SPECIAL USE PERMITS****A. PURPOSE**

The purpose of the regulations described by this section is to allow the compatible and orderly development within the City of uses which may be suitable only in certain locations in a designated district if developed in a specific way or only for a limited period of time.

A Special Use Permit is required for all Conditional Uses. A Special Use Permit may have a specified time limitation attached and may impose conditions other than those which are specifically set forth in this ordinance.

**B. APPROVAL RESPONSIBILITY**

The Planning and Zoning Commission shall have the initial responsibility for recommending all Special Use Permits required for the "Conditional Uses."

The City Council shall have the final authority for approval or denial of all Special Use Permits.

The following procedures shall be complied with prior to the approval or denial of any Special Use Permit.

1. Application concerning Special Use Permits for those uses which are conditional in any district shall be submitted to the Administrator in writing and be automatically referred to the Commission for a public hearing on same. The Administrator shall investigate conditions, arrange hearing notification, and obtain any expert advice needed to achieve agreement between the applicant and the City.

2. After receiving an application for a Special Use Permit, notification of such request by mail shall be made to all owners of real property located within two hundred (200) feet of the property on which application has been made. The names and addresses of the affected parties shall be supplied by the applicant.

3. After a public hearing, the Commission may recommend an application for a Special Use Permit not be approved, if the proposed use fails to meet one of the criteria set forth in Paragraph C. In recommending a Special Use Permit be approved, the Commission, on the basis of recommendations from the Administrator, may impose requirements and conditions with respect to locations, construction, maintenance, and operation, in addition to those expressly stipulated in the Ordinance for the particular use, as they deem necessary for the protection of adjacent properties and the public interest.

4. When application has been denied by the Commission, applicant may appeal for a hearing before the City Council.

5. Appeals From Decisions of the Commission. Any person or persons, jointly or severally, aggrieved by a decision of the Commission, may present the City Council a petition, duly verified, setting forth that such decision is unjust, in whole or in part, specifying the

**COMPREHENSIVE ZONING ORDINANCE**

Page67

## CITY OF PARKER

grounds of injustice. Such petition shall be presented to the body within ten (10) days after the final decision of the Commission and not thereafter.

### C. PREREQUISITES FOR APPROVAL BY CITY COUNCIL

- I. No Structure or property in any district shall be used for a use listed as a "Conditional Use" without first having obtained a Special Use Permit for such use from the City Council.
2. The City Council, after receipt of report and recommendation of the Commission, may permit a conditional use subject to appropriate conditions and safeguards, when, after public notice and a hearing, the City Council finds:
  - a. That the proposed use meets all the minimum standards established in this ordinance for this type of use.
  - b. That the proposed use is in harmony with the purpose and intent of this ordinance.
  - c. That the proposed use will not be detrimental to the health, welfare, and safety of the surrounding neighborhood or its occupants, nor be substantially or permanently injurious to neighboring property.
  - d. Each use permitted by the City Council shall be evidenced by a duly adopted ordinance granting such Special Use Permit and containing such conditions as may be prescribed by the City Council.
  - e. The City Council may impose additional reasonable restrictions or conditions to carry out the spirit and intent of this ordinance and to mitigate adverse effects of the proposed use. These requirements may include, but are not limited to, increased open space, loading and parking requirements, suitable landscaping, and additional improvements such as drainage, trails, and fencing.
  - f. Prior to any public hearing before the City Council for a Special Use Permit, notification shall be made by mail to all property owners within two hundred (200) feet of the property on which the application was made.

### D. APPLICATION FILING PROCEDURE

Application shall be made by property owner or certified agent thereof to the Administrator on a form prescribed for this purpose by the City. Application shall be accompanied by drawings as provided herein. Granting a Special Use Permit does not exempt the applicant from complying with requirements of the Building Code or other ordinances.

### E. DEVELOPMENT & TIME LIMITS

Following the issuance of a Special Use Permit, the Building Official shall insure that if the development is undertaken, it is commenced in compliance with said permit within one (1) year. If said development is not commenced within one year of issuance of the applicable Special Use Permit, said Special Use Permit shall expire without notice.

### COMPREHENSIVE ZONING ORDINANCE

Page68

The Special Use Permit is not permanent zoning, and may be brought before the go the city for a compliance review at any time.

Meeting Date: 08/22/2024 Item 1.

The City may seek the issuance of an administrative search warrant in the event probable cause exists to review compliance with the city ordinances and the requirements of the SUP. Such warrants may be issued in the discretion of the court after a review of the evidence."

**NO HEARING WILL BE SCHEDULED UNTIL APPROPRIATE FEES HAVE BEEN PAID.**

All the requirements and fees of this application are hereby submitted to the City Secretary, City of Parker, Texas, as required for a Special Use Permit. I (we) understand that in the event this application is denied by either the Parker Planning and Zoning Commission or the Parker City Council, the fees submitted herewith are not to be refunded.

5-8-2024 Colin Marino  
DATE APPLICANT

5-8-2024 Aubree Marino  
DATE APPLICANT

DATE RECEIVED CITY OF PARKER

\$1000  
AMOUNT OF FEE RECEIVED WITH INITIAL  
APPLICATION

NAMES AND ADDRESSES OF ALL ADJACENT PROPERTY OWNERS (IN EVERY DIRECTION) WITHIN 200 FEET OF THE PROPERTY:

**IMPORTANT NOTE: IT IS THE RESPONSIBILITY OF THE APPLICANT TO PROVIDE COMPLETE AND TOTAL NAME AND ADDRESSES TO THE CITY ADMINISTRATOR.**

THIS INFORMATION IS A PART OF THE APPLICATION FOR A SPECIAL USE PERMIT.

FAILURE TO COMPLETE THIS PORTION OF THE APPLICATION WILL RESULT IN THE APPLICATION BEING RETURNED AS INCOMPLETE.

- ✓ 1. David + Marcy Morgan 3808 Sycamore Lane Parker TX 75002
- ✓ 2. Richard + ILene Simerka 3908 Sycamore Lane Parker TX 75002
- ✓ 3. NGUYEN Van Huu + Huong Van 4001 Windream Lane Parker TX 75002
- ✓ 4. Charity Smith 4003 Windream Ln Parker TX 75002
- ✓ 5. Chanaa Jalal 4007 Windream Ln Parker TX 75002
- 6. City of Plano Development Services - Real Estate Manager P.O. Box 860358 Plano TX. 75086-0358
- 7. Gonzalo And Luisa Valls Living Trust 3745 Morton Vale Rd. Plano, TX. 75074-7726
- 8. Robert Clinton II and Marissa Rylant 3721 Buckboard Dr Plano, TX. 75074
- 9. The Preston Family Revocable living Trust 3723 Buckboard Dr. Plano, TX. 75074
- 10. Rudolf Otto 3725 Buckboard Dr. Plano, TX. 75074
- 11. John Nathan and Misty Michelle Blasingame 3727 Buckboard Dr. Plano TX. 75074
- 12. Caroline Freisen 3729 Buckboard Dr. Plano TX. 75074
- 13. Earline K and Herbert J Schirf Jr. 3731 Buckboard Dr Plano, TX. 75074
- 14. Redeemed Christian Church of Gods Heavens Glorious Embassy, Inc. 3900 E Parker Rd. Plano, TX. 75074-7731
- 15. Same as #6 above
- 16. \_\_\_\_\_
- 17. \_\_\_\_\_
- 18. \_\_\_\_\_
- 19. \_\_\_\_\_
- 20. \_\_\_\_\_

CITY OF PARKER  
SPECIAL USE PERMIT

Meeting Date: 08/22/2024 Item 1.

The City Council of the City of Parker hereby grants a Special Use Permit as follows:

APPLICANT: Colin + Aubree Marino

PROPERTY: 3901 Sycamore Lane Parker TX 75002

USE PERMITTED: \_\_\_\_\_

EFFECTIVE DATE: \_\_\_\_\_

DURATION: \_\_\_\_\_

This permit is granted subject to the representations of applicant as presented in the application and letter of intent filed by applicant and attached hereto for all purposes, subject to the rules, regulations, and ordinances of the City of Parker and subject to the following special conditions:

The City of Parker reserves the right to cancel, modify, or suspend the permit granted herein should the City Council determine: (1) that any of the representations contained in the applicant's application or letter of intent are false, (2) that applicant has not timely performed applicant's obligations as represented in the application, letter of intent, or as contained in the special conditions, or (3) that applicant has been found to be in violation of the ordinances of the City of Parker or any county, state, or federal regulations applicable to the subject property, applicant, or the activity conducted.

CITY OF PARKER

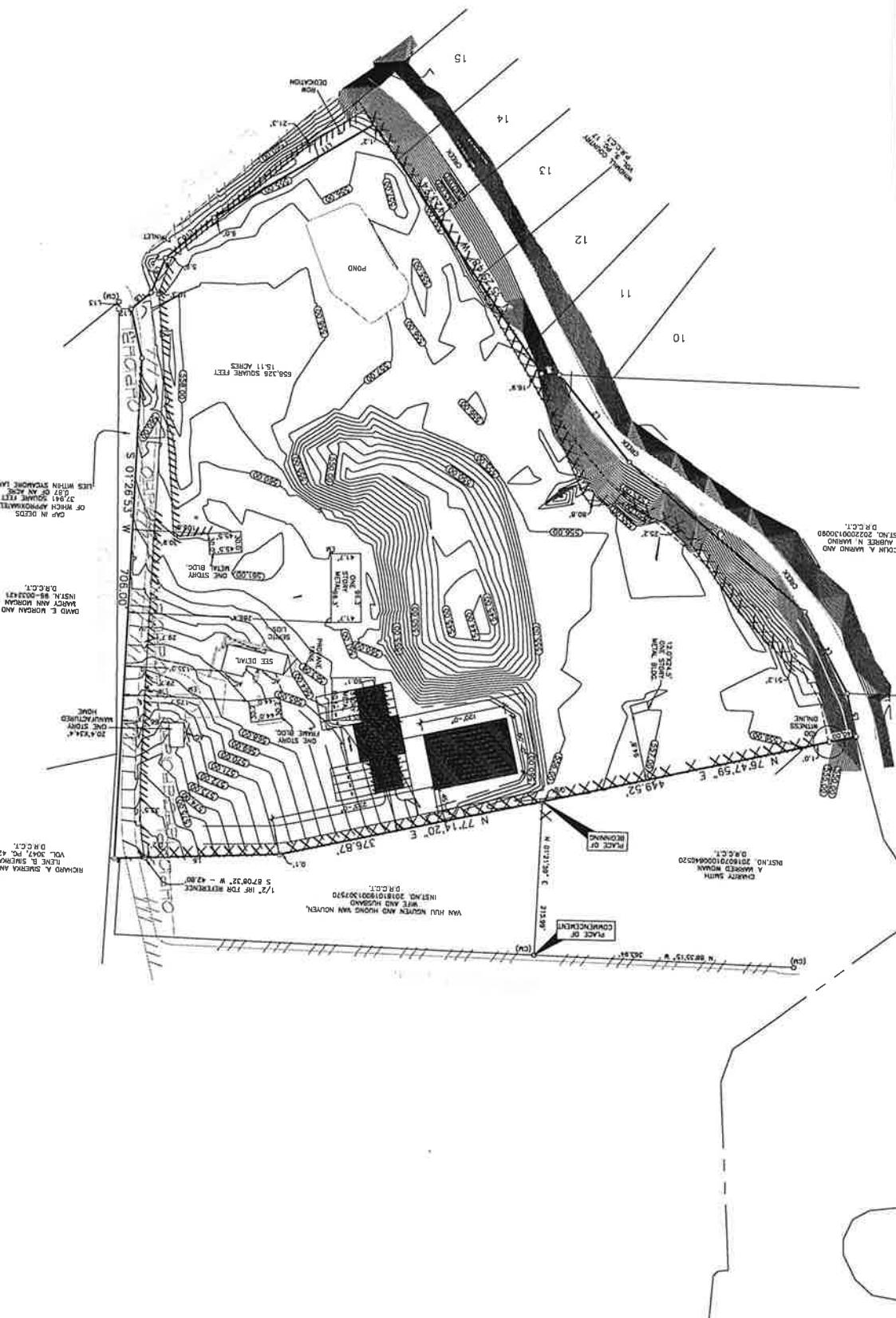
\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Secretary

# HORSE RANCH ARENA SITE PLAN THE MARINO FAMILY

**ARENA SITE PLAN**



HORSE RANCH MASTER PLAN  
for  
THE MARINO FAMILY

SHEET  
A1.0

DATE  
10/09/23

# HORSE RANCH ARENA SITE PLAN THE MARINO FAMILY

ENLARGED ARENA SITE PLAN  
PAGE 10

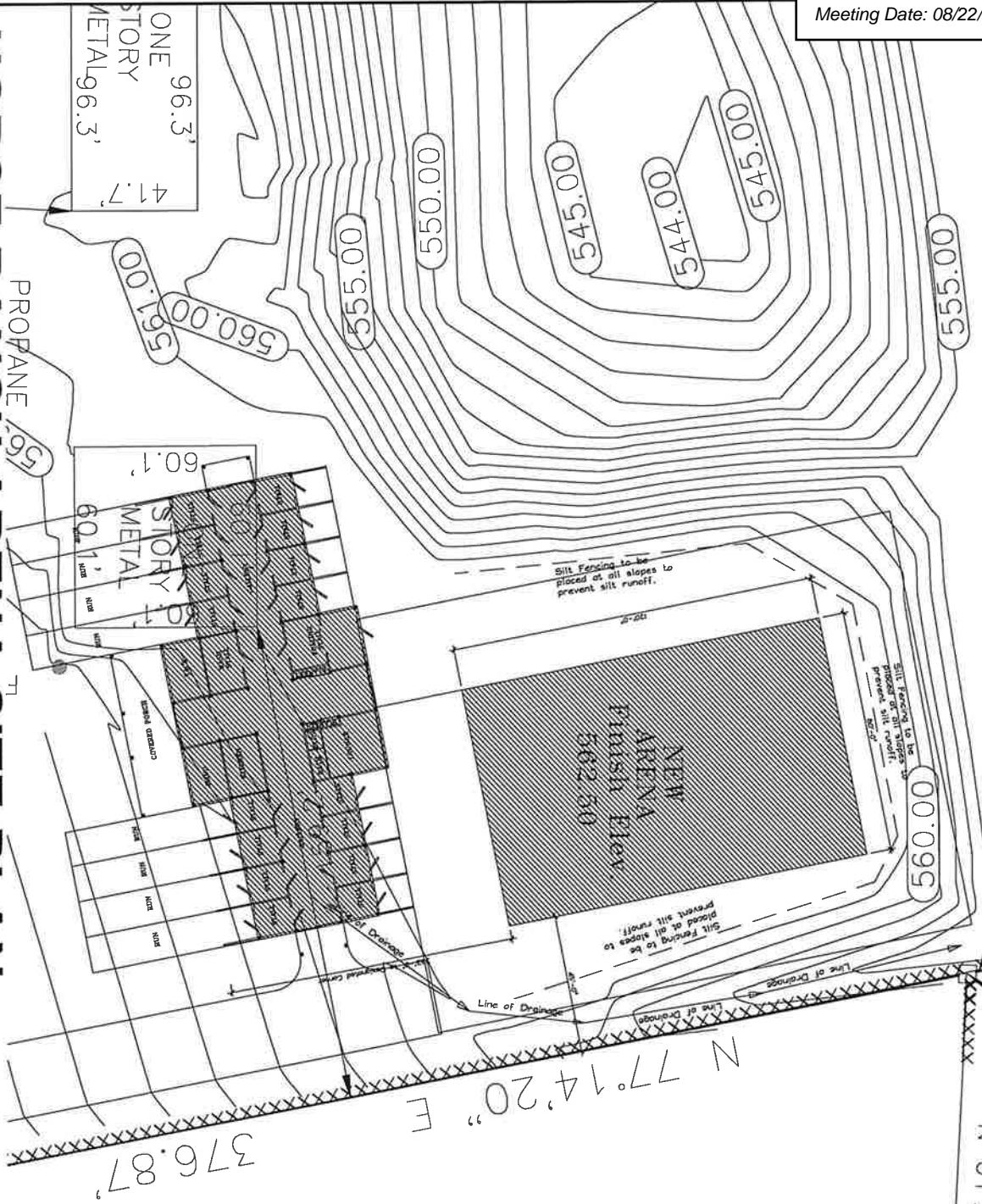
SHEET  
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HORSE RANCH MASTER PLAN  
for  
THE MARINO FAMILY

INST. NO. 20181019001307570  
D.R.C.C.T.

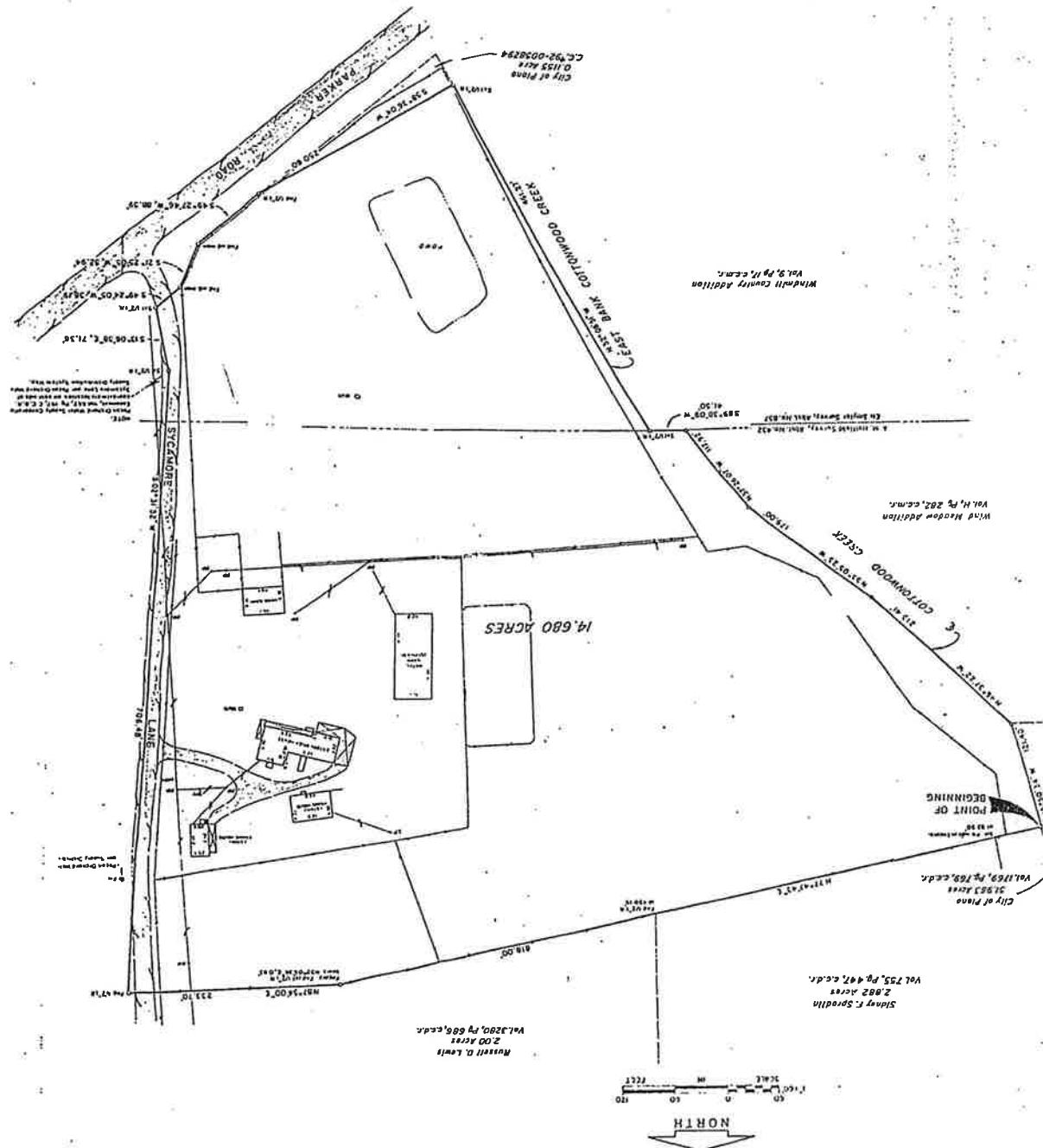
VAN HUU NGUYEN AND HUONG VAN NGUY  
WIFE AND HUSBAND

DATE  
10/20/22



David J. Hammel

Gene T. Hannel



## SURVEY PLAT

December 28, 1993

SITUATED in the State of Texas, County of Collin, being part of the A.H. Hatfield Survey, Abstract No. 432 and the Eli Smyler Survey, Abstract No. 857, being the surveyor of a called 14.738 acre tract of land surveyed by Jimmy Popus as described and recorded in Volume 2067, Page 210 of the Collin County Deed Records and also being the surveyor of the same 14.735 acre tract of land as surveyed by Brad Sparc on October 23, 1987 less 0.1155 acre for right-of-way of Parker Road, said premises being more particularly described as follows:

BEGINNING at a point for corner in the approximate center-line of Cottonwood Creek, said point being the northwest corner of the 14.795 acre tract, the premises herein described, and also being the southwest corner of a 2.882 acre tract of land described in a deed to Sidney F. Spradlin recorded in Volume 755, Page 447 of the Collin County Deed Records;

THENCE departing the centerline of Cottonwood Creek and with the general course of a wire fence along the north line of the 14.795 acre tract, said premises, and the south line of said 2.882 acre tract, North 77°47'43" East, passing at 53.50 feet a R.M. nail set in a fence-corner post, passing at 450.15 feet a 1/2-inch iron rod found marking the southeast corner of said 2.882 acre tract and being the southwest corner of a 2.00 acre tract of land described in a deed to Russell D. Lewis recorded in Volume 3280, Page 686 of the Collin County Deed Records, and continuing for a total distance of 818.00 feet to a fence corner post found for corner from which a 1/2-inch iron rod found for reference bears North 52°06'36" East, 0.83 feet;

THENCE continuing partway with the general course of said wire fence along the south line of said 2.00 acre tract, the north line of the 14.795 acre tract and said premises, North 87°54'00" East, 233.70 feet to a 1/2-inch iron rod found for corner marking the northeast corner of the 14.795 acre tract and said premises, said corner being in the east drainage ditch of Sycamore Lane;

THENCE along the east line of the 14.795 acre tract and said premises and partway with Sycamore Lane as follows:

South 02°31'52" East, 706.48 feet to a 1/2-inch iron rod set for corner;

South 13°06'38" East, 71.36 feet to a 1/2-inch iron rod set for corner, and marking the intersection of the east line of the 14.795 acre tract and said premises with the north right-of-way line of Parker Road;

THENCE along the north right-of-way line of Parker Road (variable width right-of-way) and the south line of the 14.795 acre tract and said premises as follows:

South 49°24'05" West, 36.19 feet to a wooden right-of-way monument found for corner;

South 21°25'05" West, 52.94 feet to a wooden right-of-way monument found for corner;

South 49°27'46" West, 89.59 feet to a 1/2-inch iron rod set for corner marking the most easterly corner of a 0.1155 acre tract of land described in a deed to the City of Plano recorded under County Clerk's Number 7-9058294, Collin County Deed Records;

South 58°36'04" West along the north line of said 0.1155 acre tract and the south line of said premises, 250.60 feet to a 1/2-inch iron rod set for corner on the east bank of Cottonwood Creek, said corner being in the west line of the 14.795 acre tract;

THENCE departing said north right-of-way line of said roadway and along the east bank of Cottonwood Creek, the west line of the 14.795 acre tract and said premises North 32°08'31" West, 461.27 feet to a 1/2-inch iron set for corner and South 89°38'02" West, 41.50 feet to a point for corner in the approximate center-line of Cottonwood Creek;

THENCE continuing along the approximate centerline of Cottonwood Creek, the west line of the 14.795 acre tract and said premises as follows:

North 37°26'07" West, 117.92 feet to a point;

North 53°05'23" West, 179.00 feet to a point;

North 46°37'22" West, 213.41 feet to a point and

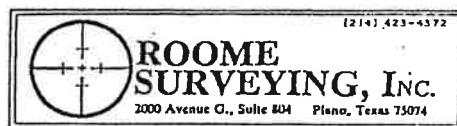
North 15°50'34" West, 121.40 feet to the PLACE OF BEGINNING and containing 14.680 acres of land.

NOTE: Easement to E.W. Herlit, County Judge of Collin County, recorded in Volume 288, Page 517 of the Collin County Deed Records no longer affects subject property.

## SURVEYOR'S CERTIFICATION

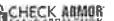
On the basis of my knowledge, information and belief, I certify to: Fidelity Title Company, that as a result of a survey made on the ground to the normal standard of care of Professional Land Surveyors practicing in the State of Texas, I find that this survey was made as per the field notes shown on this survey, and is true, correct and accurate as to boundaries and areas of the subject property and the size, location and type of buildings and improvements thereon, if any, and as to the other matters shown herein, and correctly shows the location of visible easements and rights-of-way, and of all rights-of-way, easements and any other matters of record of which I have knowledge or have been advised, whether or not of record, affecting the subject property. Except as shown on the survey, there are no encroachments on the subject property by improvements on adjacent property, there are no encroachments on adjacent property, streets, or alleys by improvements on the subject property, there are no conflicts or protrusions.

*F. E. Bemenderfer, Jr.*  
F. E. Bemenderfer, Jr.  
Registered Professional  
Land Surveyor No. 4051



**City of Parker  
Fee Schedule  
2021**

	<u>Current Fees</u>
<i><b>Contractor Registration - Renewed Annually</b></i>	
Electrical Contractor	\$100.00
Fire Sprinkler Contractor	No Fee
General Contractor	\$100.00
Irrigation Contractor	\$100.00
Backflow Tester	\$100.00
Mechanical Contractor	\$100.00
Plumbing Contractor	No Fee
Pool Contractor	\$100.00
<i><b>Inspection Fees</b></i>	
Re-Inspections	\$50.00
Annual Backflow Test - Fire Sprinkler System (commercial)	\$25.00
Annual Fire System Inspection (commercial)	\$50.00
<i><b>Development Fees</b></i>	
Abandonment of Real Property	\$500.00
Annexation Petitions	\$400 plus \$5 /acre
Copies -Subdivision Regulations and Zoning Ordinance Book	\$150.00
Plat - Development	\$300 plus \$30/Acre
Plat -Preliminary	\$800 plus \$30/Acre
Plat - Final	\$800 plus \$30/Acre
Plat - Final Plat Filing Fees	100% plus 15% adm costs
Plat -Minor Subdivision (5 acres or less)	\$500 plus \$100/lot
Plat -Re-Plat Application/Amending Plat	\$500 plus \$15/lot
Public Works Inspection/Engineering Plans/Legal Review (50% Water/50% City)	5% of total construction costs
Site Plan	\$300 plus \$25/Acre
<i><b>Traffic Control Devices:</b></i>	
Per divided street intersection (signage)	\$300.00
Per linear foot per lane line (painting)	\$0.75
Per street intersection (signage)	\$150.00
Signs for street names (each)	\$200.00
Special Activities District	\$500 plus \$30/Acre*
<del>*Zoning - Special Use Permit</del>	\$1,000.00
Special Use Permit Annual Renewal - Cross Creek Ranch, Ord. 273	\$1,000.00
 <i><b>Zoning Change Request, Zoning Change</b></i>	
Zoning Variance Request	\$600.00

COLIN MARINO AUBREE MARINO 3901 SYCAMORE LN PARKER, TX 75002	2530 88-987/1119
<u>5-8-2024</u> Date	
Pay to the Order of <u>City of Parker</u>	\$ 1,000.00
<u>one thousand dollars 100/100</u>	Dollars
 <b>LAMAR</b> NATIONAL BANK	P.O. Box 1097 Paris, TX 75461 903-785-0701 www.lamarnational.com
For <u>SUP Permit</u>	 
 Photo Safe Deposit Details on back	

## § 156.31 AGRICULTURAL-OPEN SPACE DISTRICT.

(A) *Purpose; A-O.* The agricultural-open space (A-O) use district includes lands within the corporate limits of the city which are not subdivided and are relatively undeveloped. This use district is designed to promote continued agricultural activities and to provide open space.

(B) *Uses; A-O.*

(1) *Permitted uses.*

- (a) Barn or stable for keeping private animal stock;
- (b) Agriculture;
- (c) Farm;
- (d) Pasturage;
- (e) Single-family residence;
- (f) Home occupation; and
- (g) Accessory buildings.

(2) *Conditional uses; special use permit required.* The following uses require filing an application for a special use permit, with subsequent hearing by Planning and Zoning Commission after which approval is required by City Council:

- (a) Tower structures exceeding 25 feet in height;
- (b) Golf course;
- (c) Accessory dwelling;
- (d) Rodeo;
- (e) Grain elevator;
- (f) Common stables; and
- (g) Riding academy.

(C) *Building setbacks; A-O.* No structure shall be constructed within 100 feet of any property line.

(D) *Special requirements; A-O.* Any structure constructed within this A-O district shall conform to all area requirements and building regulations as required by the single-family residential district (SF), unless otherwise specified in this classification.

(1) No mobile homes or HUD-Code manufactured homes shall be permitted.

(2) No property qualifies for A-O district unless it has five acres in contiguous tracts under single ownership.

(Ord. 483, passed 6-6-2000; Am. Ord. 820, passed 8-2-2022) Penalty, see § [156.99](#)

## § 156.32 SINGLE-FAMILY RESIDENTIAL DISTRICT.

(A) *Purpose; SF.* The purpose of this classification is to provide for single-family residential development that is most consistent with the general desires of the community.

(B) *Uses; SF.*

(1) *Permitted uses.*

- (a) Single-family residence;
- (b) Accessory buildings; and
- (c) Home occupation.

(2) *Conditional uses; special use permit required.* The following uses require filing an application for a special use permit, with subsequent hearing by Planning and Zoning Commission after which approval is required by City Council:

- (a) Accessory dwelling;
- (b) Boarding and activities involving large animals.

(C) *Lot size requirements; SF.*

(1) *Minimum lot size.* The minimum lot size shall be 2.0 acres net (87,120 square feet).

(2) *Maximum lot coverage.* The maximum lot coverage by all above ground structures shall be no more than 20%. For a 2-acre lot, this is a maximum of 17,424 square feet.

(3) *Nonresidential structures; maximum lot coverage.* No more than 10% of the total lot area may be accessory buildings.

(4) *Minimum lot width at front lot line.* The minimum lot width at the street frontage of any lot shall be 200 feet for straight streets. On curved streets and cul-de-sacs, the minimum lot width at the front lot line is determined by the effective radius of curvature, R, measured in feet, of the right-of-way boundary as follows. The width (W) shall be at least:

$$W = 70 - (400 / R) \text{ feet}$$

In this formula, R shall be no less than 40 feet.

(5) *Minimum lot depth.* The minimum lot depth shall be 300 feet measured from the closest straight line distance between the front property line and the rear property line.

(D) *Bufferyards; SF.* Bufferyards are not required for the single-family zoning classification.

(1) The buffer yard shall be included as a part of the property to be maintained by the homeowner's association, or owner of the lot.

(E) *Building setbacks; SF.* The following setbacks are the minimum requirements. Distances indicated are exclusive of public or private motor vehicle easements or rights-of-way.

(1) *Front setback.* The minimum front setback for any structures on the lot shall be 100 feet from the closest point of the front property line. No two adjacent houses shall have the same front building line. The front building line of all adjacent houses shall vary by at least five feet.

(2) *Side setback.* The minimum side setback shall be 40 feet from the closest point of the side property line.

(3) *Side setback at corner.* The minimum side setback for any structures on a lot located on a corner shall be the same as the front setback on the side closest to the adjacent street.

(4) *Rear setback.* The minimum rear setback for any structures shall be 50 feet from the closest point of the rear property line.

(F) *Building regulations; SF.*

(1) *Single-family residence.*

(a) *Minimum living space.* There shall be a minimum of 2,500 square feet of air-conditioned living space.

(b) *Building materials.*

1. *First floor elevation.* Not less than 90% of the exterior materials used on the first floor elevation shall be brick, stone or approved masonry product, exclusive of doors and windows.

2. *Total elevation.* Not less than 75% of the exterior materials used on the entire elevation, including the first floor elevation, shall be brick, stone or approved masonry product, excluding doors and windows.

3. *Brick or stone; alternatives.* Approved masonry products for elevations may be permitted in lieu of brick or stone, with the approval of the Building Official that these materials and their application conform to the requirements of the International Residential Code, and other pertinent ordinances in the city.

(c) *Maximum height.*

1. The maximum height for the primary residence shall be two stories above the finished foundation elevation, not to exceed 45 feet above finished foundation elevation, excluding architectural treatment elements.

2. Architectural treatment elements are not to exceed 50 feet above finished foundation elevation.

(2) *Accessory buildings.* Refer to § [156.37\(N\)](#).

(3) *Accessory dwellings.* Accessory dwellings may be constructed only after the issuance of a special use permit.

(a) *Minimum living space.* There is no minimum living space requirement.

(b) *Building materials.* Same requirements as primary residence.

(c) *Maximum height.* The maximum height for any accessory buildings shall be two stories above the finished foundation elevation, not to exceed the height of the primary residence.

(G) *Garages; SF.* No garage shall open to the front of a lot or to the side street in a corner lot.

(H) *Fences; SF.*

(1) *General restrictions.*

(a) All perimeter fencing shall not exceed six feet in height. All fences shall be of open construction and not solid or near-solid fabric or surfacing, except for parcels of land that are side or rear adjacent to the following roads: Parker Road, Dillehay Drive (FM 2551), and Hogge Drive (FM 2551) on which a solid or near-solid fence constructed of wood, masonry, or wrought iron is permitted along the roadway. Open construction shall mean that each fence panel, when viewed from an elevation perspective at a perpendicular to that elevation, shall be constructed of materials that allow at least 50% of the surface area of each panel to provide for an open unobstructed view.

(b) The 50% open construction requirement for each fence panel is exclusive of columns and posts, which may be constructed of solid material including masonry or metal.

(c) Fencing columns, if used, shall not be more than two feet square on base, and not more than six feet in height. The columns shall not be closer together than six feet center to center.

(2) *Chain link fencing.* Chain link fences may not be used in the front yard. They cannot extend beyond the front building line of the primary dwelling on the lot. They cannot extend into the side setback on the street side of a corner lot. It is preferred that chain link fence be black or green vinyl coated rather than galvanized.

(3) *Privacy fencing.* Privacy fences are permitted around swimming pool areas, subject to the following:

(a) The privacy fence must not be built farther than 30 feet from the side of the pool. The side of the pool is defined as where the water's edge meets the side of the pool, not the outside edge of the pool decking, if any.

(4) *Inspection and maintenance.* When any fence is completed, it must be inspected. The Building Inspection Department shall be notified upon completion of the fence. The Building Official will approve the fence if it complies with the provisions of this section, or it will be rejected. All fences constructed under the provisions of this section shall be maintained so as to comply with the requirements of this section at all

times. Fences shall be maintained by the owner or person in charge of the property in as near as possible the condition of the fence when installed and accepted as provided herein, and shall be maintained as follows:

- (a) The fence shall not be out of vertical alignment more than 20%; and
- (b) All damaged, removed, or missing portions of the fence shall be replaced or repaired with comparable materials of a comparable color to the remaining portions of the fence.

(5) *Materials.*

(a) *Permitted materials.* Materials permitted are wood, concrete, masonry, chain link, wrought iron, metal tubing, vinyl, fiberglass composite, barbed wire, or other materials approved by the Building Official for exterior exposure as fence material.

(b) *Prohibited materials.* Materials prohibited are razor ribbon, sheet metal, corrugated steel and fiberglass panel, plywood, or any other similar material manufactured for other uses.

(6) *Certain locations, construction prohibited.*

(a) *Within easements.* No fence shall be located within any easement except by prior written approval of those agencies having interest in that easement.

(b) *Electric fences.* No fence erected shall be electrically charged in a manner to be dangerous to humans.

(7) *Swimming pool enclosures.* A building permit is required for the construction of all swimming pools, and all pools and their associated safety fences shall be built according to the building code.

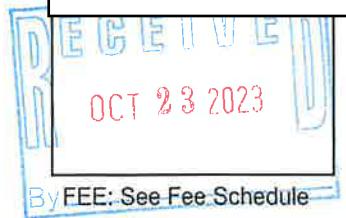
(Ord. 483, passed 6-6-2000; Am. Ord. 508, passed 7-10-2001; Am. Ord. 697, passed 8-6-2013; Am. Ord. 820, passed 8-2-2022) Penalty, see § [156.99](#)



CITY OF

ACCESSORY BUILDING / OUTBUILDING /  
BARN APPLICATION

Meeting Date: 08/22/2024 Item 1.

PLEASE PRINT/TYPEPROPERTY OWNER: Colin MarinoPHONE NUMBER: 903-372-4326PROJECT ADDRESS/LOCATION: 3901 Syacmore lane Parker TX 75002ABs A0432 Am Hatfield Survey tract 23LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_ ZONING: residentialABs Ad 857 Bl Smyler Survey tract 11TYPE OF CONSTRUCTION: Steel VALUE OF CONSTRUCTION: \$79,500.00PROPOSED USE OF STRUCTURE: Horse Arena-will replace exsiting covered arena\*FOUNDATION - SLAB n/a PIER & BEAM to bedrock POST TENSION n/a N/A \_\_\_\_\_

Total Square Footage Under Roof <u>9,600</u> sq. ft.	Total Lot Coverage <u>.015</u> %
Total Square Footage A/C <u>0</u> sq. ft.	Total Lot Size <u>14.6225</u> acres
<u>Structures over 5,250 sq ft May Require Fire Sprinklers</u>	
1 <sup>st</sup> Floor <u>9600</u> sq. ft.	Lot Width at Front Property Line <u>826</u> ft.
Garage <u>0</u> sq. ft.	Lot Width at Rear Property Line <u>1163</u> ft.
Porches/Patios <u>0</u> sq. ft.	Lot Depth <u>1050</u> ft.
Note: No Garage may open to the front of lot or side on corner lot.	
Is this a Key Corner Lot? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Building Set Back Requirements [Refer to City Zoning Code]	
Front Yard <u>100</u> ft	Rear Yard <u>0</u> ft
Right Side Yard <u>40</u> ft	Left Side Yard <u>40</u> ft
Exterior Finish Materials percentages:	
Masonry <u>0</u> %	Siding <u>0</u> %
Other: <u>metal covered Arena not enclosed</u>	

Contractor Company Name	Contact Person	Phone	Registration Current with City For City Use Only
<u>General Builder</u> <u>Colin Marino</u> <u>New Millennium</u> <u>Horse Farm</u>	<u>Colin Marino</u>	<u>903-372-4326</u>	Expiration Date <u>10/23/24</u>
<u>Electrical</u>			Expiration Date _____
<u>Plumbing</u>			Expiration Date _____
<u>Mechanical</u>			Expiration Date _____
<u>Other</u>			Expiration Date _____

\*Each contractor must register with the City and furnish a current State issued trade license and proof of Liability coverage.

## FOR FEES - SEE PAGE 3 OF THIS APPLICATION.

NOTICE: AN ISSUED PERMIT BECOMES INVALID IF THE WORK ON THE SITE AUTHORIZED BY THE PERMIT DOES NOT COMMENCE WITHIN 180 DAYS OF ISSUANCE, OR IF THE WORK ON THE SITE IS INCOMPLETE DUE TO SUSPENSION OR ABANDONMENT FOR A PERIOD OF 180 DAYS. AT LEAST ONE (1) CITY INSPECTION IS REQUIRED EVERY 180 DAYS. ALL PERMITS REQUIRE FINAL INSPECTION.

I HEREBY CERTIFY THAT I AM AN AUTHORIZED AGENT OF THE OWNER, AND HAVE THE OWNER'S CONSENT TO ENTER ONTO THE PROPERTY TO COMPLETE THE WORK. AFTER CLOSE REVIEW OF THIS APPLICATION, I FURTHER CERTIFY THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE WORK SHALL COMPLY WITH ALL PROVISIONS OF LAWS AND ORDINANCES, WHETHER SPECIFIED OR NOT. THE GRANT OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY FEDERAL, STATE, OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

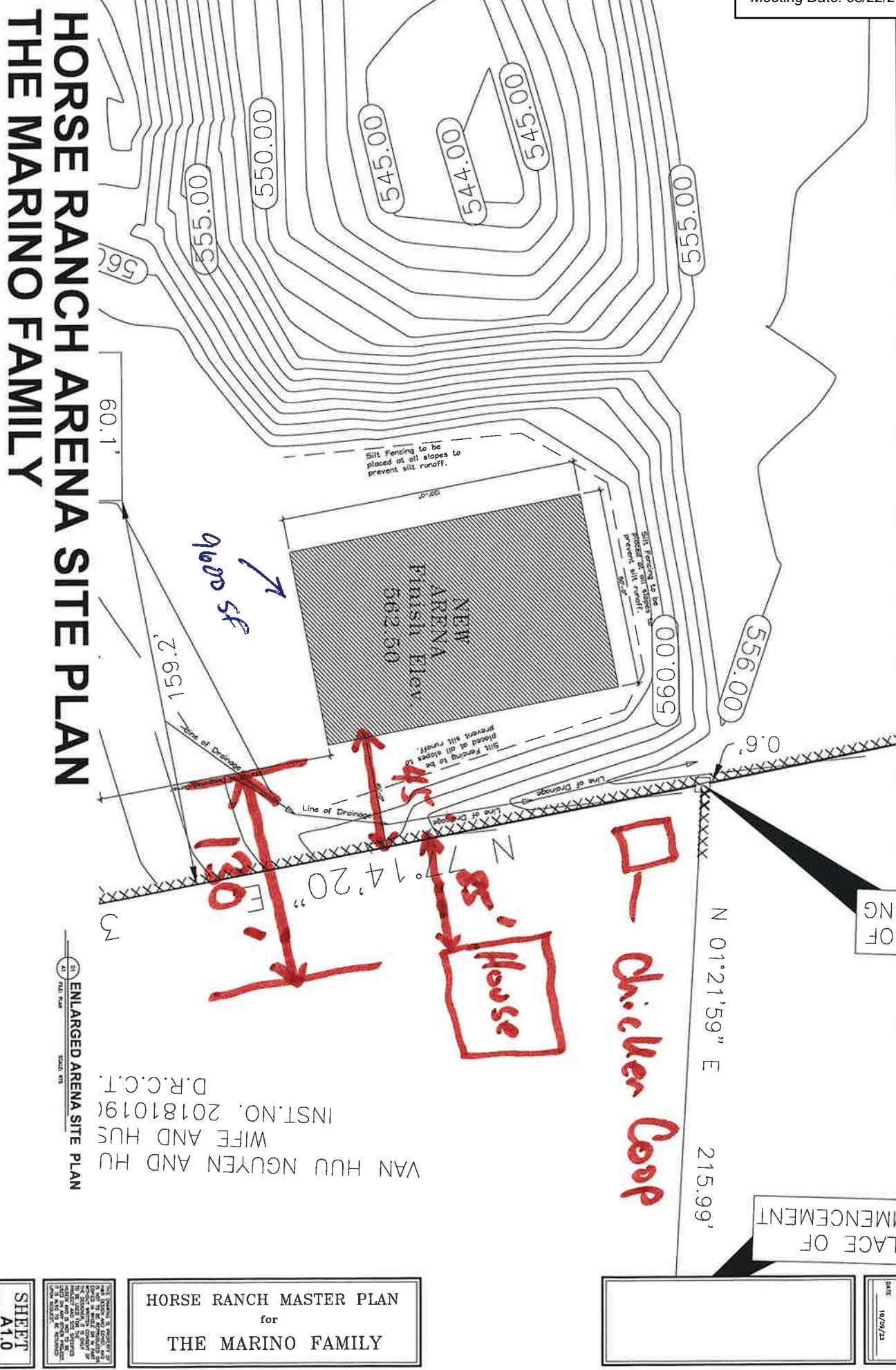
Signature Colin Marino  
Date 10/23/2023  
Printed Name Colin Marino  
Title MD

Original signature required. Permit and plans must be submitted at City Hall.

For City Use Only:  
Fee Paid \$ \_\_\_\_\_ Cash  Check  # \_\_\_\_\_ CC  Received by \_\_\_\_\_



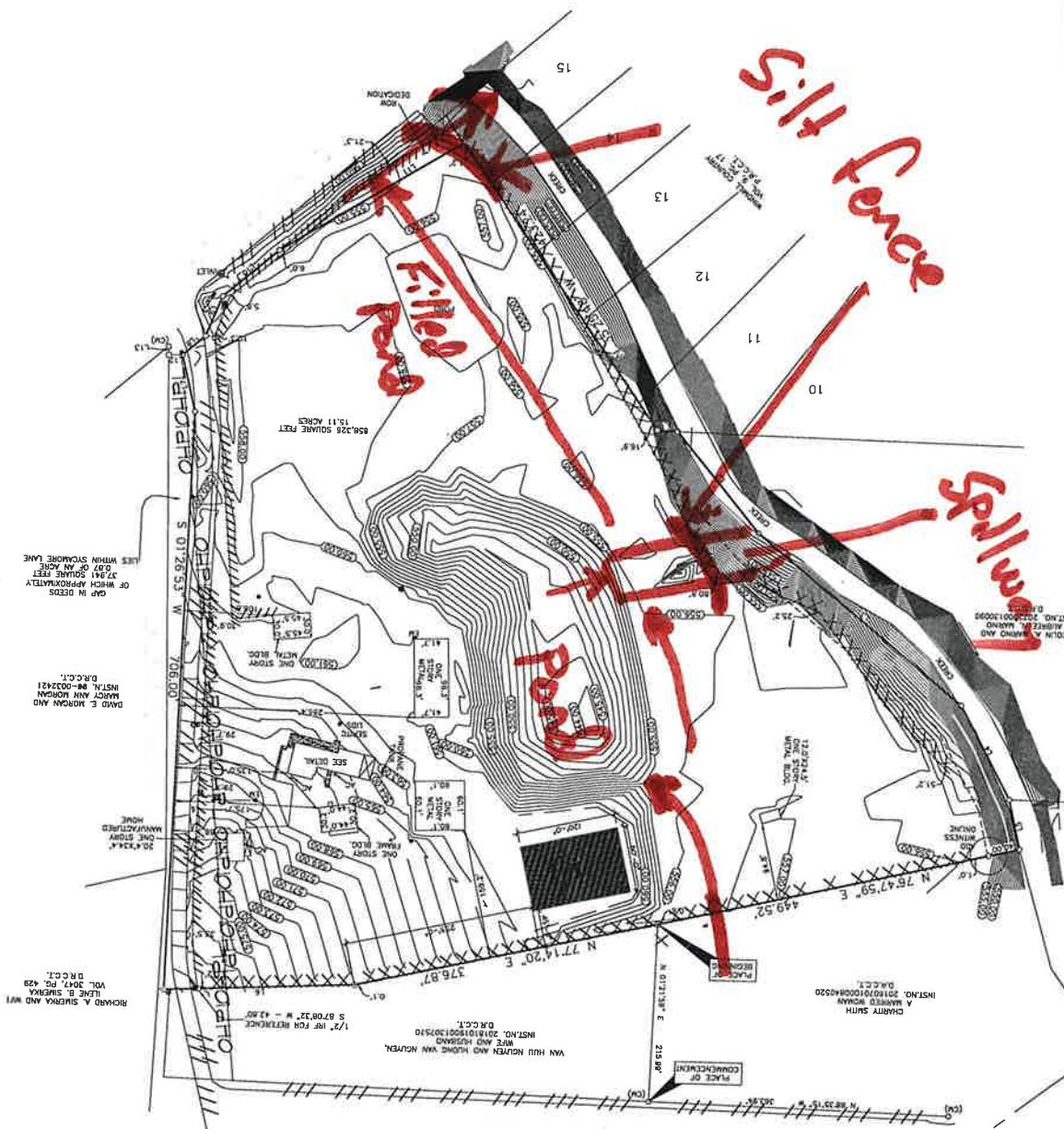
**Setbacks ≥ 40' from property  
≥ 100' from house**



# HORSE RANCH ARENA SITE PLAN THE MARINO FAMILY

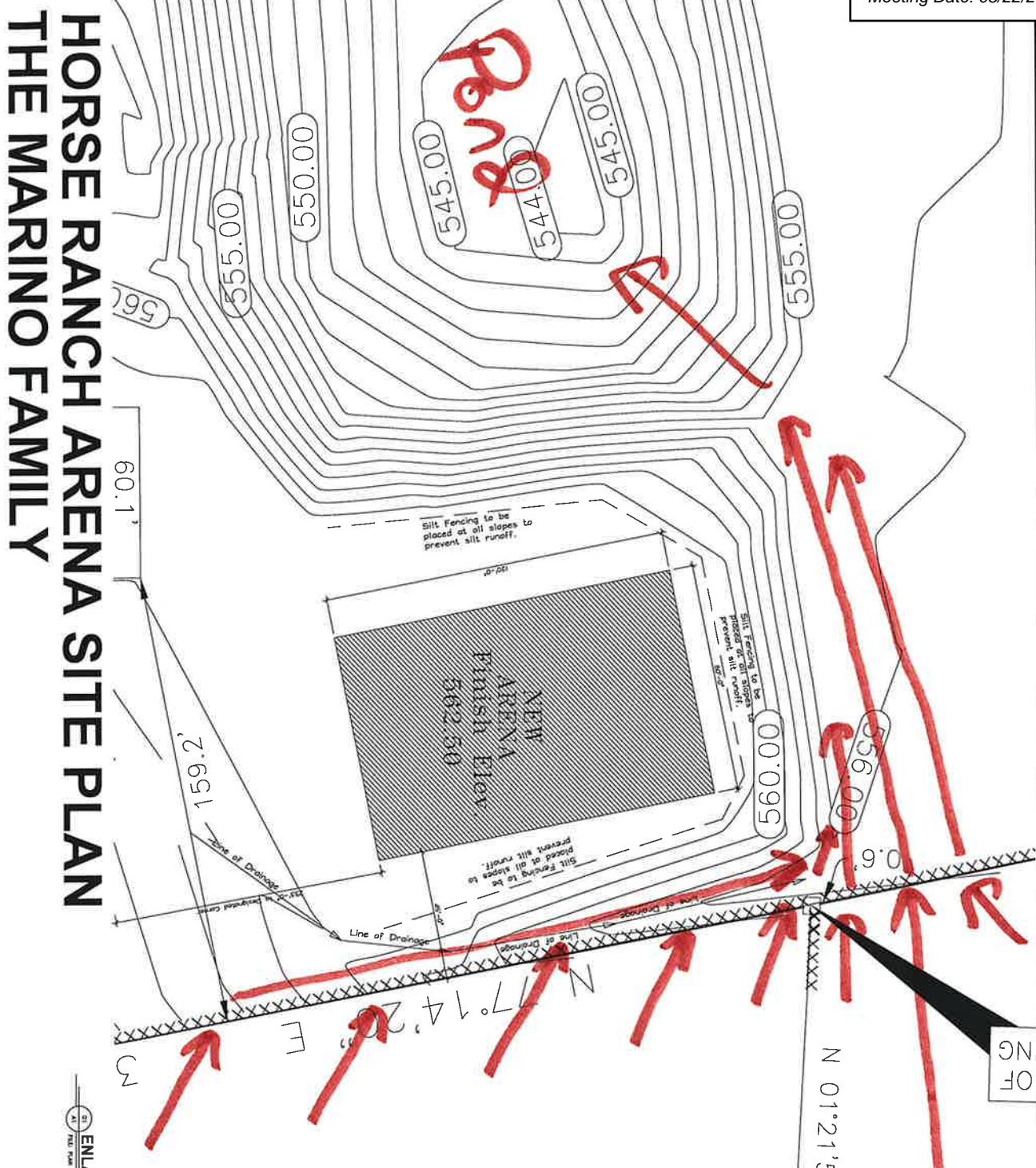
ARENA SITE PLAN  
SHEET A1.0

HORSE RANCH MASTER PLAN  
for  
THE MARINO FAMILY



Erosion Control

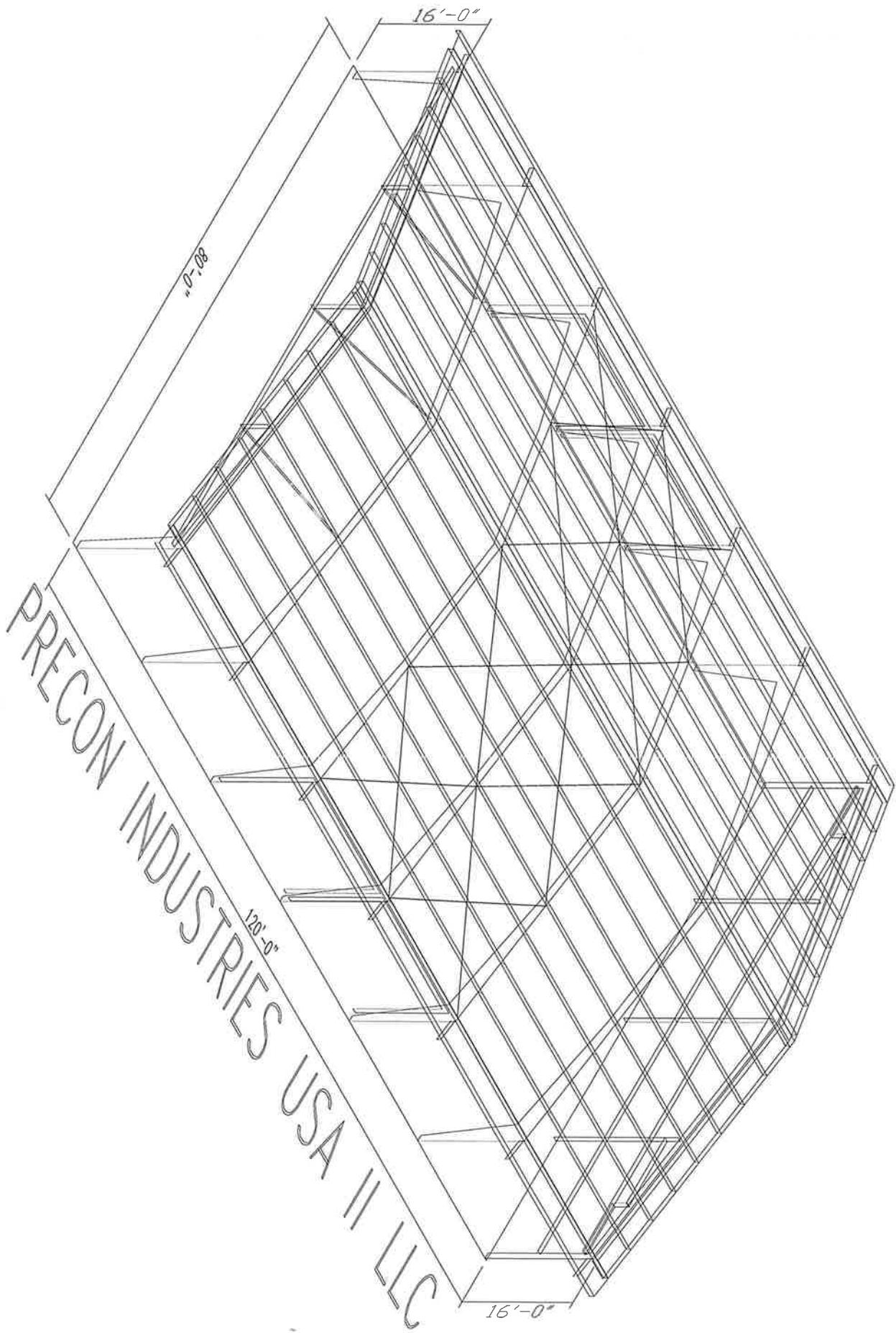
Water Flow

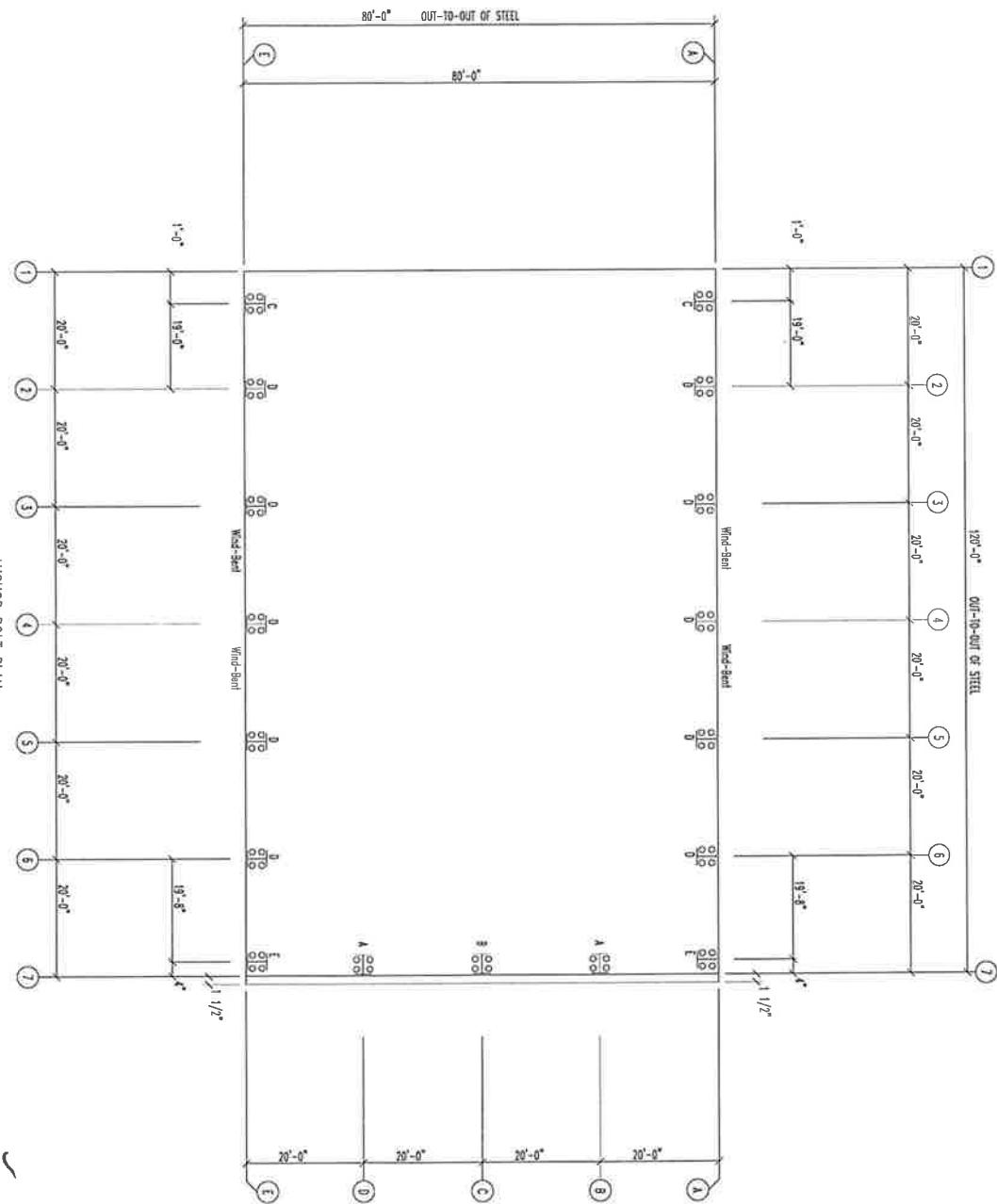




General Concept pic



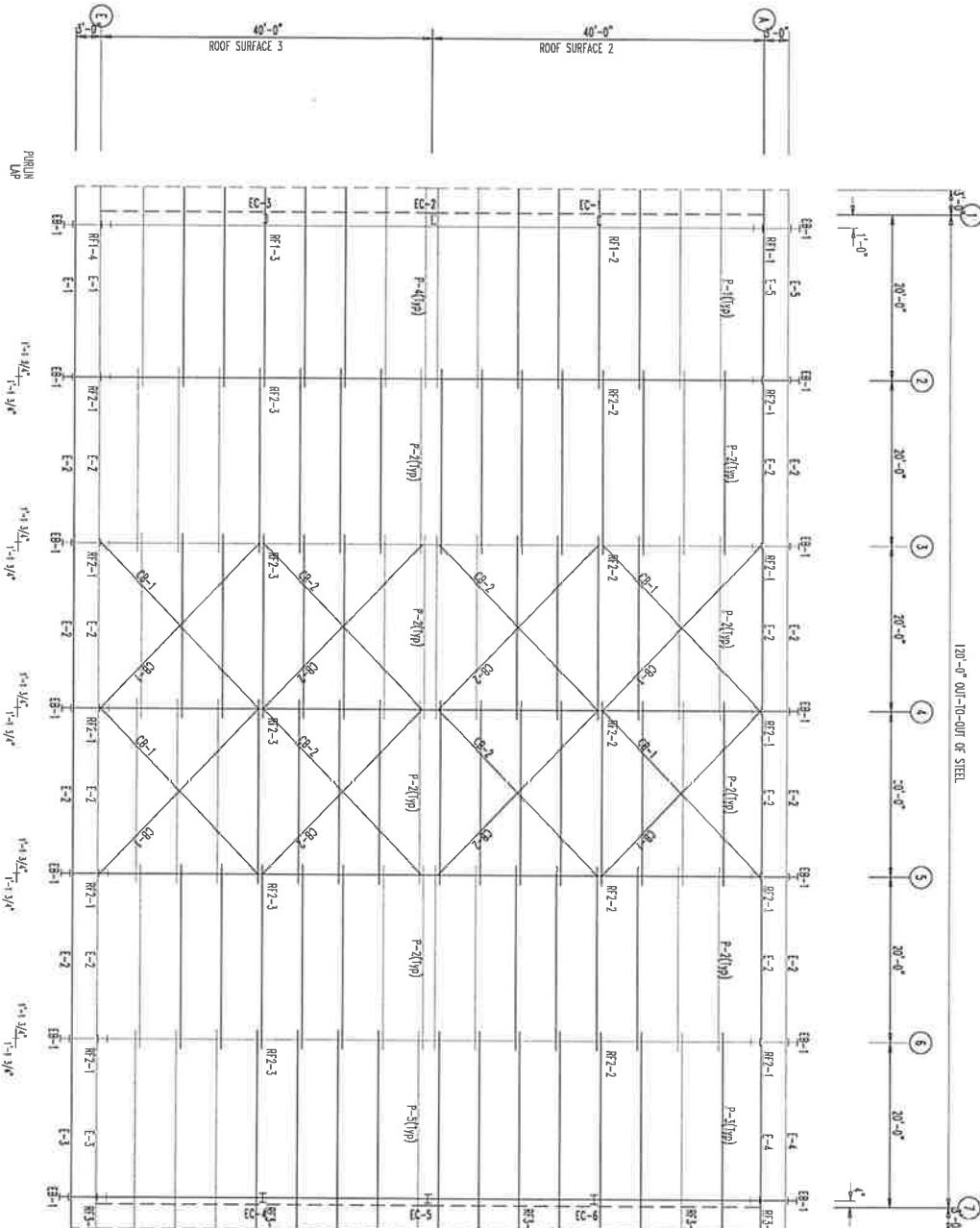




**ANCHOR BOLT PLAN**  
NOTE: All Base Plates @ 100'-0" (U.N.)

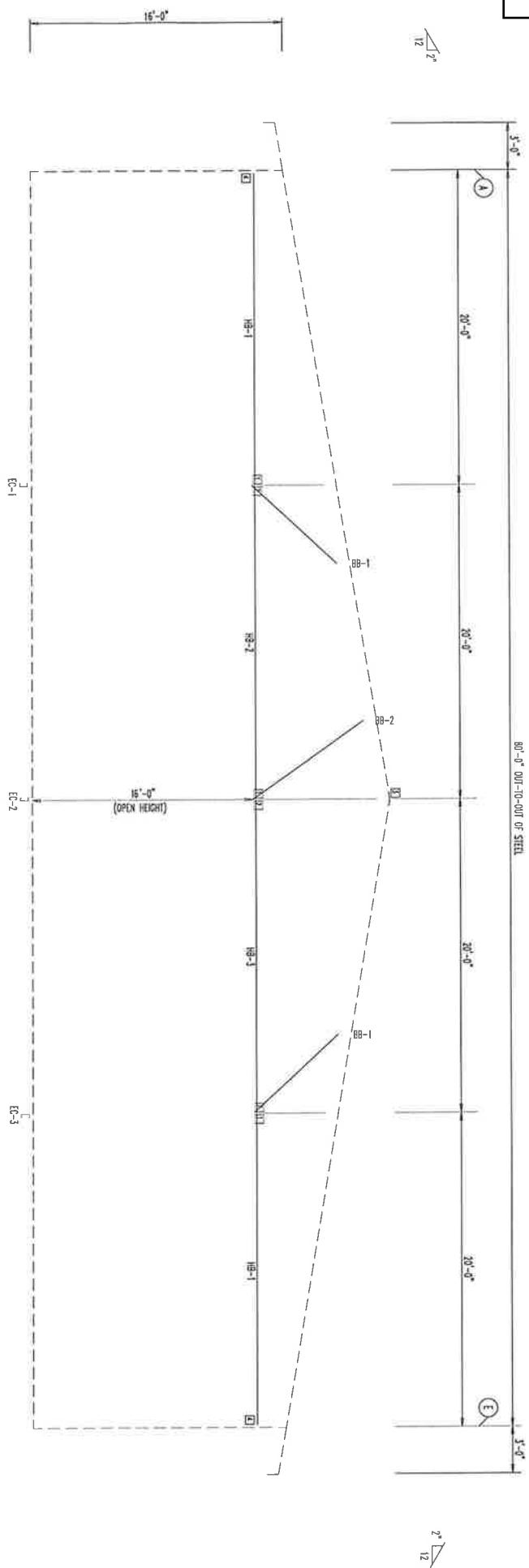


DESCRIPTION: ANCHOR BOLT PLAN						
CUSTOMER: CUNNINGHAM STEEL			PROJECT: ALLEN BUILDING			
LOCATION: ALLEN, TX	DES. BY: CKD BY: FL	DATE: 9/28/23	SCALE: N.T.S.	REV. 00	PROJECT NO. 23-Q-5560	SHEET NO. OF 1



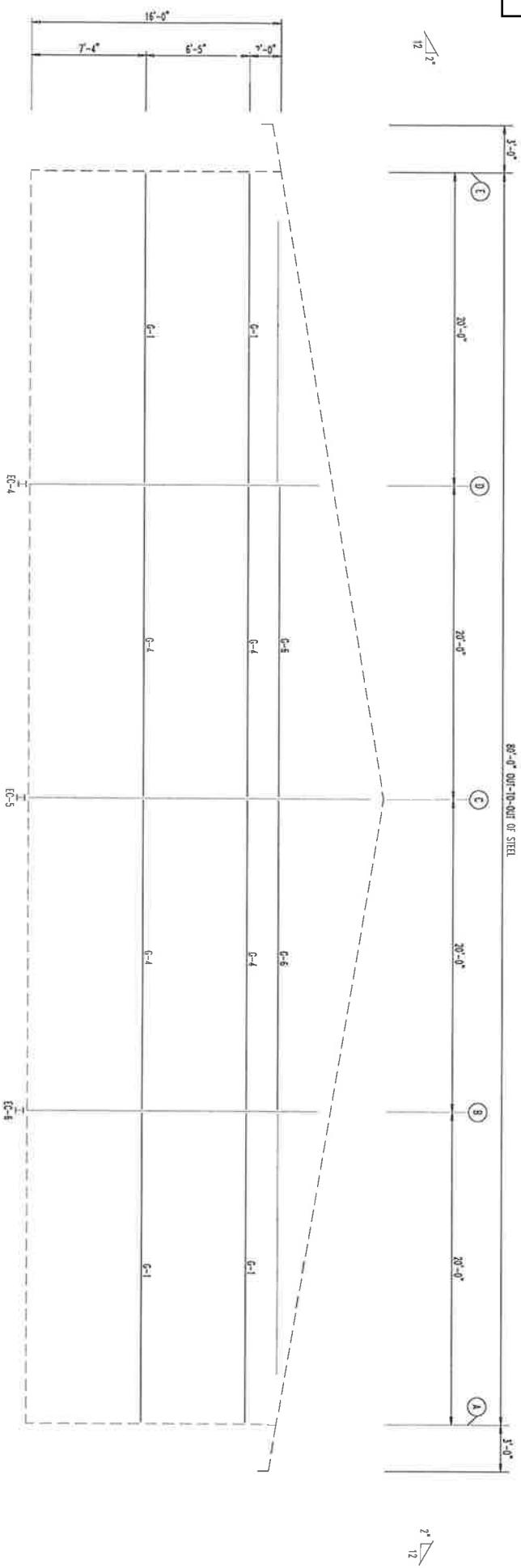
## ROOF FRAMING PLAN





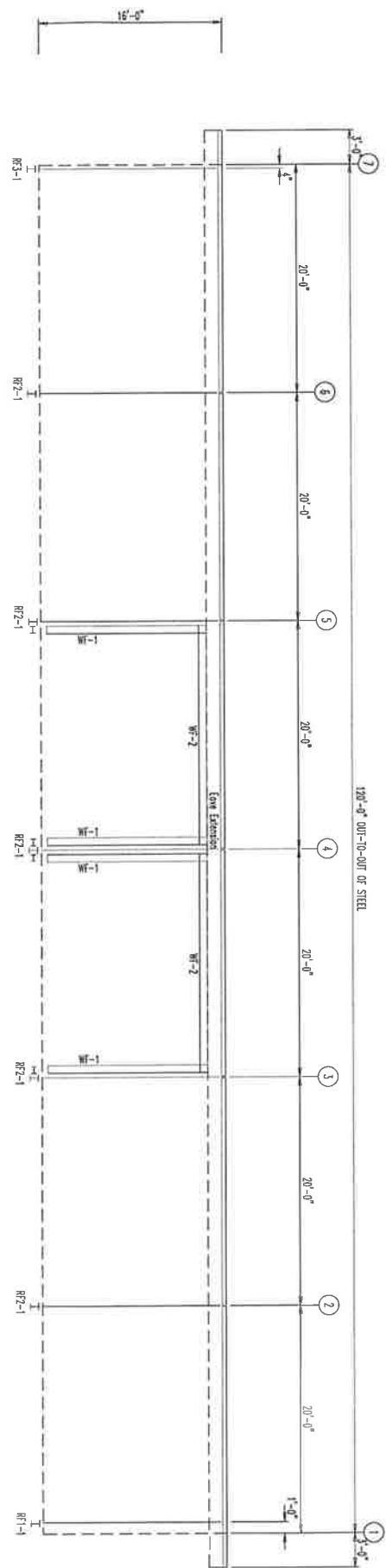
ENDWALL FRAMING: FRAME LINE 1



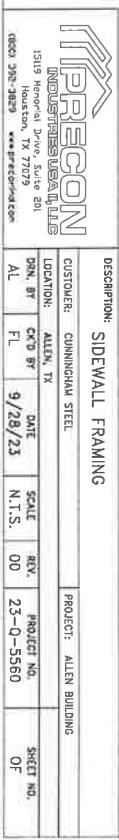


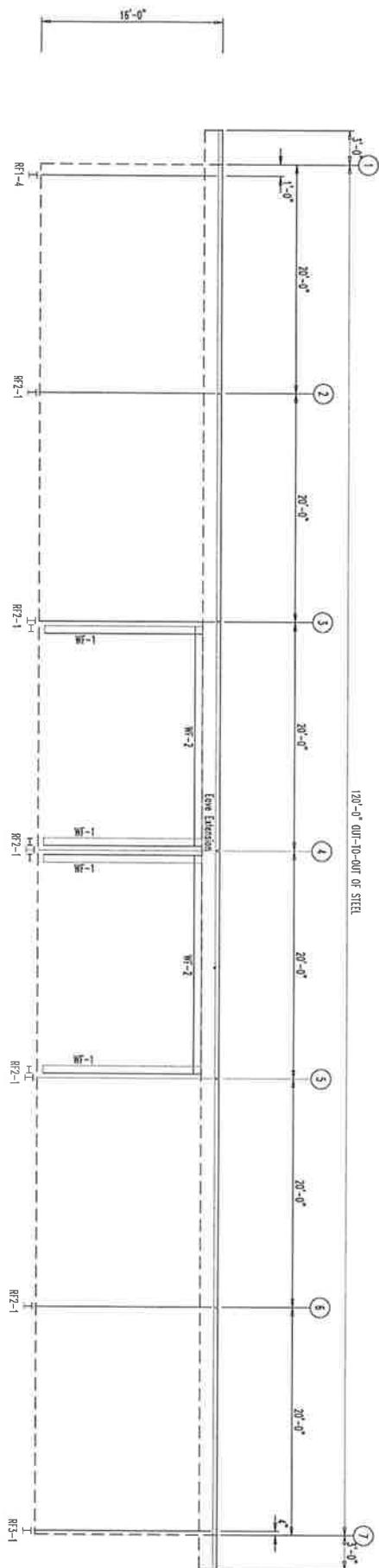
## ENDWALL FRAMING: FRAME LINE 7





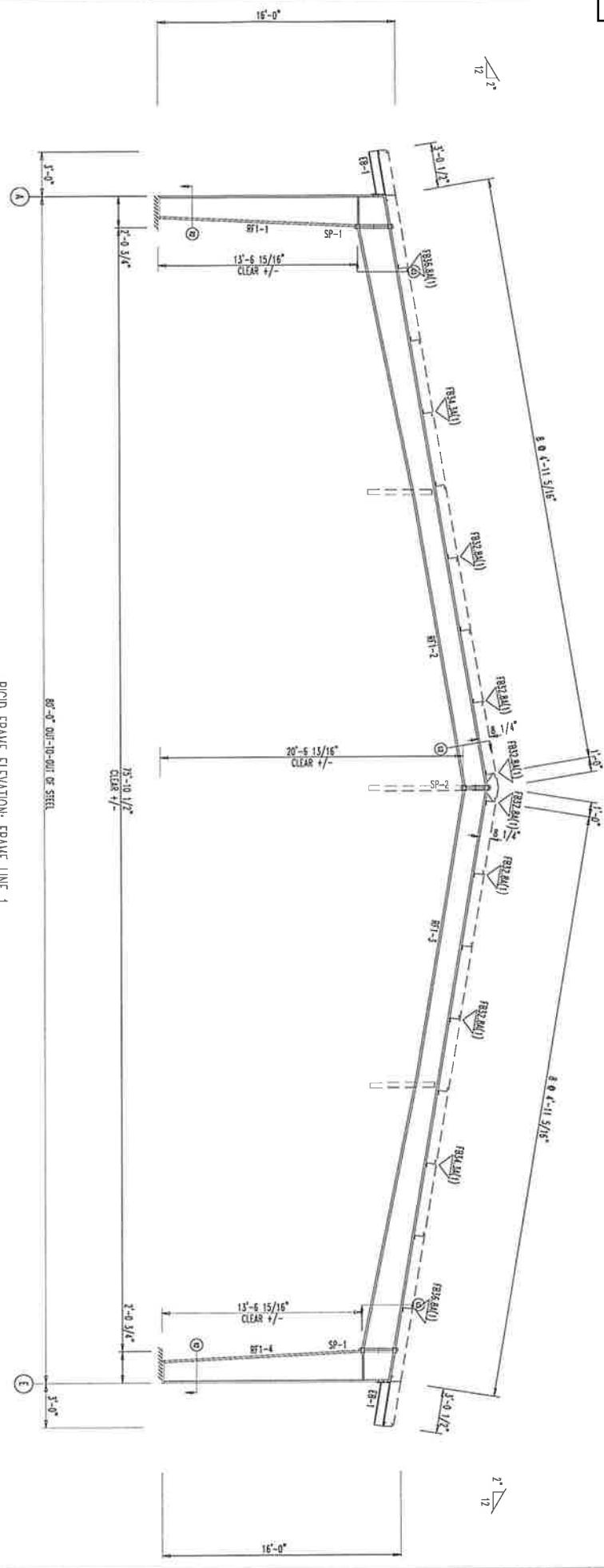
## SIDEWALL FRAMING: FRAME LINE A

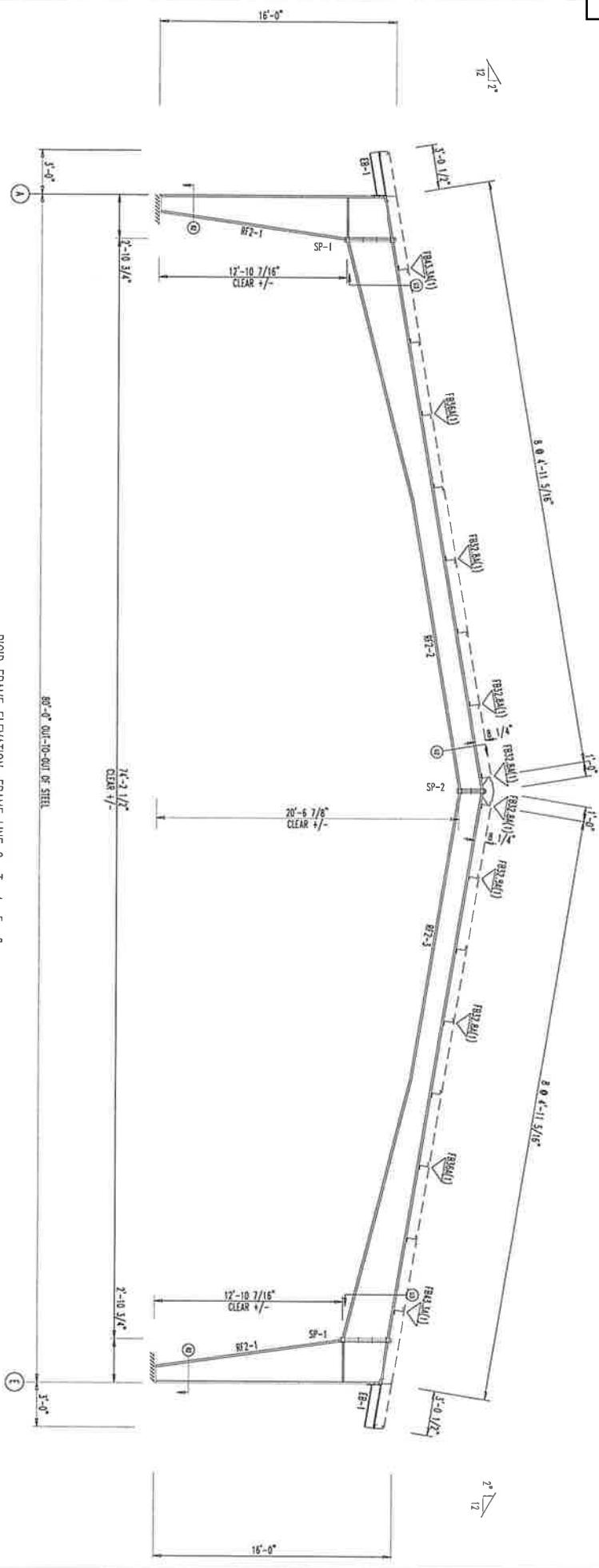




DESCRIPTION:		SIDEWALL FRAMING	
CUSTOMER:	CUNNINGHAM STEEL	PROJECT:	ALLEN BUILDING
LOCATION:	ALLEN, TX		
DRN. BY:	CKO BY	DATE:	SCALE:
AL	FL	9/28/23	REV.:
		N.T.S.	PROJECT NO.:
		00	23-Q-5560
			SHEET NO. OF
			36

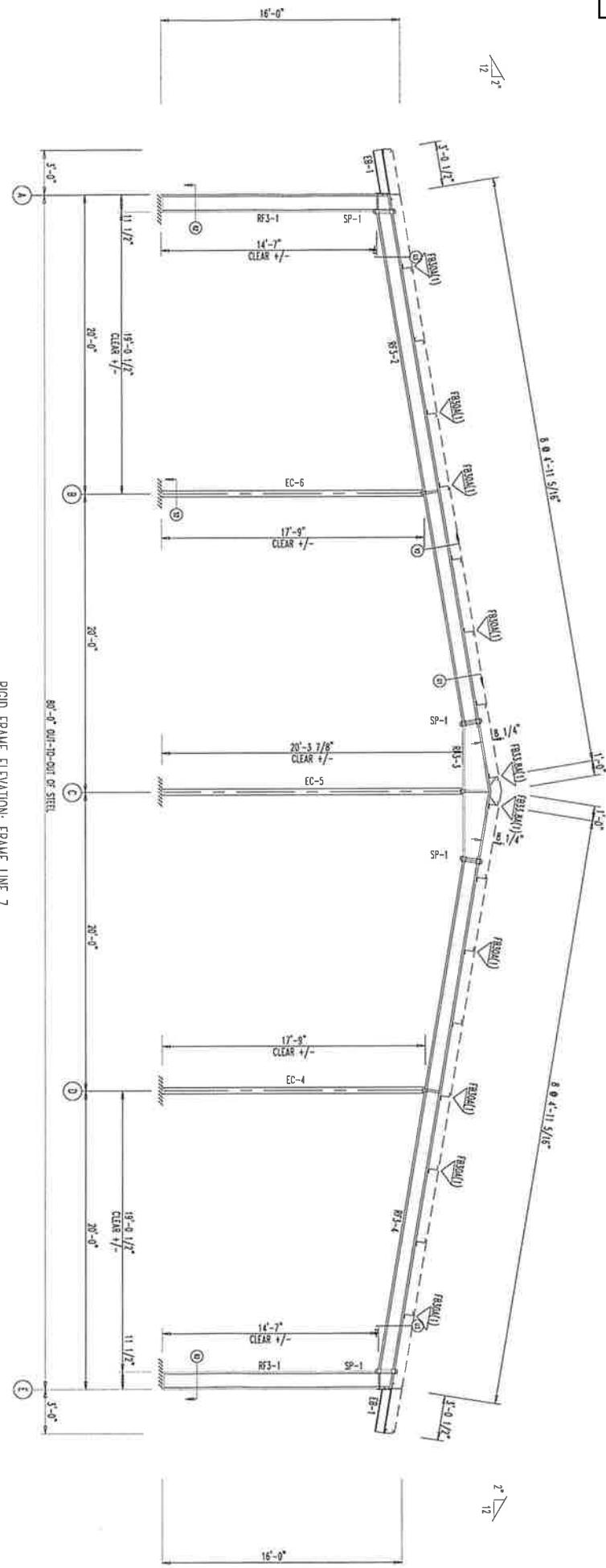
PRECONE  
STRUCTURAL ENGINEERS  
1513 Memorial Drive, Suite 200  
Houston, TX 77029  
(800) 332-3829 [www.preccon.com](http://www.preccon.com)





RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5 6

PRECON INDUSTRIES USA LLC		DESCRIPTION: RIGID FRAME ELEVATION		PROJECT: ALLEN BUILDING	
CUSTOMER: CUNNINGHAM STEEL					
LOCATION: ALLEN, TX					
DRN. BY	CHG. BY	DATE	SCALE	REV.	PROJECT NO.
AL	FL	9/28/2023	N.I.S.	00	23-Q-5560
				SHEET NO. OF	



RIGID FRAME ELEVATION: FRAME LINE ↴



# Pier Engineering

Meeting Date: 08/22/2024 Item 1.



ARIZONA CIVIL P.E. #37456  
OKLAHOMA P.E. CIVIL #20016  
NEW MEXICO P.E. CIVIL #10971  
NCEES #18766

GREGORY P. WILSON, PH.D., P.E., M.ASCE  
THE WILSON GEOTECHNICAL GROUP, LLC  
TEXAS CIVIL P.E. # 86544 • TEXAS FIRM #10720  
REGISTERED PROFESSIONAL CIVIL ENGINEER

10/11/2023

## EXECUTIVE SUMMARY

### Methodology for Design of Drilled Piers

**Owner:** Mr. Colin Marino  
**Address:** 3901 Sycamore Ln, Parker, TX  
**Geotechnical Investigation:** Prepared by Feather Engineers dated: 7/25/2023.  
Metal Building Design and Fabrication: by PRECON Industries, LLC  
and Cunningham Steel, Paris, TX

**Design of Drilled Piers:** Dr. Gregory P. Wilson, PE  
Owner and Chief Engineer  
The Wilson Geotechnical Group, LLC  
Sulphur Springs, TX 75482  
*TX PE #86544 TBPE FIRM REGISTRATION # 10720*

### **Design Summary:**

The Drilled Piers for this project were design specifically to resist the following types of loads\*\*\*:

1. Gravity
2. Wind
3. Uplift
4. Skin friction
5. End bearing
6. Movement of existing phreatic surfaces
7. Possible need to case shaft due to existing phreatic surface

### **\*\*\*Loads:**

No design loads were available from the pre-engineered metal building manufacturer. As such, The Wilson Geotechnical Group, LLC (Engineer-of-Record) estimated all required loadings from experience with similar structures and the design of their drilled piers. Estimated loads were quite conservative, however the final configuration of the drilled piers will carry the required loads safely as shown on the attached "Drilled Pier Analysis (Bored Pile)" document.

119 CODY CIRCLE N • SULPHUR SPRINGS, TEXAS 75482 • 903-243-8110  
DRGPWILSON4@GMAIL.COM

Page 2

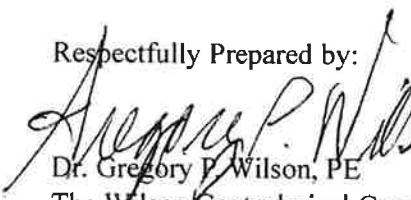
## DRILLED PIER ANALYSES

Piers will bear into 2 layers of very stiff clays (CH's), a single layer of lean clay (CL) with a phreatic surface located at a depth of 9 ft., and ultimate bear on a layer of limestone located at a depth of approximately 12 – 15 ft based on boring logs. Piers are to bear on this material when encountered if less than 20 ft. Bore into limestone a minimum of 1.5 ft. to allow piers to bear to bear into this "socket."

Anticipated loads of lateral load (shear), moment, vertical, and uplift due to wind and groundwater have been considered in the final design of the piers with a F.S on torsional moment of 3.3. The shaft is vertical with no bell. The pier diameter is 1.5 ft with concrete of  $f'_c = 3,500$  psi. The design of the concrete was taken as "uncracked" with an allowable lateral deflection of the piers to be 0.5".

Engineer-of-Record is to be contacted immediately by phone if any type of geotechnical problem is encountered to determine a path forward to limit delays. A site visit may be necessary be certainly possible given the nature of the problem.

It is to be noted that the location of the phreatic surface at approximately 8-9 ft is within the required length of the piles which may generate the need to case the boring depending upon the strength of the clay material into which the piles are placed. Engineer-of-Record is to be contacted regarding this potential requirement if problems are encountered during the drilling process.

Respectfully Prepared by:  
  
 Dr. Gregory P. Wilson, PE  
 The Wilson Geotechnical Group



STATE OF TEXAS  
 GREGORY PAUL WILSON  
 LIC 86544  
 LICENSED PROFESSIONAL ENGINEER

## DRILLED PIER DESIGN AND ANALYSES

# Drilled Pier Analysis (Bored Pile)

Meeting Date: 08/22/2024 Item 1.

Organization: **COLIN MARINO**  
 Project Name: **DRILLED PIER DESIGN FOR**  
 Job #: **2023.063.001**  
 Design by: **GPW**  
 Date: **October 11, 2023**

## INPUT DATA

### Loading and Geometry

Units	English	Pier Length	20.00 ft
Top of Pier Condition	Free Head	Lateral Load (Shear)	5.00 kips
Passive Wedge	2.5	Moment Load	10.00 kip-ft
Pier Diameter	1.50 ft	Vertical Load	20.00 kips
Torsional Moment	5.00 kip-ft	Uplift Load	11.30 kips
Conc. Strength (f <sub>c</sub> )	3500 psi	Groundwater Depth	8.00 ft
F.S. Skin Friction	2.0	F.S. Torsional Moment	3.3
Shaft Type	Vertical • Belled	Cracked	Uncracked • 50% cracked
		Allow. Lateral Defl.	0.50 in

### Geotechnical Properties

Lyr #	Material Type	USCS	Layer Thick, ft	Consistency	Lat. S.G, kcf	Ult. Sk. Fr, psf	K <sub>p</sub>	F.S. on K <sub>p</sub>	Cohesion, ksf	Gamma, pcf	Phi, Deg
1	Cohesive Soil	CH	5.5 0 - 5.5	Very Stiff	250.0- 250.0	1000	2.50	1.25	1.00	115.0	8.00
2	Cohesive Soil	CL	2.5 5.5 - 8	Very Stiff	250.0- 250.0	1000	2.50	1.25	1.00	115.0	8.00
3	Cohesive Soil	CL	3.0 8 - 11	Very Stiff	250.0- 200.0	1000	2.50	1.25	1.00	115.0	8.00
4	Lime Stone Bedrock	Bedrock5	9.0 11 - 20	Dense	200.0- 400.0	1200	2.50	1.25	1.00	120.0	25.00

### Results

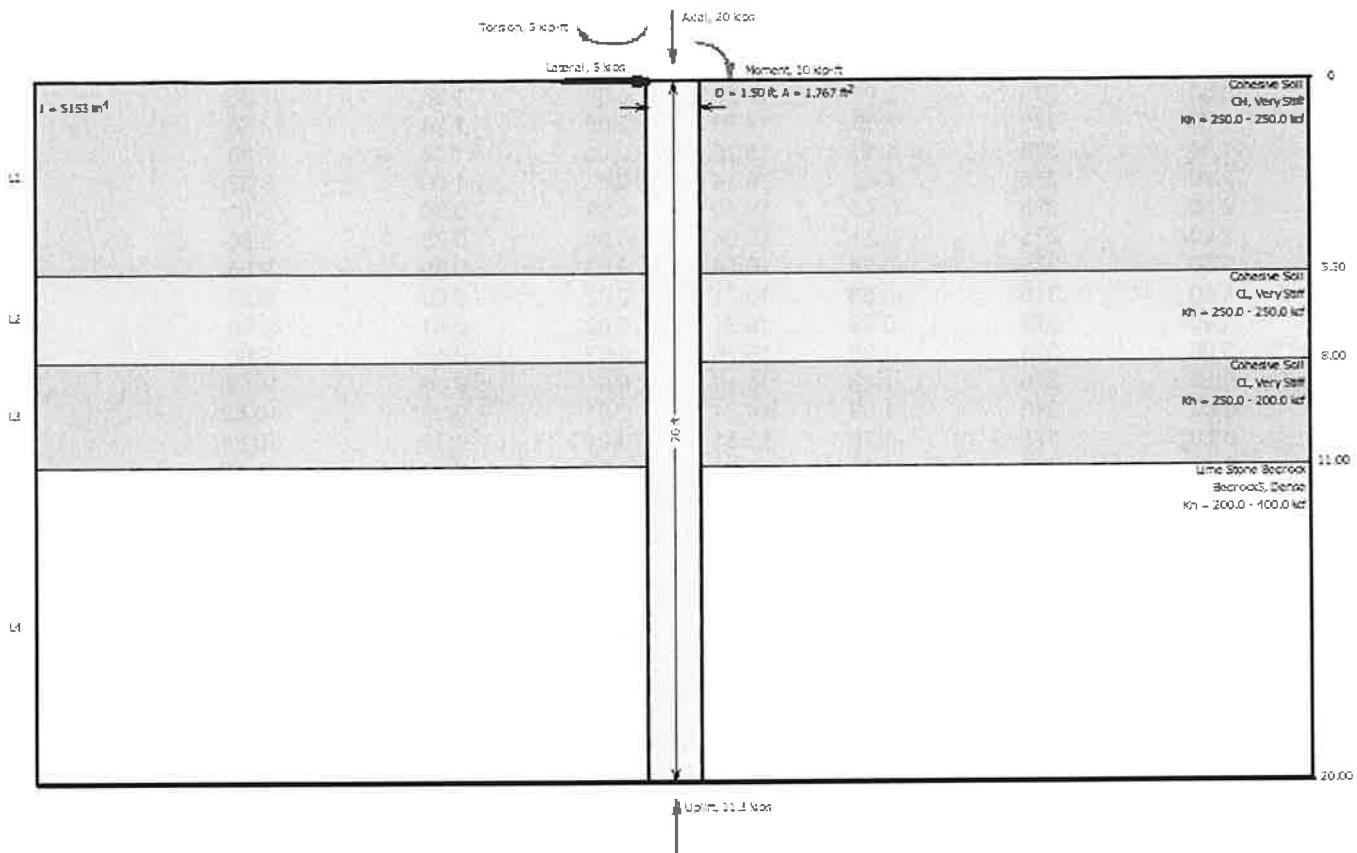
Conc. Elast. Modulus	3372 ksi	Conc. Strength (f <sub>c</sub> )	3500 psi
Cross Section Area	254.5 in <sup>2</sup>	Section Modulus	572.6 in <sup>3</sup>
Allowable Geot. Torsion	72.9 k-ft	Moment of Inertia	5153 in <sup>4</sup>

### Allowable Structural Capacities

Axial Compression	471.9 kips	Maximum Deflection is 0.07 in at 0.00 ft (< 0.50 in)
Axial Tension	-142.6 kips	Maximum Moment is 16.94 k-ft at 3.00 ft
Torsional Moment	24.8 k-ft	Maximum Shear is 5.00 kips at 0.00 ft
Bending Moment (#1)	81 k-ft	Pier Tip Movement is 0.00 in at the bottom (20.00 ft)

### Allowable Geotechnical Capacities

Total Vert. Settlement	0.03 in	Axial Compression	48.9 kips
due to El. Shortening	0.00 in	Axial Tension	-24.4 kips
due to Side Friction	0.03 in	Torsional Moment	72.9 k-ft
due to End Bearing	0.00 in		



Codes: ACI 318-19, IBC 2018

#### NOTES:

1. Downdrag is a function of skin friction. If the user inputs a side friction of zero (designed for end bearing only), Downdrag will not be calculated by the program. Therefore, the user should independently calculate the Negative Skin Friction or Downdrag magnitude by other means.
2. The user shall ensure Positive side friction capacity + end bearing capacity (Geotechnical Axial Compression) exceeds axial load plus downdrag force (all service level). This may require additional pier embedment.
3. In reinforcement design,  $P_u$  shall equal to 1.2(Dead Load) plus 1.6 (Live Load + Downdrag Load). These load factors may vary with time and governing code.
4. Vertical downward load (service level) shall include the self weight of the pier. Additional 15% settlement may occur due to creep.

**Lateral Table**

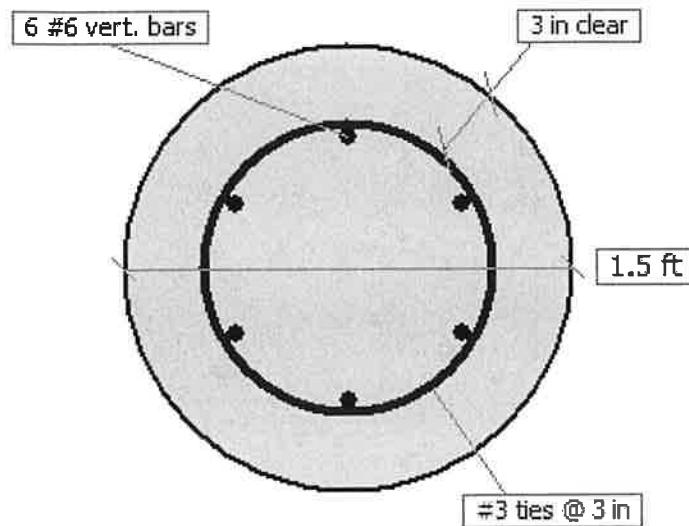
Node #	Depth, ft	Soil Modulus, ksf	Shear, kips	Moment, kip-ft	Deflection, in	Lat. Soil Pr, k/ft^2	Allow. Soil Pr, k/ft^2
1	0.00	375	5.00	10.00	0.07	1.48	7.07
2	0.50	375	3.94	12.23	0.06	1.36	7.36
3	1.00	375	3.00	13.96	0.06	1.24	7.65
4	1.50	375	2.16	15.25	0.05	1.12	7.93
5	2.00	375	1.43	16.14	0.04	1.00	8.22
6	2.50	375	0.78	16.69	0.04	0.89	8.51
7	3.00	375	0.23	16.94	0.03	0.79	8.80
8	3.50	375	-0.24	16.94	0.03	0.69	9.08
9	4.00	375	-0.63	16.71	0.02	0.60	9.37
10	4.50	375	-0.96	16.31	0.02	0.51	9.66
11	5.00	375	-1.23	15.76	0.02	0.43	9.95
12	5.50	375	-1.43	15.10	0.01	0.36	10.23
13	6.00	375	-1.59	14.34	0.01	0.29	10.52
14	6.50	375	-1.70	13.51	0.01	0.23	10.81
15	7.00	375	-1.78	12.64	0.00	0.18	11.10
16	7.50	375	-1.82	11.74	0.00	0.13	11.38
17	8.00	375	-1.83	10.83	0.00	0.09	11.67
18	8.50	363	-1.81	10.11	0.00	0.06	11.96
19	9.00	350	-1.78	9.41	0.00	0.03	12.25
20	9.50	338	-1.73	8.75	0.00	0.01	12.53
21	10.00	325	-1.68	8.11	0.00	-0.01	12.82
22	10.50	313	-1.62	7.51	-0.01	-0.03	13.11
23	11.00	300	-1.56	6.94	-0.01	-0.04	13.67
24	11.50	317	-1.47	5.89	-0.01	-0.06	13.97
25	12.00	333	-1.36	4.91	-0.01	-0.07	14.27
26	12.50	350	-1.24	4.02	-0.01	-0.09	14.57
27	13.00	367	-1.12	3.22	-0.01	-0.09	14.87
28	13.50	383	-1.00	2.50	-0.01	-0.10	15.17
29	14.00	400	-0.88	1.87	-0.01	-0.10	15.47
30	14.50	417	-0.76	1.33	-0.01	-0.10	15.77
31	15.00	433	-0.65	0.87	0.00	-0.10	16.07
32	15.50	450	-0.54	0.48	0.00	-0.10	16.37
33	16.00	467	-0.44	0.15	0.00	-0.09	16.67
34	16.50	483	-0.35	-0.10	0.00	-0.08	16.97
35	17.00	500	-0.27	-0.31	0.00	-0.08	17.27
36	17.50	517	-0.20	-0.46	0.00	-0.07	17.57
37	18.00	533	-0.14	-0.57	0.00	-0.06	17.87
38	18.50	550	-0.09	-0.64	0.00	-0.05	18.17
39	19.00	567	-0.04	-0.68	0.00	-0.05	18.47
40	19.50	583	-0.01	-0.69	0.00	-0.04	18.77
41	20.00	600	0.02	-0.68	0.00	-0.03	19.07

**Axial Table**

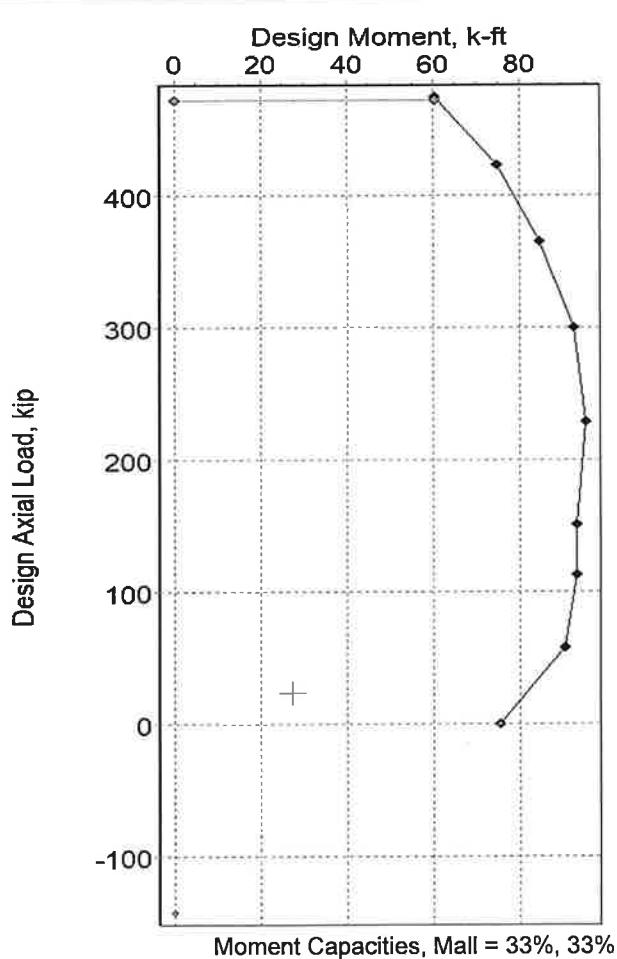
Layer #	Depth, ft	Unit wt, pcf	Tot. Stress, psf	Porewater, psf	Skin Fric, psf	TSA Sk.Fr, kips
1	0.00 - 5.50	115.00	632.50	0.00	1000	18.8
2	5.50 - 8.00	115.00	920.00	0.00	1000	11.8
3	8.00 - 11.00	115.00	1265.00	187.26	1000	14.1
4	11.00 - 20.00	120.00	2345.00	749.04	1200	42.4

Layer #	Fr. Ang, Deg	Neg.Sk.	Downdrag, kip	Beta	Geo. Tors. Cap, kip-ft
1	8.00	No	0.00	0.55	16.20
2	8.00	No	0.00	0.55	7.36
3	8.00	No	0.00	0.55	8.84
4	25.00	No	0.00	0.70	40.48

## Reinforcement

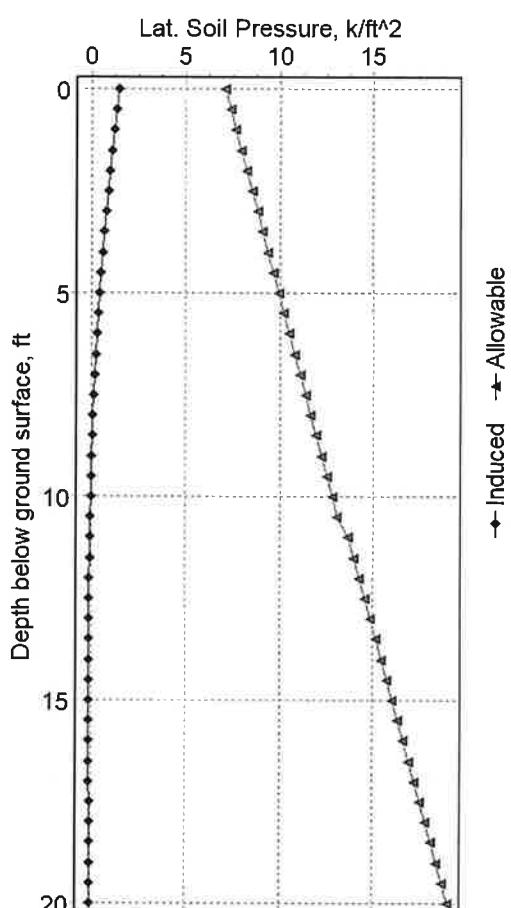
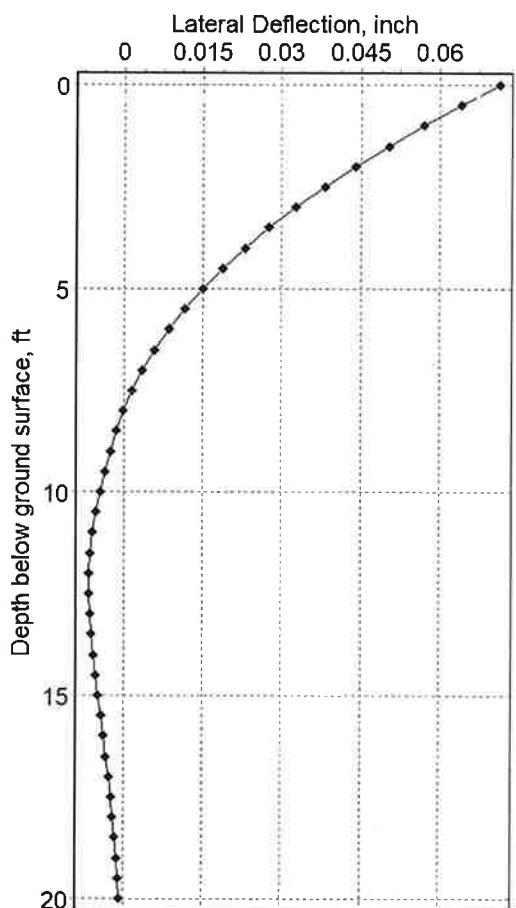
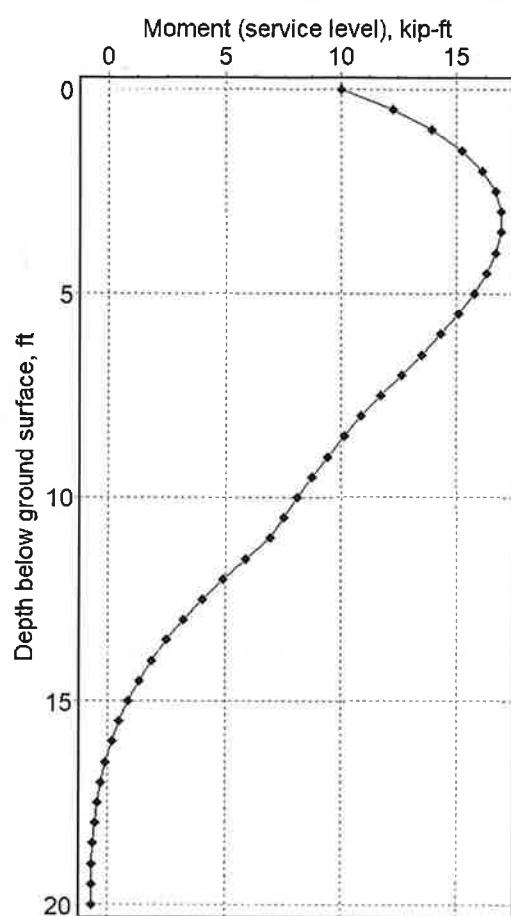
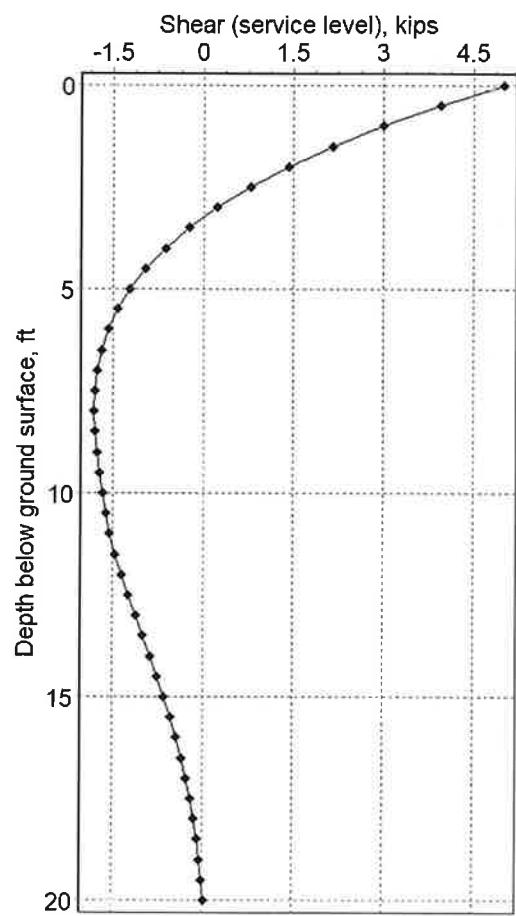


## Column Interaction Diagram



### NOTES:

1. If Torsional Moments are included, an additional check shall be made for concrete breakout due to shear directed parallel to the edge of anchors. Concrete Anchorage Breakout may govern.
2. If Torsional Moments are included in addition to Lateral Loads, Lateral capacity shall be reduced by 40% if Torsional Moment Load/Lateral Load ratio (TML/LL) is 15 and unaffected if TML/LL ratio is 7.5 or less. You may interpolate linearly for TML/LL ratio between 7.5 to 15. See Report # 4910-4504-723-12 by The University of Florida, April, 2003, available online.



**DRILLED PIER UPLIFT ANALYSES**

Owner: C. Marino

**Pier Uplift in Expansive Soils**

10/25/2023 Input values

**INPUT**

Pier Diameter, B  
 Pier radius, r  
 uplift Coef. @ Soil-pier,f  
 swelling pressure, u  
 Pier Embedment, D  
 Unaffected Zone, d  
 Wetting Zone, D-d  
 Allow. Skin Friction, s  
 Loading from Structure  
 Spacing of Piers, c-c

**Calculated Values**

1.500	ft		
0.75	ft		
0.15	fixed value from research		
2000.00	psf	ESTIMATED	
20.00	ft	NOTE: VARIATION IN DEPTH OF PHREATIC SURFACE	
10.00	ft		
10.00	ft		
750.00	psf (400-1000)	ALLOW	CHECK GEO REPORT FOR ACCUR
10.00	kip/ft		
20.00	ft		TAKE FROM MARINO DWGS.

**RESULTS**

Wt. of Pier(net), Dpier

1.06 kips

**REFERENCE:**

Foundation Design in Expansive Soils, 2nd Ed.

End Area of Pier, A

1.77 ft^2

F.H. Chen, 1988, Elsevier Sceince Publishers

unit dead load press., p

114237 psf

Prepared by Mr. Liiban Afifi, PE

Uplift Load, U

14.14 kips

checked by dr. Gregory P.Wilson, PE for this project.

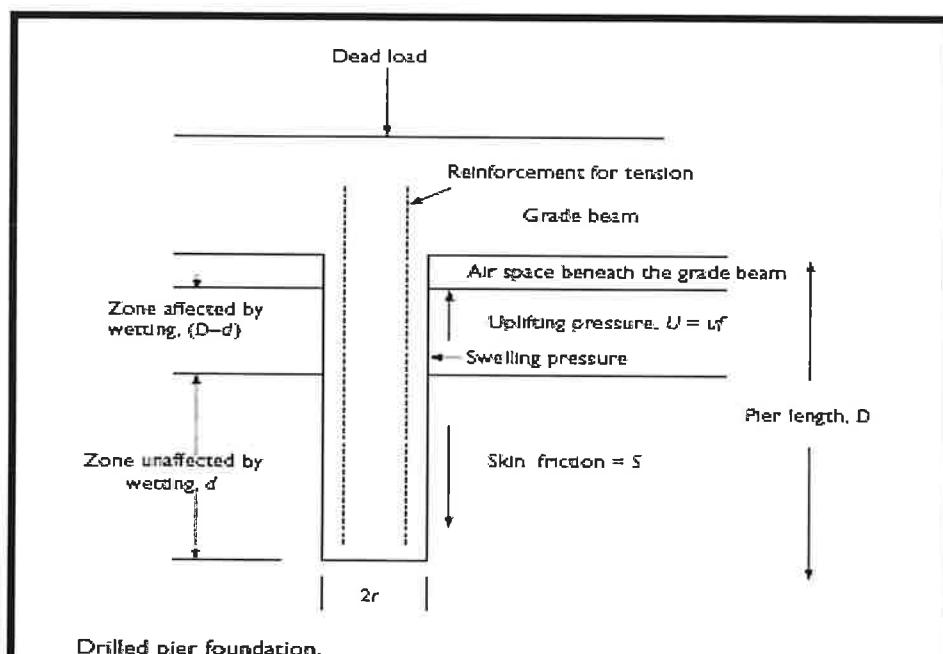
Withholding Force, W  
(Resisting Uplift)

237.22 kips

F.S. against Uplift

16.78 &gt;1.50

O.K.

**FS MUST BE > 1.5)****COMMENT ON PROJECT:**

## References:

1. "Analytical and Computer Methods in Foundation Engineering", J.E. Bowles, 1974
2. "Pile Foundation Analysis and Design", Poulos & Davis, 1980.
3. "Foundation Analysis", R.F. Scott, 1981
4. "Soil Mechanics in Engineering Practice", 2nd Ed, Terzaghi & Peck, 1967.
5. "Foundation Analysis and Design", 5th Ed., J.E. Bowles, 1996
6. "Foundation Design: Principles & Practices", 3rd Ed., Coduto, Kitch and Yeung, 2015
7. "Roark's Formulas for Stress and Strain", 7th Ed., W.C. Young & R.G. Budynas, 2002
8. "Engineering Design in Geotechnics" , 2nd Ed., F. Azizi, 2013
9. "Pile Design & Construction", Tomlinson & Woodward, 5th ed, 2007.
10. "Advanced Foundation Engineering" V.N.S. Murthy, 2007
11. "AS 2159-2009, Piling-Design and Installation", Standards Australia, 2009
12. "Foundations and Earth Retaining Structures" M. Budhu, 2008
13. "Contemporary Topics in Deep Foundations", GSP 185, ASCE, 2009
14. "Single Piles and Pile Groups Under Lateral Loading", 2nd Ed., L.C. Reese & W.F. Van Impe, 2011
15. "Design of Concrete Structures, A23.3-2014", CSA Group, 2014
16. "Load Testing of Deep Foundations", C. Crowther, 1988
17. "GeoSupport 2004", GSP 124, ASCE, 2004
18. "Design and Construction of Drilled Piers", American Concrete Institute 336.3R, 2006
19. "Drilled Shafts: Construction Procedures and LRFD Design Methods", FHWA-NHI, 2010
20. "Drilled Shafts-Student Workbook", L.C. Reese & M.W. O'Neil, NHI Course 13214, 1988
21. "Handbook of Soil Mechanics", A. Kezdi & L. Rethati, Vol. 3 & 4, 1990
22. "Building Code Requirements for Structural Concrete", ACI 318-19
23. "Reinforced Concrete Structures- Analysis & Design", D.A. Fanella, 2011
24. "Determine Optimum Depths of Drilled Shafts Subject to Combined Torsion and Lateral Loads Using Centrifuge Testing", University of Florida Report # 4910-4504-723-12, April 2003.
25. "Geotechnical Engineering: Unsaturated & Saturated Soils", Jean-Louis Briaud, 2013
26. "Pile Downdrag During Construction of Two Bridge Abutments", Brian K. Sears, 2008
27. 2021 International Building Code
28. Drilled Pier v2.0.3 Software by SoilStructure.com, 2023

## Order Confirmation / Invoice

**Customer:** CITY OF PARKER  
**Ad Order #:** 0001874263  
**Sales Rep:** David Ferster

**Customer Account:** 100069579  
**PO Number:**  
**Order Taker:** David Ferster

<b>Net Amount:</b>	\$288.00	<b>Tax Amount:</b>	\$0.00	<b>Total Amount:</b>	\$288.00
<b>Payment Method:</b>	Check/Money Order	<b>Payment Amount:</b>	\$0.00	<b>Amount Due:</b>	<b>\$288.00</b>

**Ad Order #:** 0001874263

**Ad Number:** 0001874263-01

**Color:** Ad Size: 2 X 28.00 Li

**Ad Content**

NOTICE OF PUBLIC HEARING  
 THE PLANNING AND ZONING  
 COMMISSION FOR THE CITY OF PARKER  
 WILL HOLD A PUBLIC HEARING ON  
 THURSDAY, AUGUST 22, 2024 AT 5:00 P.M.  
 THE HEARING WILL BE HELD AT  
 PARKER CITY HALL, 5700 E. PARKER  
 ROAD, PARKER, TEXAS 75002.  
 THE PURPOSE OF THIS HEARING WILL  
 BE TO CONSIDER A REQUEST FOR A  
 SPECIAL USE PERMIT TO ALLOW  
 REPLACEMENT OF AN EXISTING ARENA  
 WITH A LARGER ARENA IN A DIFFERENT  
 LOCATION ON THE PROPERTY TO BE  
 LOCATED AT 3901 SYCAMORE LANE, AS  
 REQUESTED BY THE PROPERTY  
 OWNERS, COLIN AND AUBREE MARINO.  
 ALL INTERESTED PARTIES ARE INVITED  
 TO ATTEND THESE HEARINGS AND  
 EXPRESS THEIR COMMENTS.  
 CONCERNING THIS REQUEST, CONTACT  
 PUBLIC WORKS DIRECTOR GARY  
 MACHADO AT (972) 442-6811 FOR MORE  
 INFORMATION OR TO COMMENT  
 REGARDING THIS REQUEST AT ANY  
 TIME BEFORE THE PUBLIC HEARING.

Run Dates	Product	Placement/Classification - Position
Publish Date: 08/02/2024	Dallas Morning News	Legals Bids Notices - LN Legal Notices
Publish Date: 08/02/2024	DallasNews.com	Legals Bids Notices - LN Legal Notices



## Commission Agenda Item

Budget Account Code:	Meeting Date: See above.
Budgeted Amount:	Department/ Requestor: P&Z Commission
Fund Balance-before expenditure:	Prepared by: ACA/CS Scott Grey for Public Works Director Gary Machado
Estimated Cost:	Date Prepared: July 23, 2024
Exhibits:	<ol style="list-style-type: none"> <li>1. <a href="#">Public Hearing Notice</a></li> <li>2. <a href="#">Zoning Boundary Change Applications/Backup</a></li> </ol>

### AGENDA SUBJECT

PUBLIC HEARING REGARDING REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 151.316 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE SHERWOOD HERRING SURVEY, ABSTRACT NO. 404, EAST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (SF).

CONSIDERATION AND/OR AN APPROPRIATE ACTION ON THE MM SOUTH FORK 241, LLC REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 151.316 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE SHERWOOD HERRING SURVEY, ABSTRACT NO. 404, EAST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (SF).

### SUMMARY

Please review the information provided.

Any questions, contact Public Works Director Gary Machado at [Gmachado@parkertexas.us](mailto:Gmachado@parkertexas.us) prior to the City Council meeting.

### POSSIBLE ACTION

Planning and Zoning (P&Z) Commission may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	08/15/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	08/15/2024 via Municode
Public Work Director	<i>Gary Machado</i>	Date:	08/xx/2024

## Order Confirmation / Invoice

**Customer:** CITY OF PARKER  
**Ad Order #:** 0001874264  
**Sales Rep:** David Ferster

**Customer Account:** 100069579  
**PO Number:**  
**Order Taker:** David Ferster

<b>Net Amount:</b>	\$262.50	<b>Tax Amount:</b>	\$0.00	<b>Total Amount:</b>	\$262.50
<b>Payment Method:</b>	Check/Money Order	<b>Payment Amount:</b>	\$0.00	<b>Amount Due:</b>	<b>\$262.50</b>

**Ad Order #:** 0001874264

**Ad Number:** 0001874264-01

**Color:** Ad Size: 2 X 25.00 Li

**Ad Content**

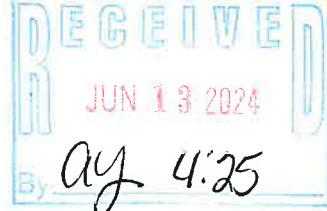
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission for the City of Parker will hold a Public Hearing on Thursday, August 22, 2024 at 5:00 P.M. at the Parker City Hall, 5700 E. Parker Road to receive public comment on a request for permanent zoning of a tract of land containing 151.316 acres of land, more or less, located in the Sherwood Herring Survey, Abstract No. 404, East of N Murphy Rd south of Parker Rd.

The request for zoning has been submitted by MM South Fork 241, LLC for a proposed permanent zoning of Single-Family Residential (SF).

The public hearing will be followed by discussion and possible recommendation on the proposed zoning by the Planning and Zoning Commission regarding the same. Contact Public Works Director Gary Machado at (972) 442-6811 for more information or to comment regarding the proposed zoning at any time before the public hearing.

Run Dates	Product	Placement/Classification - Position
Publish Date: 08/02/2024 Stop Date: 08/02/2024	Dallas Morning News	Legals Bids Notices - LN Legal Notices
Publish Date: 08/02/2024 Stop Date: 08/08/2024	DallasNews.com	Legals Bids Notices - LN Legal Notices



Page 1

EAST  
OF  
Hoggs

**ZONING BOUNDARY CHANGE APPLICATION FORM**  
**ANNEXATION REQUEST FORM**

1. Requesting: Permanent Zoning \_\_\_\_\_  
 Re-Zoning  (See Note\*)  
 Annexation \_\_\_\_\_

\*Note: If requesting re-zoning, please attach a letter stating nature of re-zoning request; i.e. state present zoning and type of zoning change requested.

Applicant/Company Name: MM South Fork 241, LLC

Company Address: 801 E. Campbell Rd, Ste. 650  
 Richardson, TX 75081

Company Phone Number: 214-484-7055

Company Email: MClark@barraza-group.com

Contact Name: Matt Clark

Contact Phone Number: 214-484-7055

Contact Email: MClark@barraza-group.com

2. Description and Location of Property:

- Survey and abstract: Sherwood Herring Survey, Abstract No. 404
- Lot and block: NA
- Total number of acres: 151.316
- Location further described: East of N Murphy Rd and south of Parker Rd

3. Attach 8 copies of the preliminary plat or survey that contains:

- North point, scale, and date
- Name and address of:
  - Applicant
  - Engineer or surveyor responsible for survey of plat
- Survey and abstract with tract designation
- Location of major and/or secondary thoroughfares located with or adjacent to the property
- Location of existing or platted streets within and adjacent to the existing property
- Location of all existing rights of way, utility, and/or drainage easements

Page 2

4. Fees (Non-Refundable): See Attached Fee Schedule

All fees are due and payable at the time of application. No hearing will be scheduled nor will any reviews be made until payment of required filing fees has been accomplished. Fees are non-refundable regardless of outcome of request.

All the requirements and fees of this application are submitted to the City of Parker requesting a hearing date for a Public Hearing before the Planning and Zoning Commission and/or the City Council as may be required. Hearing dates will be scheduled in accordance with provisions of the City of Parker's Comprehensive Zoning Ordinance.

Applicant: Shelley Date: 6/13/2024  
Accepted: Anna Jackson Date: 6/13/24

REQUEST FOR ZONING BOUNDARY CHANGE:

You are requested to supply the names and addresses of all property owners within 200 feet of the subject property, IN ALL DIRECTIONS.

1. CAVANAUGH MARY E
2. SHIRAR NANCY I
3. STANDRIDGE ED F
4. VILLARREAL RUBEN MARRUFO & XOCHITL MARRUFO
5. ARIAS ABELIO H & IRIS
6. THE DAUGHERTY FAMILY LIVING TRUST
7. EVANS ELEANOR NOREEN & ALICIA S EVANS
8. RESTORE THE GRASSLANDS LLC
9. CARPENTER FARMS LTD
10. SOUTHFORK COUNTRY CHURCH
11. GERVAIS PAGET ANN REVOCABLE TRUST
12. GILES GLENN M & LISA S
13. QURESHI NASIR & SHAHBANO SHAKEEL
14. KARI MISAGH & FARNAZ FARSHIDAN
15. SHAHAN RAYMOND N & PATRICIA A

List others on reverse side, if necessary.

FAILURE TO COMPLETE AND SUBMIT THIS INFORMATION WILL RESULT IN THE REJECTION OF THE APPLICATION.

Thank you.  
City of Parker  
5700 E Parker Road  
Parker, Texas 75002

REQUEST FOR ZONING BOUNDARY CHANGE:

You are requested to supply the names and addresses of all property owners within 200 feet of the subject property, IN ALL DIRECTIONS.

1. \_\_\_\_\_
2. HEFNER DONNA
3. HALL CHARLES NORMAN
4. MILLER LORI AN & MILLER PATRICK EUGENE
5. HOWARD GREGG & SHELLEY ANNE
6. NGUYEN THANH CHANH & NGOC THI THANH HOANG
7. ROMAT DAVID JULIAN & CRYSTAL AUDREY
8. PATTON LARRY DONNELL
9. WHITE JOAN
10. FUGE KRISTY & JEREMY FUDGE
11. SUTARIA REVOCABLE LIVING TRUST
12. IFTIKHAR NAVEED M
13. TASHTOUSH NADER & NOOR MOHAMMED ALSMADI
14. BOGDAN KENT & ROXANNE
15. PARKER PARKER 2008 COLLIN LAND TRUST

List others on reverse side, if necessary.

FAILURE TO COMPLETE AND SUBMIT THIS INFORMATION WILL RESULT IN THE REJECTION OF THE APPLICATION.

Thank you.  
City of Parker  
5700 E Parker Road  
Parker, Texas 75002

**City of Parker  
Fee Schedule  
2016**

Exhibit A  
Ordinance No. 734

	<u>Current Fees</u>
<i>Contractor Registration - Renewed Annually</i>	
Electrical Contractor	\$100.00
Fire Sprinkler Contractor	No Fee
General Contractor	\$100.00
Irrigation Contractor	\$100.00
Backflow Tester	\$100.00
Mechanical Contractor	\$100.00
Plumbing Contractor	No Fee
Pool Contractor	\$100.00
<i>Inspection Fees</i>	
Re-Inspections	\$50.00
Annual Backflow Test - Fire Sprinkler System (commercial)	\$25.00
Annual Fire System Inspection (commercial)	\$50.00
<i>Development Fees</i>	
Abandonment of Real Property	\$500.00
Annexation Petitions	\$400 plus \$5 /acre
Copies -Subdivision Regulations and Zoning Ordinance Book	\$150.00
Plat - Development	\$300 plus \$30/Acre
Plat -Preliminary	\$800 plus \$30/Acre
Plat - Final	\$800 plus \$30/Acre
Plat - Final Plat Filing Fees	100% plus 15% adm costs
Plat -Minor Subdivision (5 acres or less)	\$500 plus \$100/lot
Plat -Re-Plat Application/Amending Plat	\$500 plus \$15/lot
Public Works Inspection/Engineering Plans/Legal Review (50% Water/50% City)	5% of total construction costs
Site Plan	\$300 plus \$25/Acre
<i>Traffic Control Devices:</i>	
Per divided street intersection (signage)	\$300.00
Per linear foot per lane line (painting)	\$0.75
Per street intersection (signage)	\$150.00
Signs for street names (each)	\$200.00
Special Activities District	\$500 plus \$30/Acre*
Zoning - Special Use Permit	\$1,000.00
Special Use Permit Annual Renewal - Cross Creek Ranch, Ord. 273	\$1,000.00
<i>Zoning Change Request, Zoning Change</i>	
Zoning Variance Request	\$600.00



214-484-7055   
[BCG@Barraza-Group.com](mailto:BCG@Barraza-Group.com)   
[www.Barraza-Group.com](http://www.Barraza-Group.com)   
 801 East Campbell Road, Suite 650  
 Richardson, Texas 75081 

TBPE Firm No. 20683 | TBPLS Firm No. 10194538

June 13, 2024

City of Parker  
 Development Services  
 5700 E. Parker Rd.  
 Parker, Texas 75002

RE: Request for Zoning Change  
 South Fork Ranch Development  
 City of Parker, Collin County, Texas

Dear Planning and Zoning Members:

Barraza Consulting Group, LLC (BCG) respectfully request your consideration for a zoning change for two tracts of land:

- Tract 1: 151 acres +/- from Special Activities District to Single Family Residential.
- Tract 2: 54 acres +/- from Agriculture – Open Space to Single Family Residential.

The subject property, located south of Parker Road and bisected by N Murphy Road, is directly adjacent to a Single Family Residential District and a Single Family Residential 1.5AC District. This proximity to existing these residential zones supports the compatibility of our proposed development.

Our zoning change request is supported by the following points:

**Comprehensive Plan Compliance:** Tract 2 (54 acres) aligns with the current comprehensive plan for future land use, ensuring that this proposed development is consistent with the City's long-term planning objectives. Tract 1 (151 acres) is partially in compliance with the comprehensive plan, indicating a reasonable fit with existing and projected land use policies.

**Consistency with Adjacent Land Use:** The proposed single-family residential zoning is consistent with the adjacent Single Family Residential and Single Family Residential 1.5AC Districts. This continuity will create a harmonious and cohesive community environment.

**Regulatory Adherence:** The proposed concept depicts a residential community that adheres to the established regulations of the Single Family Residential District, ensuring orderly development and high standards of living for future residents.

We believe that these arguments strongly support our zoning change request and will result in a beneficial development for the community. We greatly appreciate your consideration of this request.

Sincerely,  
Barraza Consulting Group, LLC



Matt Clark, P.E.  
Vice President of Land Development

Accepted By:

---

Date

Invoice Date	Invoice Number	Job	Description	Net Amount
Jun 13, 2024	061324A	041000	Re-Zoning - 152 acres East	2,020.00
			Check 100055 Total	2,020.00

TO VERIFY AUTHENTICITY, SEE REVERSE SIDE FOR DESCRIPTION OF THE 11 SECURITY FEATURES

**MM Southfork 241, LLC**  
 1800 Valley View Ln., Ste 300  
 Farmers Branch, TX 75234

Vista Bank

**100055**

DATE	AMOUNT
<b>06/13/2024</b>	<b>\$2,020.00</b>
Void After 90 Days	

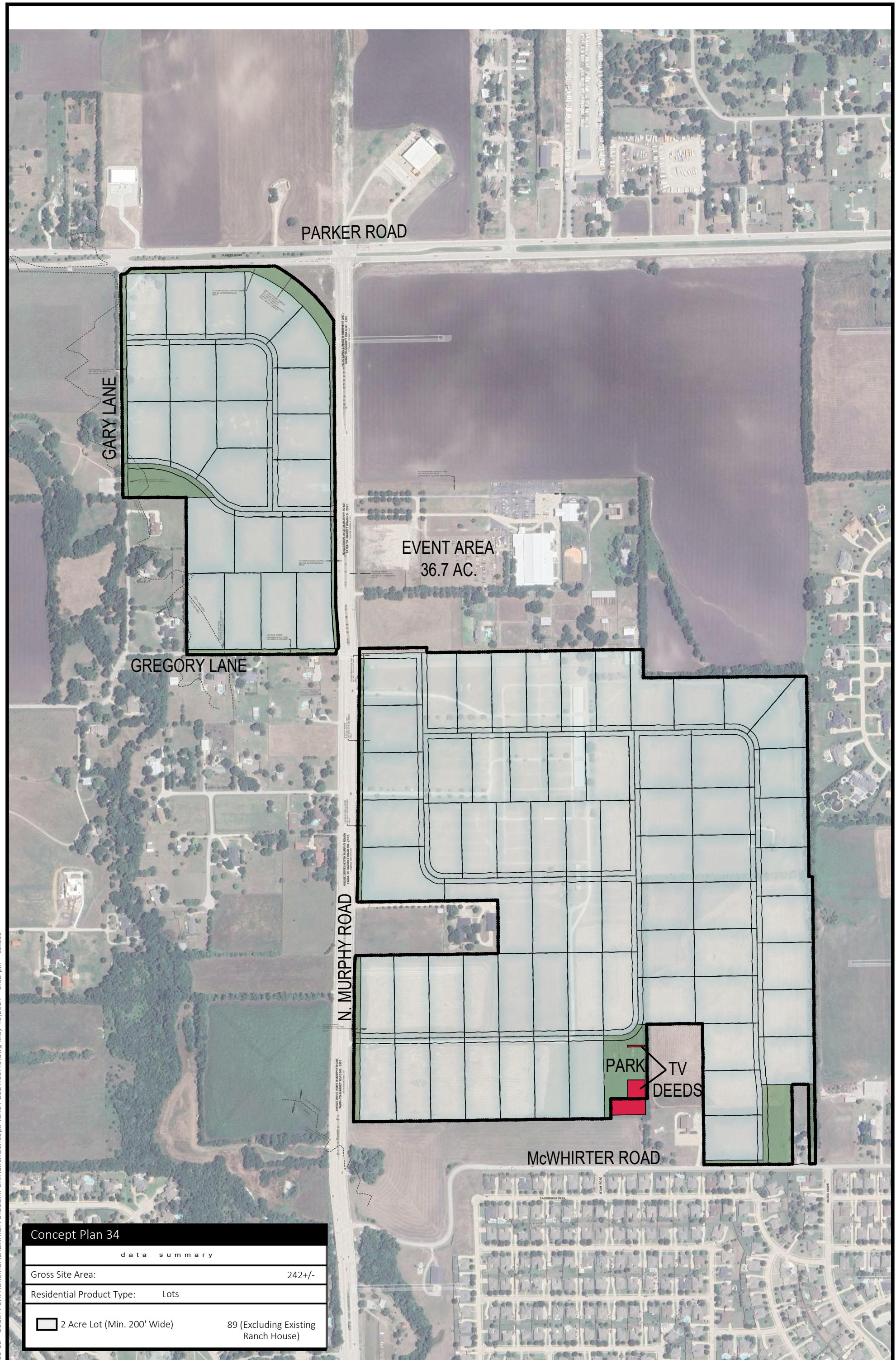
Two Thousand Twenty Dollars and Zero cents \*\*\*\*\*

PAY TO THE  
ORDER OF

**City Of Parker**  
 5700 E Parker Road  
 Parker, TX 75002

<b>Zoning Change Request</b>	
<b>MM SouthFork 241, LLC - 151.316 Ac</b>	
<b>Adjacent Property Owners</b>	
Owner Name	Address
Cavanaugh, Mary E.	3508 Hogge Dr Parker, TX 75002
Shirar, Nancy I.	3611 Hogge Dr Parker, Tx 75002
Standridge, Ed F.	3607 Hogge Dr Parker, Tx 75002
Villarreal, Ruben Marrufo & Xochitl, Marrufo	1544 Rustic Trl Allen, Tx 75002
Aria, Abelio H & Iris	3605 Hogge Dr Parker, Tx 75002
The Daugherty Family Living Trust	3603 Hogge Dr Parker, Tx 75002
Evans, Eleanor Noreen & Alicia S Evans	3507 Hogge Dr, Parker Tx 75002
Restore The Grasslands LLC	4801 W Lovers Ln, Dallas Tx 75209
Carpenter Farms LTD	3210 Hogge Dr Parker, Tx 75002
Southfork Country Church	6605 Mcwhirter Rd Parker, Tx 75002
Gervais Paget Ann Revocable Trust	355 Sagebrush Trl Murphy, Tx 75094
Giless, Glenn M & Lisa S	359 Sagebrush Trl Murphy, Tx 75094
Qureshi, Nasir & Shahbano, Shakeel	363 Sagebrush Trl Murphy, Tx 75094
Kari Misagh & Farnaz Farshidan	401 Sagebrush Trl Murphy, Tx 75094
Shahan, Raymond N & Patricia A	405 Sagebrush Trl Murphy, Tx 75094
Hefner Donna	407 Sagebrush Trl Murphy, Tx 75094
Hall Charles Norman	411 Sagebrush Trl Murphy, Tx 75094
Miller Lori An & Miller Patrick Eugene	329 Texas Trl Murphy, Tx 75094
Howard, Gregg & Shelley, Anne	403 Texas Trl Murphy, Tx 75094
Nguyen, Thanh Chanh & Ngoc, Thi Thanh Hoang	1409 Rodeo Dr Murphy, Tx 75094
Romat, David Julian & Crystal, Audrey	1413 Rodeo Dr Murphy, Tx 75094
Patton, Larry Donnell	501 Seminole Trl, Murphy Tx 75094
White, Joan	6699 Mcwhirter Rd Parker, Tx 75002
Fuge, Kristy & Jeremy Fudge	6800 Audobon Dr Parker, Tx 75002
Sutaria Revocable Living Trust	6605 Overbrook Dr Parker, Tx 75002
Iftikhar, Naveed M	6607 Overbrook Dr Parker, Tx 7502
Tashtoush, Nader & Noor, Mohammed Alsmadi	6609 Overbrook Dr Parker, Tx 75002

Bogdan, Kent & Roxanne	6701 Overbrook Dr Parker, Tx 75002
Parker Parker 2008 Collin Land Trust	9201 Warren Pkwy Ste 200 Pmb 408 Frisco, Tx 75035
Duncan, Joe R Etal	16035 Chalfont Cir Dallas, Tx 75248
Nelson, Denise & Todd Miller	6757 Mcwhirter Allen, Tx 75002
The Umphy Corporation	4211 Newton Ave Apt 217 Dallas, Tx 75219





## Commission Agenda Item

Budget Account Code:		Meeting Date: See above.
Budgeted Amount:		Department/ Requestor: P&Z Commission
Fund Balance-before expenditure:		Prepared by: ACA/CS Scott Grey for Public Works Director Gary Machado
Estimated Cost:		Date Prepared: July 23, 2024
Exhibits:	1. <a href="#">Public Hearing Notice</a> 2. <a href="#">Zoning Boundary Change Applications/Backup</a>	

### AGENDA SUBJECT

PUBLIC HEARING REGARDING REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 54.053 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE JOSEPH RUSSELL SURVEY, ABSTRACT NO. 778, WEST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (SF).

CONSIDERATION AND/OR AN APPROPRIATE ACTION ON THE MM SOUTH FORK 241, LLC REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 54.053 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE JOSEPH RUSSELL SURVEY, ABSTRACT NO. 778, WEST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (SF).

### SUMMARY

Please review the information provided.

Any questions, contact Public Works Director Gary Machado at [Gmachado@parkertexas.us](mailto:Gmachado@parkertexas.us) prior to the City Council meeting.

### POSSIBLE ACTION

Planning and Zoning (P&Z) Commission may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	08/15/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	08/15/2024 via Municode
Public Work Director	<i>Gary Machado</i>	Date:	08/ <i>xx</i> /2024

## Order Confirmation / Invoice

**Customer:** CITY OF PARKER  
**Ad Order #:** 0001874265  
**Sales Rep:** David Ferster

**Customer Account:** 100069579  
**PO Number:**  
**Order Taker:** David Ferster

<b>Net Amount:</b>	\$262.50	<b>Tax Amount:</b>	\$0.00	<b>Total Amount:</b>	\$262.50
<b>Payment Method:</b>	Check/Money Order	<b>Payment Amount:</b>	\$0.00	<b>Amount Due:</b>	<b>\$262.50</b>

**Ad Order #:** 0001874265

**Ad Number:** 0001874265-01

**Color:** Ad Size: 2 X 25.00 Li

**Ad Content**

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission for the City of Parker will hold a Public Hearing on Thursday, August 22, 2024 at 5:00 P.M. at the Parker City Hall, 5700 E. Parker Road to receive public comment on a request for permanent zoning of a tract of land containing 54.053 acres of land, more or less, located in the Joseph Russell Survey, Abstract No. 778, West of N Murphy Rd south of Parker Rd.

The request for zoning has been submitted by MM South Fork 241, LLC for a proposed permanent zoning of Single-Family Residential (SF).

The public hearing will be followed by discussion and possible recommendations on the proposed zoning by the Planning and Zoning Commission regarding the same. Contact Public Works Director Gary Machado at (972) 442-6811 for more information or to comment regarding the proposed zoning at any time before the public hearing.

Run Dates	Product	Placement/Classification - Position
Publish Date: 08/02/2024 Stop Date: 08/02/2024	Dallas Morning News	Legals Bids Notices - LN Legal Notices
Publish Date: 08/02/2024 Stop Date: 08/08/2024	DallasNews.com	Legals Bids Notices - LN Legal Notices



Page 1

WEST 54.053  
OF ACNS  
Hogge

ZONING BOUNDARY CHANGE APPLICATION FORM  
ANNEXATION REQUEST FORM

1. Requesting: Permanent Zoning \_\_\_\_\_  
 Re-Zoning  (See Note\*)  
 Annexation \_\_\_\_\_

\*Note: If requesting re-zoning, please attach a letter stating nature of re-zoning request; i.e. state present zoning and type of zoning change requested.

Applicant/Company Name: MM South Fork 241, LLC

Company Address: 801 E. Campbell Rd, Ste. 650  
Richardson, TX 75081

Company Phone Number: 214-484-7055

Company Email: MClark@barraza-group.com

Contact Name: Matt Clark

Contact Phone Number: 214-484-7055

Contact Email: MClark@barraza-group.com

2. Description and Location of Property:

- Survey and abstract: Joseph Russell Survey, Abstract No. 778
- Lot and block: NA
- Total number of acres: 54.053
- Location further described: West of N Murphy Rd and south of Parker Rd

3. Attach 8 copies of the preliminary plat or survey that contains:

- North point, scale, and date
- Name and address of:
  - Applicant
  - Engineer or surveyor responsible for survey of plat
- Survey and abstract with tract designation
- Location of major and/or secondary thoroughfares located with or adjacent to the property
- Location of existing or platted streets within and adjacent to the existing property
- Location of all existing rights of way, utility, and/or drainage easements

4. Fees (Non-Refundable): See Attached Fee Schedule

All fees are due and payable at the time of application. No hearing will be scheduled nor will any reviews be made until payment of required filing fees has been accomplished. Fees are non-refundable regardless of outcome of request.

All the requirements and fees of this application are submitted to the City of Parker requesting a hearing date for a Public Hearing before the Planning and Zoning Commission and/or the City Council as may be required. Hearing dates will be scheduled in accordance with provisions of the City of Parker's Comprehensive Zoning Ordinance.

Applicant: Shelley Date: 6/13/2024  
Accepted: Ana Jackson Date: 6/13/2024

REQUEST FOR ZONING BOUNDARY CHANGE:

You are requested to supply the names and addresses of all property owners within 200 feet of the subject property, IN ALL DIRECTIONS.

1. DUNCAN JOE
2. HAGGARD MARY JO - ESTATE OF
3. GIRDLEY VENTURES - PARKER ROAD LLC
4. DANG JAMES & JULIE THUY TONNU
5. HERST DEBBIE & THELMA GRAY BROWN & SID BROWN
6. PATEL HANSA & NISARG PATEL & DHARMISTHABEN PATEL
7. CITY OF PARKER
8. 10 100 2004 KG REVOCABLE TRUST
9. SAKARIA SUDHIR & KANCHAN SAKARIA
10. WARE MATTHEW & CHERIE
11. LEVY BRAD & CANDY LEVY
12. CLARK SCOTT A & WENDY JILL CLARK
13. SUGRA JOHN A JR & SUGRA DONNA L
14. MULLER JOSE VICTOR
15. SHIRAR NANCY I

List others on reverse side, if necessary.

FAILURE TO COMPLETE AND SUBMIT THIS INFORMATION WILL RESULT IN THE REJECTION OF THE APPLICATION.

Thank you.  
City of Parker  
5700 E Parker Road  
Parker, Texas 75002

**REQUEST FOR ZONING BOUNDARY CHANGE:**

You are requested to supply the names and addresses of all property owners within 200 feet of the subject property, IN ALL DIRECTIONS.

1. UMPHY CORPORATION THE \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_
11. \_\_\_\_\_
12. \_\_\_\_\_
13. \_\_\_\_\_
14. \_\_\_\_\_
15. \_\_\_\_\_

List others on reverse side, if necessary.

**FAILURE TO COMPLETE AND SUBMIT THIS INFORMATION WILL RESULT IN THE REJECTION OF THE APPLICATION.**

Thank you.  
City of Parker  
5700 E Parker Road  
Parker, Texas 75002

**City of Parker  
Fee Schedule  
2016**

Exhibit A  
Ordinance No. 734

	<u>Current Fees</u>
<i>Contractor Registration - Renewed Annually</i>	
Electrical Contractor	\$100.00
Fire Sprinkler Contractor	No Fee
General Contractor	\$100.00
Irrigation Contractor	\$100.00
Backflow Tester	\$100.00
Mechanical Contractor	\$100.00
Plumbing Contractor	No Fee
Pool Contractor	\$100.00
<i>Inspection Fees</i>	
Re-Inspections	\$50.00
Annual Backflow Test - Fire Sprinkler System (commercial)	\$25.00
Annual Fire System Inspection (commercial)	\$50.00
<i>Development Fees</i>	
Abandonment of Real Property	\$500.00
Annexation Petitions	\$400 plus \$5 /acre
Copies -Subdivision Regulations and Zoning Ordinance Book	\$150.00
Plat - Development	\$300 plus \$30/Acre
Plat -Preliminary	\$800 plus \$30/Acre
Plat - Final	\$800 plus \$30/Acre
Plat - Final Plat Filing Fees	100% plus 15% adm costs
Plat -Minor Subdivision (5 acres or less)	\$500 plus \$100/lot
Plat -Re-Plat Application/Amending Plat	\$500 plus \$15/lot
Public Works Inspection/Engineering Plans/Legal Review (50% Water/50% City)	5% of total construction costs
Site Plan	\$300 plus \$25/Acre
<i>Traffic Control Devices:</i>	
Per divided street intersection (signage)	\$300.00
Per linear foot per lane line (painting)	\$0.75
Per street intersection (signage)	\$150.00
Signs for street names (each)	\$200.00
Special Activities District	\$500 plus \$30/Acre*
Zoning - Special Use Permit	\$1,000.00
Special Use Permit Annual Renewal - Cross Creek Ranch, Ord. 273	\$1,000.00
<i>Zoning Change Request, Zoning Change</i>	<i>\$500 plus \$10/acre</i>
<i>Zoning Variance Request</i>	<i>\$600.00</i>



214-484-7055   
[BCG@Barraza-Group.com](mailto:BCG@Barraza-Group.com)   
[www.Barraza-Group.com](http://www.Barraza-Group.com)   
 801 East Campbell Road, Suite 650  
 Richardson, Texas 75081 

TBPE Firm No. 20683 | TBPLS Firm No. 10194538

June 13, 2024

City of Parker  
 Development Services  
 5700 E. Parker Rd.  
 Parker, Texas 75002

RE: Request for Zoning Change  
 South Fork Ranch Development  
 City of Parker, Collin County, Texas

Dear Planning and Zoning Members:

Barraza Consulting Group, LLC (BCG) respectfully request your consideration for a zoning change for two tracts of land:

- Tract 1: 151 acres +/- from Special Activities District to Single Family Residential.
- Tract 2: 54 acres +/- from Agriculture – Open Space to Single Family Residential.

The subject property, located south of Parker Road and bisected by N Murphy Road, is directly adjacent to a Single Family Residential District and a Single Family Residential 1.5AC District. This proximity to existing these residential zones supports the compatibility of our proposed development.

Our zoning change request is supported by the following points:

**Comprehensive Plan Compliance:** Tract 2 (54 acres) aligns with the current comprehensive plan for future land use, ensuring that this proposed development is consistent with the City's long-term planning objectives. Tract 1 (151 acres) is partially in compliance with the comprehensive plan, indicating a reasonable fit with existing and projected land use policies.

**Consistency with Adjacent Land Use:** The proposed single-family residential zoning is consistent with the adjacent Single Family Residential and Single Family Residential 1.5AC Districts. This continuity will create a harmonious and cohesive community environment.

**Regulatory Adherence:** The proposed concept depicts a residential community that adheres to the established regulations of the Single Family Residential District, ensuring orderly development and high standards of living for future residents.

We believe that these arguments strongly support our zoning change request and will result in a beneficial development for the community. We greatly appreciate your consideration of this request.

Sincerely,  
Barraza Consulting Group, LLC



Matt Clark, P.E.  
Vice President of Land Development

Accepted By:

---

Date

Invoice Date	Invoice Number	Job	Description	Net Amount
Jun 13, 2024	061324	041000	Re-Zoning	1,050.00
			Check 100054 Total	1,050.00

TO VERIFY AUTHENTICITY, SEE REVERSE SIDE FOR DESCRIPTION OF THE 11 SECURITY FEATURES

**MM Southfork 241, LLC**  
 1800 Valley View Ln., Ste 300  
 Farmers Branch, TX 75234

Vista Bank

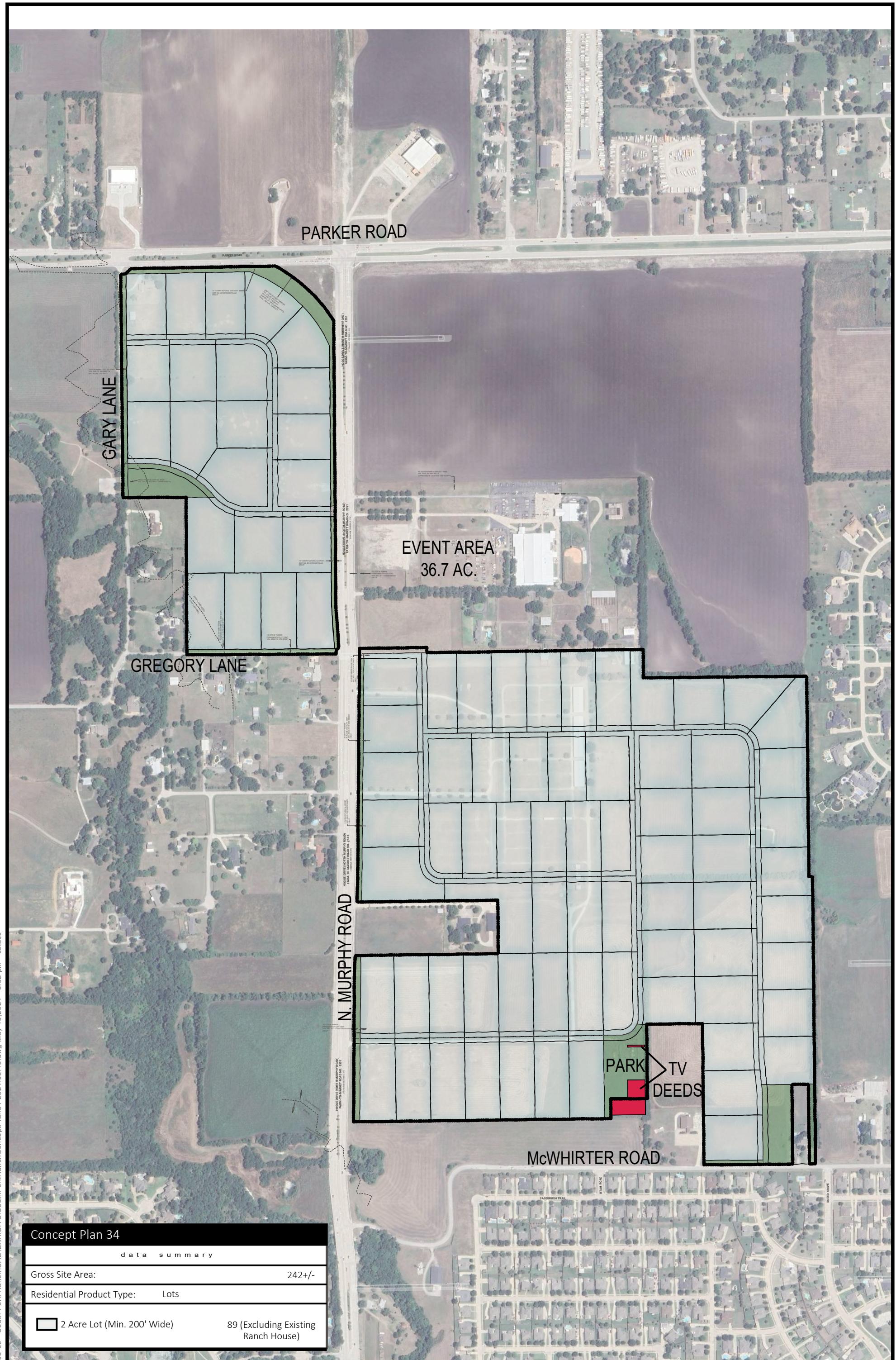
**100054**

DATE	AMOUNT
06/13/2024	\$1,050.00

Void After 90 Days

One Thousand Fifty Dollars and Zero cents \*\*\*\*\*

PAY TO THE  
ORDER OFCity Of Parker  
5700 E Parker Road  
Parker, TX 75002





## Commission Agenda Item

Budget Account Code:	Meeting Date: See above.
Budgeted Amount:	Department/ Requestor: P&Z Commission
Fund Balance-before expenditure:	Prepared by: ACA/CS Scott Grey for Public Works Director Machado
Estimated Cost:	Date Prepared: July 23, 2024
Exhibits:	<a href="#"><b>Comprehensive Plan (COMP PLAN)</b></a>

### AGENDA SUBJECT

REVIEW AND DISCUSS THE COMPREHENSIVE PLAN (COMP PLAN).

### SUMMARY

Please review exhibit(s) and be prepared to discuss.

### POSSIBLE ACTION

Planning and Zoning (P&Z) Commission may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	08/01/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	08/15/2024 via Municode
Public Work Director	<i>Gary Machado</i>	Date:	08/ <b>xx</b> /2024



## 2024 Comprehensive Plan

## ACKNOWLEDGEMENTS

### COMPREHENSIVE PLAN COMMITTEE

Randy Kercho, Councilmember

Cindy Meyer, Former Councilmember

Wei Wei Jeang, Planning & Zoning Commission

Lucy Estabrook, Planning & Zoning Commission

### Mayor & Council

Lee Pettle, Mayor

Jim Reed, Mayor Pro Tem

Todd Fecht, Councilmember

Randy Kercho, Councilmember

Amanda Noe, Councilmember

Buddy Pilgrim, Councilmember

### Planning & Zoning Commission

Russell Wright, Place One, Chairperson

Joe Lozano, Place Two, Vice Chairperson

Wei Wei Jeang, Place Three, Secretary

David Leamy, Place Four, Voting Member

Jasmat Sutaria, Place Five, Voting Member

Larkin Crutcher, Alternate One

Lucy Estabrook, Alternate Two

Lynnette Ammar, Alternate Three

## TABLE OF CONTENTS

Chapter 1: Introduction .....	1
Chapter 2: The Past and Future of Parker .....	2
Chapter 3: The Plan Framework & Process .....	4
Chapter 4: Geographic & Demographic Influences .....	8
Chapter 5: Land Use .....	12
Chapter 6: Strategic Growth .....	17
Chapter 7: City Owned Property and Services .....	19
Chapter 8: Parks, Trails and Open Spaces .....	25
Chapter 9: Infrastructure/Utilities .....	28
Chapter 10: Streets & Drainage .....	30
Chapter 11: Implementation Plan .....	40
Chapter 12: Project Prioritization Schedule .....	46
Chapter 13: Appendix .....	52

Draft

## CHAPTER 1: INTRODUCTION



Parker is a gem among neighboring cities where high-density developments and traffic congestion have dominated their once tranquil neighborhoods.

Parker residents are passionate about their city. Residents love the country atmosphere with large lots and quiet neighborhoods tucked away from the hustle and bustle; while having easy access to nearby shopping, restaurants and entertainment. With its semi-rural setting, Parker offers a high quality of life, low crime rate, and family-friendly neighborhoods ideal for outdoor activities.

Parker is a Type A General Law City by choice. In October 2020, the Home Rule Charter Commission voted to disband, keeping Parker as a General Law City. As such, the mayor is the Chief Executive Officer, where the city is governed through ordinances and resolutions adopted by the city council. While many functions are set by law, others may be established as a matter of custom or policy.



**Commented [RW1]:** If we can work in a small statement about Southfork Ranch being a historical landmark that would give context to many from around the country and around the world.

One of our city's most valued qualities is the commitment by our residents to retain our small-town feel. Volunteerism and generosity are more than words in Parker, it's what pulls the community together for the good of all the residents.

Parker's charm makes us a unique city in North Texas. With that in mind, traditions and characteristics are woven into this Plan with the objective of retaining our Uniquely Country atmosphere well into the future.

## CHAPTER 2: PAST AND FUTURE OF PARKER

Commented [RW2]:

### HISTORICAL CONTEXT

In the early 1800's, the area that is now Parker was covered with prairie grass. The grass was so high and thick that the first settlers here had to burn their fields two years straight to prepare the land for farming.

John W. Parker was the first known settler. Our city was named for his son, William C. Parker. Other original settlers include the Dillehays, Gregorys, Hogges, and McCrearys.

Parker's first community school was in the home of Comfort McMillen, founder of Corinth Church. As the number of families and children grew, another school became necessary. Desiring a nearby school for their children, James and Margaret Stinson donated land for a school known as "Who'd a thought it" School, which opened in 1880, west of Bois D'Arc Lane.



The Corinth Presbyterian Church (1846) is the oldest structure in Parker.



Old Parker Store - Originally owned by Tom Johnson, then sold to Mr. & Mrs. Lewis Gatlin in 1916.

As growth continued, a four-room school was built along Parker Road northeast of Hogge Road. It had an enrollment of 90.

In the 1880's, the St. Louis and Southwestern Railroads planned a route through Parker and town lots were subsequently laid out. Later, the railroads decided to lay tracks through Wylie instead of Parker. With this, Parker's prospective business boom faded.

Parker's one and only post office opened in 1888. It was short-lived, closing its doors in November 1900. One store, and a population of 50, was reported in 1910, growing to three businesses and 86 residents by 1940.

In 1948, the Parker School was sold and the schoolhouse was torn down. Most students transferred to Plano to continue their education. Today, the city's school districts are divided between Plano and Allen ISDs. Areas in the Allen ISD include the north section of the Knolls, Parker Ranch 1, 2, 3, 4A, and 4B; Parker Village, Parker Lakes 1, 2, and 3A north of Dumont, and Kings Crossing 1, 2, and 4.

## PARKER'S VISION STATEMENT

*In Parker, "Uniquely Country" is not just a motto but a way of living. The City of Parker strives to provide a laid-back, country lifestyle that places emphasis on our residential large lot community.*

*Our country roads will take you past open spaces, livestock and equestrian properties, and numerous family-friendly neighborhoods. Limited commercial zoning provides a quiet residential community that is an oasis amidst other high-density cities.*

*Parker's proximity to nearby services and amenities ~~will~~ provide the benefit of large city conveniences with the charm of a small-town country lifestyle.*



*As Parker grows, these values which are the cornerstone of our city, will be maintained to protect our unique and diverse country lifestyle.*

## CHAPTER 3: THE PLAN FRAMEWORK & PROCESS

The objective of this Comprehensive Plan is to capture the shared vision of our City's future, reflecting residents' input and common values. Most importantly, it will provide a road map for future land use, transportation issues, open spaces, our environment, utilities and city services.

This Plan will serve as the framework to facilitate and influence consistent decision-making policies, particularly during growth periods and leadership changes. It will be the blueprint for safeguarding the general welfare of Parker residents.

### REGULATORY AUTHORITY

The governing body of a municipality may adopt a comprehensive plan for long-range development and infrastructure needs of the city. A municipality may define the content and design of the plan to suit the city's needs.

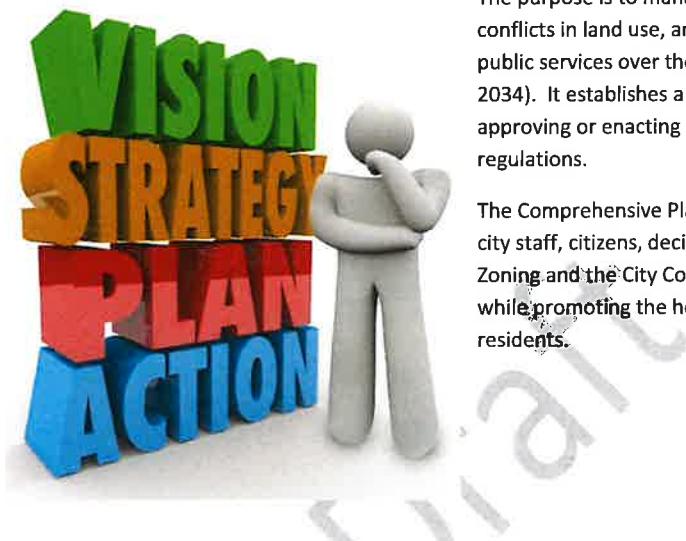
The State of Texas, Local Government Code Chapters 211, 212, and 213, gives municipalities the power to regulate the use of land, but only if such regulations are based on a plan.

A municipality may define in its charter or by ordinance, the relationship between a comprehensive plan and development regulations, along with standards for determining the consistency between the plan and development regulations. Land use assumptions adopted in a manner that complies with Chapter 395, Subchapter C, may be incorporated in the comprehensive plan.

This plan, Ordinance \_\_\_\_\_, supersedes all previous plans.

## VISION – STRATEGY – ACTION

To achieve Parker's long-term vision, the Plan identifies key challenges and opportunities. More importantly, it defines clear goals with both long- and short-term objectives. It incorporates historical, physical, social and environmental data.



The purpose is to manage growth wisely, minimize conflicts in land use, and provide efficient delivery of public services over the next 10-year period (2024-2034). It establishes a solid basis for adopting, approving or enacting local ordinances and regulations.

The Comprehensive Plan will be used as a guide for city staff, citizens, decision-makers, Planning & Zoning and the City Council to achieve unified goals while promoting the health, safety and welfare of residents.

## BUILDING ON PAST PLANNING EFFORTS

Incorporation of the City of Parker took place on March 22, 1969. The first zoning and subdivision ordinances were adopted in 1971. In 1973, temporary comprehensive zoning and subdivision ordinances were adopted to define growth areas and procedures for land use administration.

The City adopted a Comprehensive Plan, Ordinance 242A, on January 13, 1987. On June 6, 2000, Comprehensive Zoning Ordinance 483 was adopted. In March 2015, Ordinance 721 amended and restated the Comprehensive Plan by adopting a series of maps including Annexation/Boundary, Zoning, and Thoroughfare.

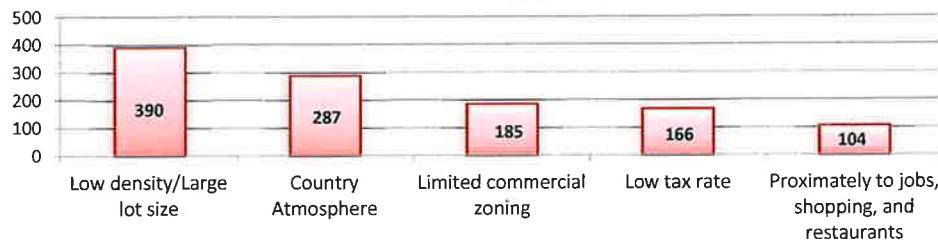
## COMMUNITY ENGAGEMENT

The City conducted an outreach campaign in February 2023 to obtain residents' participation and feedback. The short survey consisted of eleven questions and was promoted through multiple communication channels including the City of Parker website and City email blasts. Additionally, a request for citizen participation appeared on residents' water bills. During the participation period, 429 responders provided input.

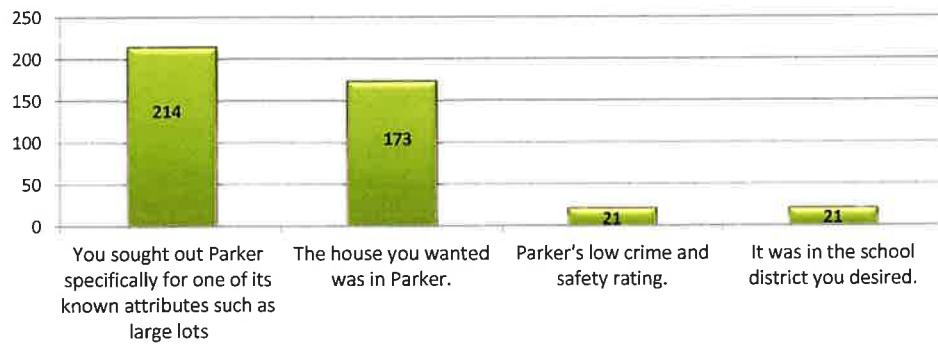
Overwhelmingly, residents indicated low density/large lot size and the country atmosphere to be what they liked most about Parker. They also indicated they sought out Parker specifically, followed by the house they wanted was in Parker.

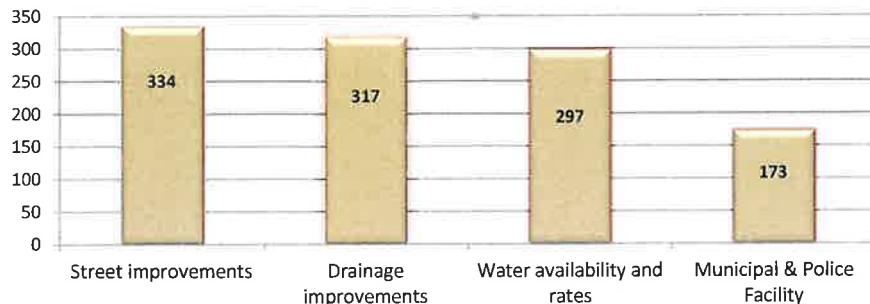
Out of the 429 survey responses, residents ranked street improvement as the biggest issue; followed closely by drainage along with water availability and rates.

### What do you like most about Parker? (choose your top 3)

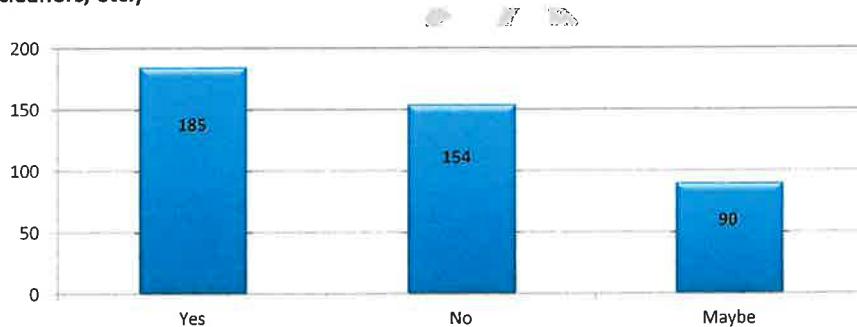


### What was the primary reason you chose Parker? (choose one)



**What do you think is the biggest challenge that Parker should address first? (Choose 3)**

Should Parker consider changing our zoning to include limited small retail businesses to help offset the tax burden on residents? (i.e., coffee shop/restaurant, farmer's market, dry cleaners, etc.)

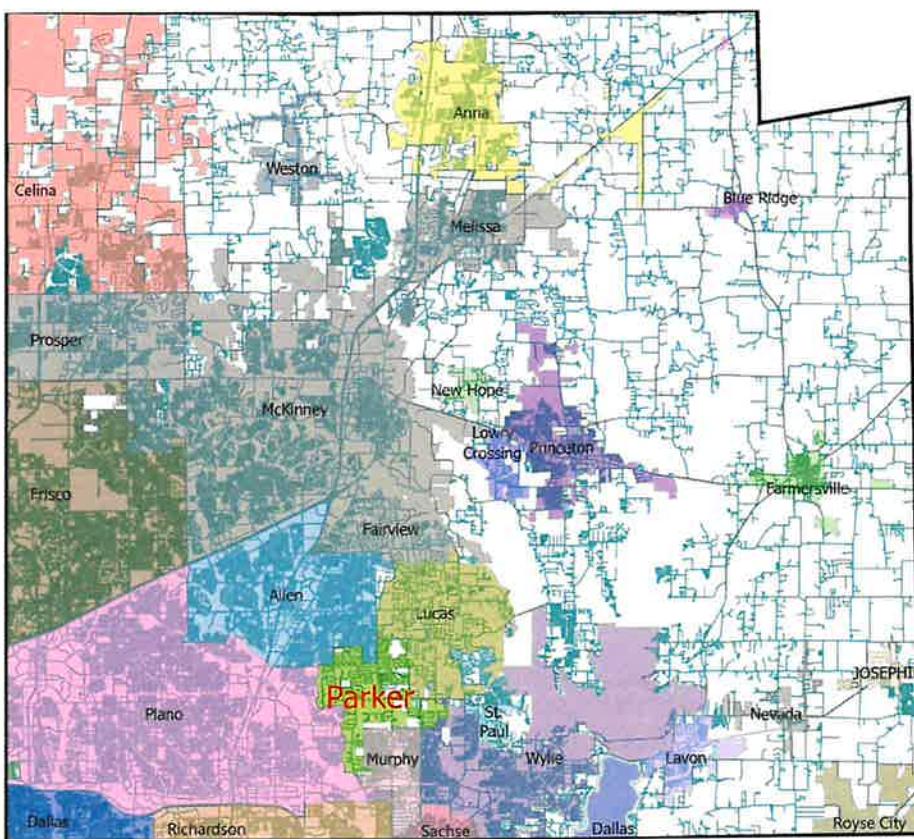


## CHAPTER 4: GEOGRAPHIC & DEMOGRAPHIC INFLUENCES

### THE CITY OF PARKER

Parker is located in south-central Collin County, with Dallas and Rockwall Counties to the South, Grayson County to the North, Denton County to the West, and Hunt County to the East. The City of Parker covers approximately 8.6 square miles (5,504 acres), with an elevation of 604 feet.

Neighboring cities include: Plano, Allen, Lucas, Wylie, and Murphy.

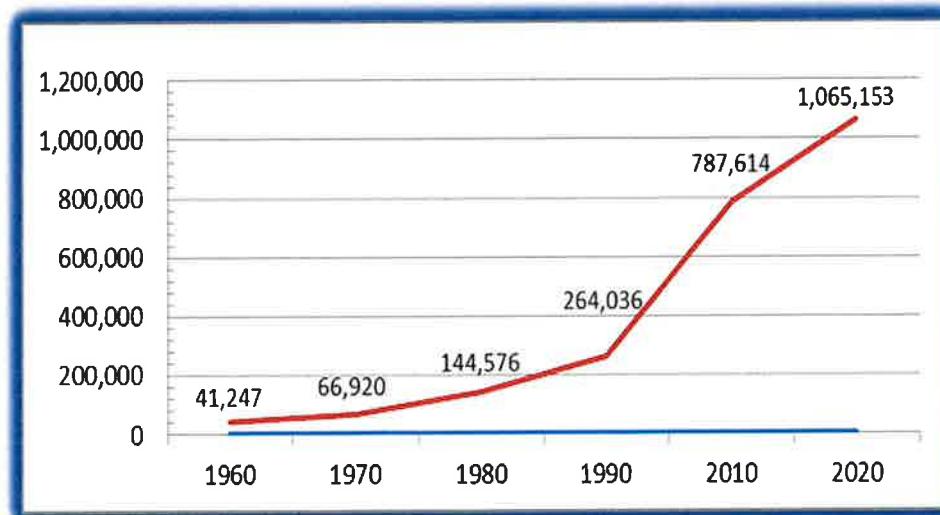


## COLLIN COUNTY

The county has seen tremendous growth since the mid-1990's. During the next three decades, Collin County is projected to be in the top three fastest growing counties in the nation, far out-pacing the Dallas-Fort Worth region in general.

Prior to the year 2000, eastern Collin County had a substantially lower growth rate than the western sections of the county. As build-out in the western sections progressed, it continually pushed growth toward the central and eastern side of the county, where land accessibility and real estate costs were lower. During the last two decades, Parker experienced a growth surge, primarily due to the availability and development of large tracts of land.

Collin County is one of the fastest growing counties with an average annual growth rate of three percent over the last 60 years. As the trend continues, the county's population will exceed 1.5 million residents by 2030.



## COMPARISON OF PARKER TO COLLIN COUNTY

	City of Parker	Collin County
Population	5,462	1,158,696
Average Household Size	3.37	2.79
Average Wealth Indicator*	236	137
Owner Occupied Homes	94%	61.30%
Average Home Value**	\$1,061,764	\$434,004
Housing Affordability Index***	169	124

Source: 2020 Census Data

\* Wealth Index is based on number of indicators including: [HH household](#) income, net worth, [material possessions](#) and resources.

\*\* Average Home Value is the 2023 value. Source: Collin County Appraisal District

\*\*\* A Housing Affordability Index base of 100 indicates a resident, with a median household income, can qualify to purchase a median priced home.

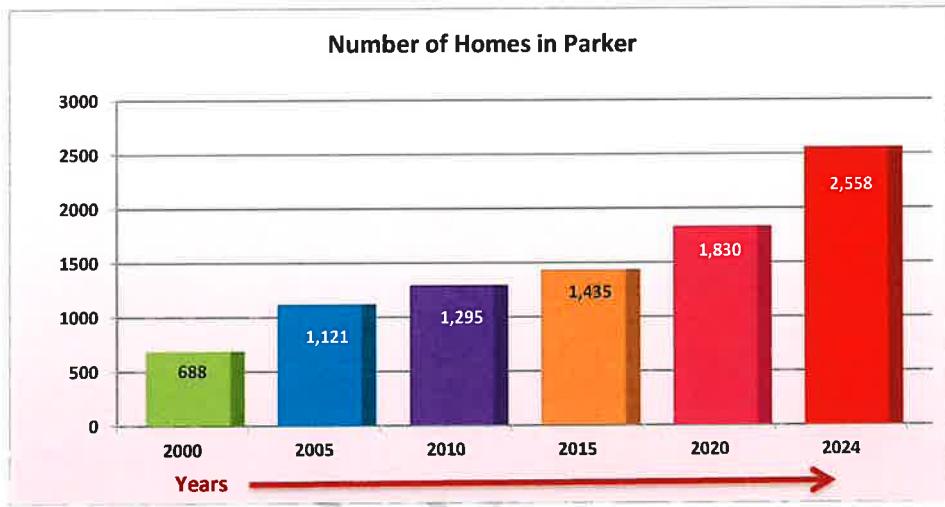
In the early 1970's, the growth of the city was steady, and then slowed until the latter part of the 1980's. In early 2000, major tracts were developed, resulting in a population spike. Again in 2016, Parker's population increased rapidly with the development of additional large land tracts.

## PARKER'S POPULATION

As of December 2023, Parker's population was 6,165.

Commented [RW4]: Update when document final is approved

As we continue to grow, the demand on our city facilities, city administration, public works, fire, police, roads, drainage, water system, along with park and recreational facilities will increase. Over the next twenty years, Parker may reach build out.



According to the population analysis performed by Parker's city engineer for the Water Impact Fee Report, the City's population could increase to 8,710 over the next 10 years.

## CHAPTER 5: LAND USE

The first subdivision was constructed prior to the incorporation of the city. As a result, the need arose to incorporate the city for the purpose of directing and controlling future growth.

Parker's first zoning and subdivision ordinance was adopted in 1971. In 1973, temporary comprehensive zoning and subdivision ordinances were adopted to define growth areas and procedures for land use administration.

In 1980, new comprehensive zoning and subdivision ordinances were enacted, superseding the previous ordinances of 1970 and 1973.

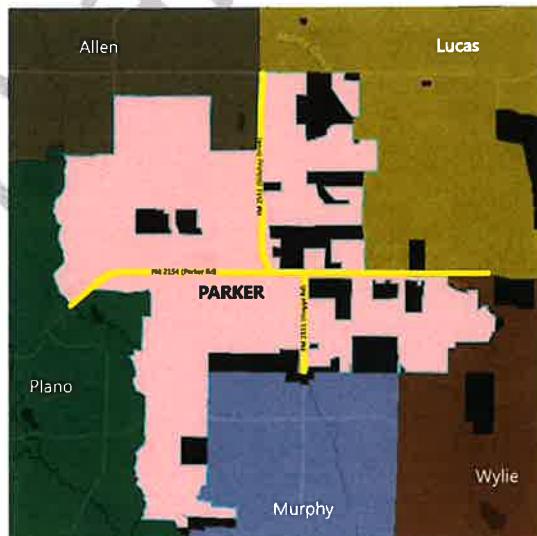
In August 2022, Parker's Code of Ordinances, Chapter 156 Zoning was revised, approved and enacted.

Land use classifications include: "A-O" agricultural-open space, "MH" manufactured housing; "SF" single-family residential, "SFT" single-family transitional", and "SA" special activities.

### EXTRA TERRITORIAL JURISDICTION

Parker continues to have pockets of ETJ land as indicated in black on the map. Currently, the ETJ covers approximately 1,085 acres of land within the outline of Parker's city boundary. Parker's Extraterritorial Jurisdiction (or unincorporated areas) are contiguous to the corporate boundaries of Parker and located within one mile of those boundaries.

In 2019, the Texas Legislature passed HB 347 enacting a statewide ban preventing Texas cities from annexing property without the owners' consent.



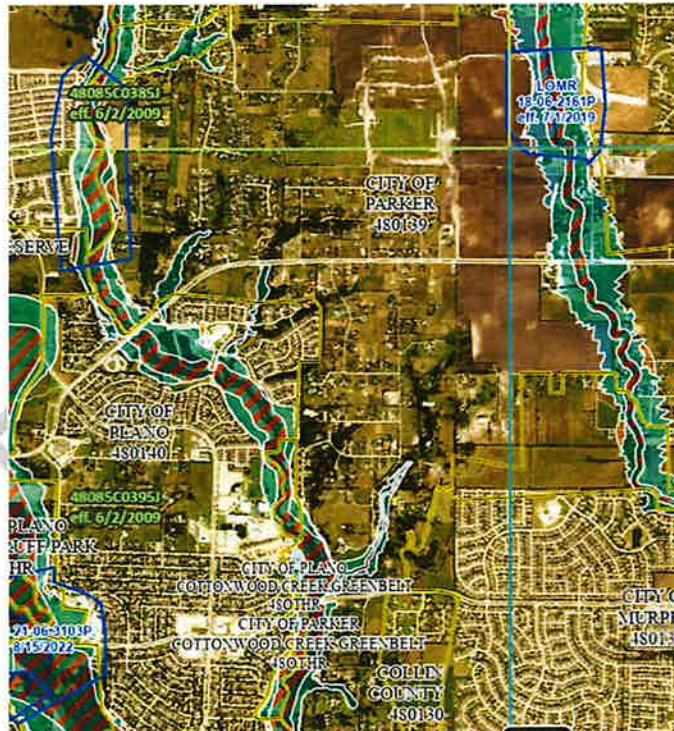
## ENVIRONMENTAL ELEMENTS

**Flood Plains:** Two major flood plains pass through Parker. At the western edge of the city, Cottonwood Creek forms a boundary between Parker and Plano, as it continues into a basin near Pecan Hollow Municipal Golf Course in Plano.

Maxwell Creek enters Parker on the west side of Dillehay (FM2551), crosses FM2551 and continues through the city, exiting near Hogge Road/Murphy city limits.

Prior to Parker's Land Use and Subdivision Control Enactment, homes were built within the two flood plain areas. Currently, the city requires developers to perform a comprehensive drainage analysis study prior to plat approval.

New developments that cross flood plains must compensate for potential drainage problems. However, all areas of the city are impacted with drainage problems after heavy rain. Over time, silt buildup may pose problems for homeowners. It is the responsibility of every homeowner to monitor and maintain proper drainage, which impacts both them and their neighbors.



**Soil Types:** Texas is home to over 1300 soil types and 21 different soil regions. Collin County is in soil region #15 referred to as Blackland Prairie and composed of primarily various clay-based soils. Parker is predominately Houston Black Clay which is comprised of alkaline clays and soft chalk.

## CHARACTER OF PARKER NEIGHBORHOODS

Throughout its history, Parker has maintained the small-town feel and charm by encouraging developments to maintain a connection to the community's rural roots.

In a survey of residents, 91% of participants felt low density/large lot size was a top priority. Additionally, 67% indicated Parker's country atmosphere was what they enjoyed the most.

Areas of winding country roads dotted with beautiful estate homes contrast with new subdivisions which replaced farm fields of the past, creating an appeal that is unique to Parker.

Most subdivisions developed over the last 25 years have a Homeowner's Association (HOA) requiring residents to comply with a designated set of standards. However, homes and property in non-HOA areas require monitoring and enforcement by city staff to ensure a safe and sanitary environment in all areas of the city.

Deficiencies within these subdivisions existed in the past and continue today. Overgrown grass, weeds, and silt build up; along with improper ditch maintenance, impact neighborhoods and the city as a whole.



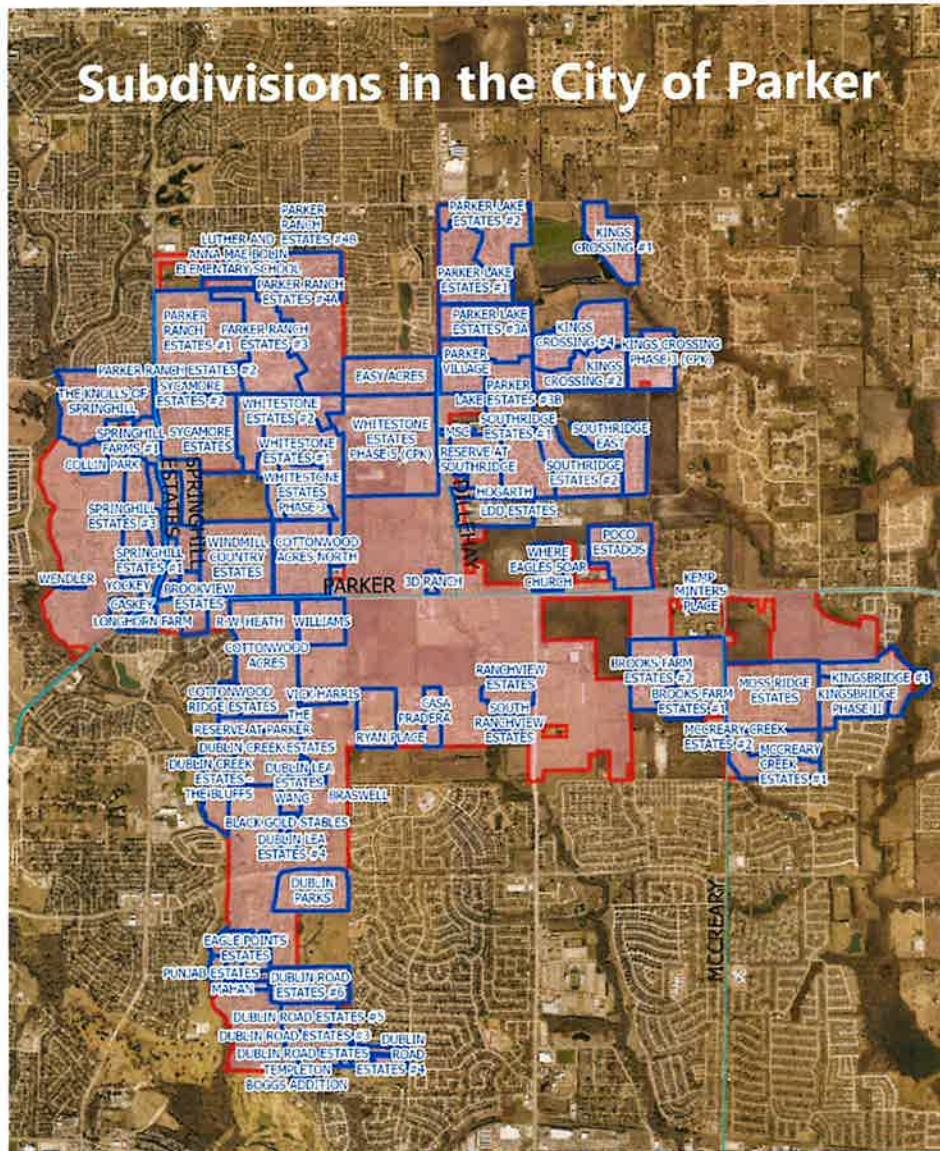
**Commented [RW5]:** This is somewhat negative. Can we eliminate or reword, if necessary to keep it? Should this be reworded and/or moved? Higher level statement combined with purpose of the comp plan.

## CURRENT SUBDIVISIONS WITHIN PARKER<sup>1</sup>

3D Ranch - 5.7 acres (2 lots)	Moss Ridge – (51 Lots)
Andy's Lane – 9.6 acres (52 sites)	McCreary Creek – Phase 1 (38.2 acres)
Black Gold Stables – 5 acres (2 Lots)	McCreary Creek – Phase 2 (39 acres) 2012
Braswell – 6 acres (1 Lot)	Moore – 2.6 acres (1 Lot)
Brooks Farm Estates 1 -69.2 acres (73 Lots)	Parker Lakes Estates, Phase 1- 78.7 acres (87 Lots)
Brooks Farm Estates 2 – 51.1 acres (33 Lots)	Parker Lakes Estates, Phase 2- 70.1 acres (81 Lots)
Brookview Estates – 10.1 (5 Lots)	Parker Lakes Estates, Phase 3A- 76.4 acres (63 Lots)
Casa Pradera Addition – 18 acres (2 Lots)	Parker Lakes Estates, Phase 3B- 56.1 acres (47 Lots)
Caskey Addition – 1.7 acres (1 Lot)	Parker Ranch Estates, Phase 1 - 121.78 Acres (67 Lots)
Crepe Myrtle Hill - (XX4 -Lots)	Parker Ranch Estates, Phase 2 - 38.7 Acres (15 Lots)
Collin Park – (11 Lots)	Parker Ranch Estates, Phase 3 - 101.1 Acres (56 Lots)
Cottonwood Acres North - (42 Lots)	Parker Ranch Estates, Phase 4A - Acres unavailable (33 Lots)
Cottonwood Acres – (37 Lots)	Parker Ranch Estates, Phase 4B - Acres unavailable (14 Lots)
Cottonwood Ridge – 16.4 acres (5 Lots)	Parker Ranch Estates, Phase 5 - 84.2 Acres (37 Lots)
Dublin Creek Estates - (17 Lots)	Parker Village – 45.2 Acres (35 Lots)
Dublin Creek "The Bluffs " – 42.2 acres (12 Lots)	Poco Estados – 63.7 Acres (32 Lots)
Dublin Lea Estates – 21.7 acres (2 Lots)	Punjab Estates – 17.5 acres (3 Lots)
Dublin Lea Estates #4 – 2.8 acres (1 Lot)	Ranchview – (13 Lots)
Dublin Road Estates - (5 Lots)	Reserve at Parker –20.7 Acres (7 Lots)
Dublin Road Estates #2 - 16.2 acres (11 Lots)	Reserve at Southridge – 45.5 Acres (31 Lots)
Dublin Road Estates #3- 21.9 acres (10 Lots)	Ryan Place – 41.2 Acres (5 Lots)
Dublin Road Estates #4 - 8.3 acres (8 Lots)	South Ranchview Estates – 11.4 Acres (4 Lots)
Dublin Road Estates #5 – 28.5 acres (17 Lots)	Southridge East – 50 Acres (39 Lots)
Dublin Road Estates #6 (Edgewater) – 53.6 acres (32	Southridge Estates Phase 1- 57 Acres (41 Lots)
Dublin Parks Estates Addition –XX-acres (35 Lots)	Southridge Estates Phase 2 – 66.5 acres (55 Lots)
Eagle Points Estates – 15.2 acres (6 Lots)	Springhill Estates Phase 1- 60.3 acres (40 Lots)
East Ridge – (41 Lots)	Springhill Estates 2 – (23 Lots)
Easy Acres – 63.6 acres (63 Lots)	Springhill Estates 3 – 57.3 Acres (32 Lots)
Hogarth – 102.2 Acres (1 Lot)	Springhill Farms #1 -58.2 Acres (23 Lots)
RW Heath – 14.6 Acres (2 Lots)	Sycamore – (27 Lots)
Knolls of Springhill – 104 acres (70 Lots)	Sycamore Estates - (19 Lots)
Kings Crossing -Phase 1 - 52.6 acres (38 Lots)	Templeton Boggs Addition – 5.6 Acres (1 Lot)
Longhorn Farm – 9.9 acres (2 Lots)	Vick-Harris – 9 Acres (2 Lots)
Kings Crossing Phase 2 - 56.1 acres (46 Lots)	Wang Addition – 6 Acres (3 Lots)
Kings Crossing Phase 3 - 48.8 acres (38 Lots)	Whitestone Estates, Phase 1 - 104.5 Acres (78 Lots)
Kings Crossing Phase 4 - 71.3 acres (59 Lots)	Whitestone Estates, Phase 2 - 75.6 Acres (37Lots)
Kings Crossing Phase 5 - 49.58351.3 acres* (36	Whitestone Estate, Phase 5 -176 Acres (95 Lots)
Kings Bridge Phase 1 - 59.5 acres (33 Lots)	Williams 160.1 Acres (8 Lots)
Kings Bridge Phase 2 - 44.4 acres (28 Lots)	Windmill Country Estates - (43 Lots)
Mahan Addition – 6.9 acres (2 Lots)	Yockey – 3.1 Acres (3 Lots)

<sup>1</sup> Data taken from Collin County CAD

## **Subdivisions in the City of Parker**



## CHAPTER 6: STRATEGIC GROWTH

### FUTURE DEVELOPMENT CAPACITY

The City of Parker is 8.6 square miles, which is approximately 5,504 acres. Approximately 83% has either been developed or under a development agreement. Currently there is 1,085 (+/-) acres in our Extra Territorial Jurisdiction.

There are several subdivisions in the process of being developed under the agreements of 2007, 2013, and 2016 with the Warner Group. These include phases of Whitestone and Kings Crossing.

The Development Agreement with the Warner Group also includes an undeveloped tract of land (117.39 acres), in the Northeast part of the City's ETJ (Bidell Tract). Annexation of this land will be undertaken only in accordance with a petition submitted by the Bidell Family or the Developer. The 2007 Developer Agreement allows for a minimum of one-acre lots.

All future developments in Parker require a two-acre minimum lot size (Ordinance 820, Chapter 156, zoning amended August 2022). Future land incorporations and developments must reflect our existing land and improvement ordinances.

Aside from property already under contract, Parker's future growth would stem from the 1,085 acres in Parker's ETJ. These remaining tracts, if incorporated into the city, would equate to approximately 400 (+/-) additional two-acre home sites.

### COMMERCIAL DEVELOPMENT

Included in the Developer's Agreement of 2007 with the Warner Group, an eight-acre tract was carved out in King's Crossing (corner of Lewis Road and Lucas Road), designated as commercial, with special restrictions and allowable uses.

The agreement specifies the allowable business types, along with specifics on materials, building style, landscape and buffering. To-date, this commercial parcel has not been developed.

Additionally, there are commercial businesses within Parker's ETJ, but outside of the city limits. Future commercialization of the ETJ is likely as the area population increases along with service demands and land value.

## REMAINING ETJ LAND

Within the 1,085 (+/-) acres remaining in Parker's ETJ, there are currently approximately 63 acres with commercial businesses present. These include:

- (3) RV Storage facilities, Parker Road - 20 acres
- (2+) Sports businesses – Dillehay - 3.3 acres
- (2) Fireworks businesses – Parker Road (part of larger tract)
- (1) Overnight Truck Parking - Dillehay - 31.6 acres
- (1) Office/warehouse complex – Dillehay - 3.3 acres
- (1) Stone Company – Dillehay - 4.9 acres

Draft

## CHAPTER 7: CITY OWNED PROPERTY AND SERVICES

Excluding right of ways, the City of Parker owns a total of 35.58 acres, which includes the property at City Hall, the Preserve (adjacent to City Hall), along with property for a future water tower in the far northwest part of the city.

### CITY HALL

In 1980, the City of Parker constructed a Community Building to provide a place to conduct city business and citizen meetings. At that time, the city employed two full time staff members, a city administrator, four part-time staff members, a part-time building inspector, one police officer and a court clerk.

In 2000, funded by a Certificate of Obligation, the community building was expanded at both ends to accommodate room for additional staff and enlarged the council chambers. It was estimated that the addition and renovation of the building would adequately serve the city for the next 10-year period.

Today, 24 years later, having outgrown the present facilities years ago, Parker City Hall hasn't changed. There is inadequate room to properly conduct the operation of our city and hire additional staff members necessary to service the citizens of Parker.

The city initiated three architectural designs and two bond proposals (2020 for 9.5MM and 2023 for 8.63MM); where residents declined the opportunity to build a new city building while bond interest rates were as low as 3 percent and 4.3 percent respectively.



## CITY ADMINISTRATION

Currently, Parker has ~~10~~ 11 administrative employees:

Commented [RW6]: Check before publishing

- City Administrator
- Attorney
- Assistant City Administrator & City Secretary
- Director of Finance /Human Resources
- Accounting/Human Resources
- Court Clerk
- Utility Billing & Payments
- Permit Clerk

## GOALS AND OBJECTIVES AFFECTING CITY GOVERNMENT

As the city continues to grow, so will the need for additional personnel. Lack of space limits the city's ability to attract and retain personnel needed to provide residents the service levels our community requires now and in the future. It will take a united effort to remedy the situation.

## PARKER FIRE DEPARTMENT

In 1971, the city began with a Fire Marshall primarily for issuing permits and building inspections. In January 1982, the City Council voted to fund the establishment of the City of Parker Volunteer Fire Department. The Parker Volunteer Fire Department officially became functional in May 1983. A fire station was built next to the community building which housed fire trucks along with three pieces of firefighting equipment. Parker had 22 volunteer firefighters serving the city. Several years later, the building was insufficient for all the vehicles, equipment, and personnel. The fire department moved to a larger metal building, pictured to the right. Today, this same structure houses our Public Works Department.



As the city grew, residents approved the funding for a new 15,000 square foot fire station and separate police facilities. The fire station was completed in 2009, however, the police facility **was not built**.



The fire facilities serves the city today. It is staffed with a full-time fire department consisting of 45 part-time paid firefighters. The Fire Chief is the only remaining volunteer.



In addition to Parker's own resources, the city has automatic mutual aid agreements with the adjacent municipalities of Lucas, Fairview and Wylie, who will respond to structure fires in any of the cities. Parker Fire Department has mutual aid agreements with all surrounding cities which respond when requested. Response times along with the type of service required are monitored and reported.

The Parker Fire Department has an ISO (Insurance Services Office) ranking of 2. Fire departments are assigned a score between 1 and 10, with 1 being the highest. A well performing fire department ensures community safety and contributes to more affordable insurance rates for residents.

**Fire Department Vehicles:**

- Velocity-Aerial Ladder Truck – 2018. (Longevity estimate: 25 years of service)
- Pumper Fire Truck – 2002. New replacement approved 2023-24 budget for a new Fire Engine due in 2026. (Longevity estimate: 25 years of service)
- Wildland/Grass Firefighting Truck -1995. New replacement approved 2023-2024 budget. The new brush truck is due for delivery in Summer 2024. (Longevity estimate: 15 years of service)
- Chief's Command & Control SUV- 2014 (Longevity estimate: 15 years of service)
- Pickup Truck – 2010. (Longevity estimate: 10 years of service)

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## PARKER POLICE DEPARTMENT

As the need for city services broadened, a ~~full-time~~full-time police officer was employed in 1985 to deal with the pressing traffic issues and other citizen safety demands.

In 1986 the City hired our first full-time Police Chief. A police force of one wasn't adequate to meet the growth of the city, and soon after, additional officers were hired. By 2006, the police department had four police vehicles and operated 24/7. Today, the Police Department operates 24/7, with 12 officers and six vehicles.

Originally, Parker's Police Chief had an office at City Hall next to the council chambers. As additional officers were hired, room to operate a larger staff became a necessity. When the new Fire Station was completed, the old fire station was renovated to house Parker's Police Department. The Department remained in that metal building until 2016 when a flood resulting in black mold, forced the department out for health and safety reasons.

In August 2016, a mobile modular building was leased to house the Police Department for an estimated time of 48 months. The lease cost was \$37,251 plus \$2,200 per month. The plan was to give City Council ample time to design and build a new facility for police and city hall. Through 2023, the city has spent in excess of \$200,000 for a leased modular building requiring on-going repairs. In February 2024 the city council voted to purchase the modular building.



The department currently has one command vehicle and six patrol vehicles. In 2022, the city council approved a lease agreement which, in theory, replaces most police and public works vehicles every year. However, due to the shortage of vehicles during the first year of the agreement, vehicles were not available. Once the shortage problem is resolved, replacements should be ~~timely~~.

**Commented [RW7]:** Update paragraph for lease agreement details, etc.

## PUBLIC WORKS/WATER DEPARTMENT

Public Works/Water Department, originally a staff of two, worked out of the municipal building until the staff grew and they moved into the Parker's old fire station/old police station. Today, Parker's Public Works and Water Department has a staff of eight.

A new facility for the water department is currently in the planning phase. The structure will be at the new Pump Station on Dillehay and will be designed to house both the water department staff and equipment securely.



Public Works positions who office at City Hall include:

- Director of Public Works
- Code Enforcement & Storm Water Inspector
- Building Inspector

The remaining five water department personnel currently use the old fire/police metal building for office and equipment storage.

The Department currently has seven vehicles.

## CHAPTER 8: PARKS, TRAILS AND OPEN SPACES

### INTRODUCTION

In 2002, the City of Parker purchased 19 acres of natural habitat adjacent to City Hall which is called "The Preserve." Almost the entire area lies in the flood plain of Maxwell Creek with the degree of flooding related to rainfall intensity. The area has a natural pond and a wide variety of native vegetation and trees. Parker's objective in this area is to preserve the natural environment and native ecosystems.

A portion of the property directly to the westeast of City Hall is used for Parker's Living Tree Legacy Program. Each tree planted has a dedication marker. Trees are sponsored by residents who wish to commemorate, honor, memorialize or recognize a family-member or resident.



Parker has a relatively low percentage of land dedicated to open spaces. Although late in the game, future development should include sufficient open green spaces for the community.

In keeping with the country atmosphere, most areas and subdivisions do not have sidewalks, with the exception of a portion of Whitestone and Parker Ranch. The city is responsible for the maintenance in these areas as part of the trail system. TxDOT installed sidewalks on Hogge Road and Parker Road, east of Hogge, when the roads were widened. They are responsible for the maintenance of those walkways.

## PARKS, RECREATION AND OPEN SPACES

In 2019, the City of Parker re-commissioned Parks & Recreation. The commission members are appointed into office by the city council. P&R commission members consist of residents willing to take an active role in maintaining and enhancing city property for the enjoyment of Parker residents.

Occasionally the city provides funding for upgrades to The Preserve. Some of the past improvements include a walking path (partially concrete, partially gravel), gazebo repair, garden and wildflower areas, along with necessary repairs to the historic barn.



**Commented [RW8]:** Joe suggests removing picture of picnic table and replace with wishing well pic.

**Commented [RW9R8]:**

The Parker Women's Club generously donated park benches placed along the walking path, in addition to a Gazebo on the east side of the Preserve.

#### Parks & Recreation

Commission coordinates community activities in the area adjacent to City Hall and the Preserve. The area provides space for functions such as Parkerfest -- Parker's annual fall festival, which attracts 500+ residents and families to enjoy music, games, food, and children's activities, along with other events and community gatherings.



Parkerfest 2021

As the success of community engagement/activities continues, the Parks & Recreation Commission is working to expand both the number of events along with expanded content to attract additional attendees.

See Chapter 11 for Goals and Objectives.

## CHAPTER 9: INFRASTRUCTURE/UTILITIES

### WATER SYSTEM

In 1964, a rural water non-profit corporation was conceived by the community of Parker, later to become the Pecan Orchard Water Corporation. The system was installed and started serving 150 customers in December 1966.

As Parker's population increased, the original 300,000-gallon water tower was not able meet the demands of our growing city.



In December 2012, a new one million-gallon water tower was installed by the City and the old tower was demolished.

Today, the City's water is contracted with and supplied by North Texas Municipal Water District. Water conservation (or lack of) becomes an issue under the NTMWD's "Take or Pay" requirement in the water district's contract.

Ground storage reservoirs are located at the East Pump Station which includes a 200,000 and a 300,000-gallon reservoir. These serve Parker's East Side delivery point and pump station.

In 2018, in preparation to meet residents' water demand, the Parker City Council approved the construction of a new pump station. A six million dollar bond funded the multi-year project. The new Central Pump Station, located on Dillehay, was completed in 2022. This station was constructed to coincide with an additional water delivery point along with additional ground storage tanks. The Dillehay property is also scheduled to include a facility to house water personnel and equipment. The cost for the water department facility was included in the \$6M bond and by supplemented funds from the American Rescue Plan Act of 2021.

**Commented [RW10]:** Clarify what the funds were originally targeted for and where they have ultimately been allocated/used for.

**Commented [RW11R10]:**

## **WATER SYSTEM EXPANSION**

To meet the anticipated growth and demand over the next 10 years, a second water tower will be necessary. The property for the second tower has been secured at the southeast corner of Parker Ranch. The Chaparral elevated storage tank will hold 1M gallons. Upgrades to the water distribution system are detailed in the 10-year Capital Improvement Plan.

## **WASTEWATER SYSTEM**

From the time Parker became a city, until the year 2000, all residents of the city had household septic systems. To facilitate the planned developments of Parker Lakes and Kings Crossing, Parker Ranch and Whitestone, the developer paid for access to the North Texas Water District's septic system with lines along Lucas Road. Excluding these fourtwo subdivisions, Parker is on household septic systems.

## **WATER METERS**

In 2014 the city began upgrading resident's old meters that were manually read each month, with smart meters. As of March 5, 2024, 99.2% of homes have smart meters. There are 17 homes with manual read 2-inch meters. Post COVID Badger 2-inch meters have been in limited supply.

Today, residents can view water usage by the month, day, hour or minute and can self-monitor water consumption. This allows homeowners to check for possible leaks and enhance water conservation, in addition to efficient customer billing.

## **NATURAL GAS**

Until the development of Springhill Estates, all homes in the city were electric only. Since that time, most subdivisions have natural gas. Many homeowners in "electric only" homes have added propane for heating and cooking.

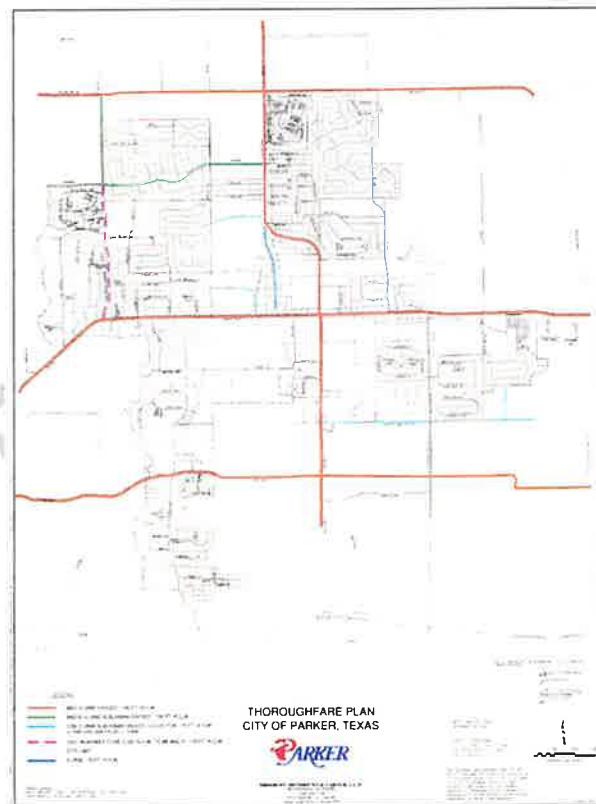
## CHAPTER 10: STREETS & DRAINAGE

### MAJOR THOROUGHFARES

There are two state roads dividing Parker into quadrants: FM 2514 (Parker Road) running East/West and FM 2551 (Hogge Road/Dillehay) running North/South. The remaining roads in Parker are either county, city or private roads. Over the last decade, through-traffic on Parker's two major thoroughfares has increased substantially.

Parker Road (FM 2514), a once winding blacktop road, was replaced in phases, completed in 2018. The current 4-lane divided major artery was designed to expedite east/west commuter traffic through Parker.

In July 2023, TxDOT began work on the northern section of FM 2551 (Dillehay Drive). The 3.4 mile, 2-lane blacktop road, with deep drainage ditches on both sides, will be replaced with a 6-lane divided highway. New road construction will begin at the intersection of Parker Road and Hogge Road, extending to the northern boundary of Parker, then will continue north through Allen and Lucas. Anticipated completion of FM2551 is yet to be determined.



## ROAD MAINTENANCE

Streets are the lifeblood of our community. The primary function of our streets is to safely and efficiently move people and vehicles. Roads also represent the city's largest single-required expenditure. There are many variables that impact roads in varying degrees including: traffic, road material, roadbed construction and drainage. These primary factors determine road stability and length of service.

The type of vehicle traffic also has a significant impact on roads. When the city experiences major growth in an area, access roads are severely impacted due to heavy equipment and vehicles over the construction period. Additionally, the population growth of surrounding areas will increase through-street traffic in Parker. Both situations have a significant effect on Parker's roads.

With the population growth over the last 20 years, Parker's concrete subdivision streets remain in acceptable condition, while older asphalt roads have deteriorated.

Classification of city roadways include:

- Arterial Roads – Non-city roads with multiple lane and high traffic volume;
- Collector Roads – Provide access to subdivisions from Arterial Roads with moderate traffic volume;
- Residential Roads – Typically within subdivisions with low volume and low speed limits.

In 2021, Parker's engineering firm, in conjunction with Parker's Public Works department, conducted an assessment analysis. Data was gathered and ranked for each of the 137 city-owned roads as a guide for maintenance and rehabilitation planning. The objective was to determine the Pavement Condition Index (PCI) rating from 1 to 100 and document the severity of distress on pavement surfaces. The chart below documents the findings:

Street Name	Residential Street	Collector Road	PCI Rating	Length (LF)	Surface Type	Rehab Date
<u>Aesthetica Place</u>				473	Concrete	
Amherst Court	X		80	1,109	Concrete	
Andover Drive	X		75	2,282	Concrete	
Ascot Court	X		83	537	Concrete	
Ashford	X		90	650	Concrete	
Audubon Dr	X		85	2,320	Concrete	
Barrington	X		85	1,766	Concrete	
Beechwood Court	X		80	283	Concrete	
Belvedere Drive	X		90	581	Concrete	

Street Name	Residential Street	Collector Road	PCI Rating	Length (LF)	Surface Type	Rehab Date
Berwick		X	85	1,293	Concrete	
Betsy Road (West City Limit to Bridge)			85	3,356	Concrete	
Bluffs Lane		X	70	1,656	Concrete	
Bois-d-arc (Parker Road to Bridge)		X	70	805	Asphalt	2012
Boulder Drive North		X	85	2,951	Concrete	
Boulder Drive South-		X	80	1,080	Concrete	
Bozeman Drive		X	45	502	Asphalt	
Bracknell Drive		X	80	1,976	Concrete	
Brookwood Drive-Parker to End		X	75	790	Asphalt	
Bryce Drive		X	88	1,682	Concrete	
Camden Drive-		X	84	464	Concrete	
Canterbury				1,479	Concrete	
Chaparral Road (Spring Hill to Whitestone)		X	80	6,851	Concrete	
Cheshire Lane		X	90	1,753	Concrete	
Cheswick Court		X	90	1,289	Concrete	
Cheyenne Drive (to North City Limit)		X	83	2,659	Concrete	
Chilton Court		X	90	955	Concrete	
Church Lane		X	20	2,172	Asphalt	2011
Cimarron Circle		X	60	511	Asphalt	
Copperhill Circle		X	80	391	Concrete	
Corinth Chapel		X	85	748	Concrete	
Cornwall-Devon		X	90	204	Concrete	
Corsham Drive		X	82	478	Concrete	
Countryside Drive		X	85	1,620	Concrete	2018
Cox Farm Estate		X	85	735	Concrete	
Creekside Ct.			75	1,264	Concrete	
Curtis Lane (East from Dillehay to Southridge)		X	40	1,783	Asphalt	

Street Name	Residential	Collector	PCI Rating	Length(LF)	Surface Type	Rehab Date
Curtis Lane South (Laila to Curtis)	X		85	1,185	Concrete	2019
Curtis Road (Southridge East to Concrete Single)		X	85	5,864	Concrete	
Curtis Road (Two lane to one large to Erin)		X	90	3,470	Concrete	
Curtis (Southridge to Single Slab)		X	85		Concrete	
Devon-Whitestone	X		90	1,054	Concrete	
Donihoo Lane	X		35	2,037		
Donna Lane (Cheshire to Donihoo)	X		88	1,898	Concrete	
Donna Lane (Donihoo to Parker Road)	X	X	75	3,976	Asphalt	2018
Dover				1,102	Concrete	
Dublin Creek Circle	X		70	392	Concrete	
Dublin Creek	X		70	1,984	Concrete	
Dublin Park Drive -	X		85	2,057	Concrete	
Dublin Road (Betsy to Dublin Creek)		X	40	3,495	Asphalt	
Dublin Road (Creek Side to Edgewater)		X	30	1,583	Asphalt	
Dublin Road (Dublin Creek to Parker Road)		X	50	4,462	Asphalt	
Dublin Road (Edgewater to Betsy)		X	33	3,147	Asphalt	
Dublin Road (South City Limit to Creekside)		X	60	1,225	Asphalt	
Dublin Road (to St. Lawrence)		X	30	1,177	Asphalt	
Dublin Road (Betsey to Dublin Creek)		X	45	13,742	Asphalt	
Dumont Court-	X		81	689	Concrete	
Dunnaway Crossing	X		84	280	Concrete	
East Gate	X		85	1,008	Concrete	
Edgewater Ct.	X		80	2,517	Concrete	
Elaine Dr		X	90	725	Concrete	
Elisa Lane	X		60	2,608	Asphalt	2014
Englenook Drive	X		83	2,630	Concrete	
Erin Lane	X		90	1,738	Concrete	

Street Name	Residential	Collector	PCI Rating	Length(LF)	Surface Tvoe	Rehab Date
Estados Drive	X		85	2,152	Asphalt	
Estate Ln	X		70	3,068	Concrete	
Forest Bend Dr	X		83	2,502	Concrete	
Frenzel Drive	X		85	1,297	Concrete	
Fulbrook Drive (Barrington to Cheyenne)	X		85	1,701	Concrete	
Fulbrook Drive (Cheyenne to Cul de Sac)	X		90	426	Concrete	
Glen Meadows Drive	X		84	2,214	Concrete	
Glenmore Drive	X		81	813	Concrete	
Golden Pond Circle	X		84	269		
Greenhill Ct.	X		85	766	Concrete	
Gregory Ln. (from Bridge to End)	X					
Gregory Ln. (from Gray to 2551 Hogge)	X		40	1,277	Asphalt	
Grey Ln	X		25	2,211	Concrete	2011
Hackberry Lane	X		40	3,437	Asphalt	2019
Hathaway Drive (Glenmore Drive to Overton)	X		85	538	Concrete	
Hathaway Drive (Overton Drive to End)	X		85	640	Concrete	
Hathaway Drive (Overton Drive to Glenmore)	X		85	1,110	Concrete	
Havenhurst Court			90	934	Concrete	
Holbrook	X		89	1,563	Concrete	
Jeffery Dr (South City Limit to Windomere)	X		90	1,206	Concrete	
Kara Lane-	X		45	2,606	Asphalt	2014
Kensington Court	X		85	607	Concrete	
Keswick Drive	X		85	645	Concrete	
Kingston Court	X		90	1,292	Concrete	
Kirkdale Drive-	X		84	1,332	Concrete	
Laila Drive	X		85	1,656	Concrete	
Leena Lane	X		85	570	Concrete	

Street Name	Residential	Collector	PCI Rating	Length(LF)	Surface Type	Rehab Date
Lewis Lane-Lift Station to City Limit		X	40	9,340	Asphalt	2012
Lost Hollow Court	X		85	378	Concrete	
Ludlow Lane			90	714	Concrete	
Lynwood Drive	X		85	2,447	Concrete	
Margaux Dr	X		85	1,089	Concrete	
Mary Ct	X		84	1,047	Concrete	
McCreary Creek		X	85	371	Concrete	
McCreary Northbound			85	305	Concrete	
McCreary Southbound			80	12,233		
Meadow Glen Dr.	X		83	2,638	Concrete	
Meadow Ridge	X		85	607	Concrete	
Middleton Drive Phase I (Lucas to Cul de sac)	X		90	1,738		
Middleton Drive-(to Lewis)	X		90	7,913	Concrete	
Midnight Court East	X		90	1,399	Concrete	
Midnight Court West	X		88	605	Concrete	
Moss Ridge Circle	X		70	350	Concrete	
Moss Ridge Rd	X		55	6,195	Concrete	
Nancy Dr. (Windomere to City Limit)	X		85	1,182	Concrete	
Natalie Ct	X		85	328	Concrete	
Nocona Dr	X		85	1,483	Concrete	
Northridge Parkway	X		83	2,858	Concrete	
Norwick Dr	X		85	1,312	Concrete	
Old Gate Lane (Donna east to Dead End)	X		73	1,467	Asphalt	
Old Gate Lane (Donna to Cul de sac)	X		83	2,014	Asphalt	2013
Overbrook Dr	X		83	3,542	Concrete	
Overton Drive	X		80	2,662	Concrete	
Parker Village	X		75	1,012	Concrete	

Street Name	Residential	Collector	PCI Rating	Length (LF)	Surface Type	Rehab Date
Parrent Ct	X		70	208	Concrete	
Pecan Bend	X		80	597	Concrete	
Pecan Orchard Dr (Springhill Estates to Cul de sac)	X		50	2,234	Asphalt	
Pecan Orchard Dr (4200 Pecan Orchard to Springhill)						
Pecan Orchard Dr (Sycamore to 4200 Pecan Orchard)	X		80	6,906		
Penbroke	X		85	232	Concrete	
Poco Drive	X		85	1,280	Asphalt	2015
Ramsey Ct	X		70	201	Concrete	
Ranchview	X		40	1,002	Asphalt	2011
Rathbone Drive-	X		80	4,476	Concrete	
Ravensthorpe Drive -(Bracknell to Curtis)	X		80	2,983	Concrete	
Ravensthorpe Drive (Curtis South to Cul de sac)	X		81	5,043	Concrete	
Red Oak Circle	X		80	704	Concrete	
Reserve Court	X		70	1,655	Concrete	
Ricks Ct	X		70	315	Concrete	
Ridgemore Drive	X		85	1,612	Concrete	
Ridgeview Drive- -(Saddle to cul de sac)	X		80	863	Concrete	
Ridgeview Drive (Dublin to Saddle)	X		70	2,160	Asphalt	2012
Rolling Knolls Drive	X		85	1,911	Concrete	
Rosemont Court	X		85	693	Concrete	
Saddle Trail	X		70	2,632	Asphalt	2012
Salisbury-	X		85	2,666	Concrete	
Savannah Circle	X		85	243	Concrete	
Shady Knolls Drive	X		85	1,318	Concrete	
Silverton Court	X		80	461	Concrete	

Street Name	Residential	Collector	PCI Rating	Length(LF)	Surface Type	Rehab Date
Silverton Court	X		80	461	Concrete	
Southridge Parkway	X		80	4,018	Concrete	
Springhill Estates Drive (Asphalt to Pecan Orchard)		X	65	2,350	Asphalt	
Springhill Estates Drive (Chaparral to Asphalt)		X	80	9,798	Concrete	2016
Springhill Estates Dr. (Pecan Orchard to Parker Rd)		X	75	4,268	Asphalt	
St. Lawrence Ct	X		95	836	Concrete	
Stafford Drive			90	1,002	Concrete	
Stoney Oak Ct	X		85	674	Concrete	
Sycamore Lane	X		55	5,319	Concrete	
Tamsworth Court	X		83	693	Concrete	
Tennyson	X		85	868	Concrete	
Tom Stone	X		90	1,271	Concrete	
Virginia	X		80	484	Concrete	
Vista Ridge	X		84	595	Concrete	
Wagonwheel	X		50	1,676	Concrete	
Warwick Way	X		90	797	Concrete	
Wayland	X		84	559	Concrete	
Wessex	X		84	476	Concrete	
Westfield Drive	X		88	6,205	Concrete	
Weston	X		83	701	Concrete	
Whisper Drive	X		90	2,707	Concrete	
Whitestone Drive (Parker to End)		X	83	5,062	Concrete	
Willow Pointe Circle	X		83	387	Concrete	
Windmill Creek Drive	X		50	1,628	Concrete	
Windomere Dr	X		85	1,866	Concrete	
Woodcreek	X		40	668	Asphalt	

## STATE, COUNTY, AND PRIVATE ROADS

Within Parker's boundary, these roads are not maintained by the City.

### State Roads

FM 2514 - Parker Road [— TxDOT](#)

FM 2551 - Hogge/Dillehay [— TxDOT](#)

### County Roads

CR 983 – Bois D Arc Lane

CR 252 – Curtis Lane -(partial)

CR 254 – Lewis Lane (partial)

CR 247 – McWhirter Road

### Private Streets

Andy's Lane

Ann's Lane

Crepe Myrtle Hill

[Lindsey Lane](#) [Gregory Lane \(partial\)](#)

[Mahaney Lane](#) [Lindsey Lane](#)

[Maxwell Creek Ct](#)

[Regal Way](#) [Mahaney Lane](#)

[Smith Road](#) [Regal Way](#)

[Sudbury](#) [Smith Read](#)

[Trail's End](#) [Sudbury](#)

[Windream Lane](#) [Trail's End](#)

[Windream Lane](#)

[Formatted Table](#)

## TRAFFIC SIGNS AND SIGNALS

Within Parker, traffic control is achieved primarily with signage. The city does not own, operate, or monitor any traffic signals to control traffic flow.

TxDOT controls the traffic signals at these intersections:

- Parker Road and Springhill Estates Road
- Parker Road and Dillehay Road
- Parker Road and Hogge Drive
- Parker Road and McCreary Road

## DRAINAGE

Parker has natural storm water drainage via bar ditches in residential neighborhoods. As water flows down, the system may include a retention pond prior to entering a creek. When new homes are constructed, the driveway culvert must be larger than the culvert upstream from them.

The system works well when homeowners' bar ditches are properly maintained. Debris, grass clippings or other obstructions hindering the free flow of water are the main culprit of poor water flow. Every few years, it may be necessary for homeowners to remove silt build up in their drainage ditch to prevent flooding for both them and their upstream neighbors.

Proper bar ditch maintenance also affects roads. Inadequate or improper drainage may cause erosion of the road base, leading to road failure.

Prior to approval of any new subdivision within the city, the developer must submit a drainage plan. The plan is reviewed in detail by the City's Engineer and by Planning & Zoning to ensure it complies with Parker requirements and all specifications are met. Once the plan is approved by Planning & Zoning, it goes to the City Council for final approval.

## GOALS AND OBJECTIVES AFFECTING DRAINAGE

A proactive approach to educate new residents, along with stricter code enforcement, would improve the overall appeal of older neighborhoods along with drainage functionality.

While the percentage of unmaintained home sites and ditches are minimal, it takes only one to cause a problem which may impact an entire neighborhood. Runoff from ETJ properties is one of the primary causes, and one the City cannot control.

## CHAPTER 11: IMPLEMENTATION PLAN

### GETTING US FROM POINT A TO POINT B

This section is for proposed city-wide projects, preliminary budget estimating, and projected timing.

- Location
- Description
- Estimated cost (if known)

The target dates by item (if known) are categorized by the budget year timeframe (-2023/2024 through 2028/2029) and summarized on the following pages.

For more information, see the [Capital Improvement Plan](#).



The City will review and address progress ~~on~~ the Capital Improvement Plan ~~on~~ an on-going ~~bases~~-basis in an effort to:

- Avoid costly surprise expenses,
- Leverage funding from the outside (private, public, or nonprofit funding),
- Provide updates to residents,
- Keep the City's priorities current and on point.

## STREETS & ROADS

### **Objective:**

Provide an on-going maintenance program to address Parker's deteriorating roads. The projects will be based on the engineer's evaluation criteria (see list in Chapter 10). Selected roads will be included in the annual Capital Improvement Plan and updated annually.

Plans for the next 6 years are outlined in Chapter 12 – Prioritization Schedule.

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## PARK, TRAILS AND OPEN SPACES

### Objective:

Increase awareness and usage of the park for new and existing residents. Promote resident engagement in city functions and strengthen community ties.

### Goals:

#### Growth of Parkerfest

- Expand children's games
- Expand vendor section
- Additional entertainment
- Include car show to attract additional attendees

#### Improvement of the Preserve

- Walking path paving
- Additional gardens (can be educational) to attract birds/butterflies
- Signage to point out additional natural features
- Playground equipment
- Restrooms?
- Additional parking

#### Community Pavilion/Complex

- City related activities
- Parks and Rec hosted events
- Rentals for community-based groups

#### Acquisition of Green Space and Trails

- Parks and trails in new developments
- Designation of bicycle trails throughout the City of Parker
- Soccer field (or other sporting related activities)

## **WATER DEPARTMENT FACILITIES**

**Objective:**

Provide a permanent solution for housing water department staff and equipment

**Goal:**

Design and build a facility at the Central Pump Station adequate to house water department personnel, equipment, vehicles, and storage.

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## PROPOSED ELEVATED WATER TOWER

### **Objective:**

Construct a secondary elevated water tower along with the infrastructure needed to connect to the existing water distribution system.

### **Goal:**

- Provide the future projected water demand of Parker residents.
- Tank to be sized to meet the maximum hourly demand and maintain system pressure

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## CITY HALL & POLICE FACILITIES

### **Objective:**

Provide an efficient permanent solution for housing city staff and the police department.

### **Goal:**

- Provide residents a design for new city administration and police facilities
- Receive residents feedback/buy-in
- Obtain and provide estimates
- Bond election
- Commence work

## CHAPTER 12: PROJECT PRIORITIZATION SCHEDULE

### PROPOSED ROAD RECONSTRUCTION AND REPAIRS

#### Budget Year 2023-2024

Item/Road	Maintenance Type	Projected Cost
Annual Street Maintenance	As needed	\$129,796
Curtis, Lewis, Moss Ridge	Repair	250,204
Dublin Rd (S-Curve)	Repair	Combined with above
Gray Lane	Remix	677,249

#### Budget Year 2024-2025

Item/Road	Maintenance Type	Projected Cost
Annual Street Maintenance	As needed	\$380,000
Dublin Rd (S-Curve)	Reconstruct	1,785,950
Lewis Lane	Reconstruct	2,472,503
Ranchview Lane	Remix	328,358
Woodcreek	Remix	218,952

#### Budget Year 2025-2026

Item/Road	Maintenance Type	Projected Cost
Annual Street Maintenance		\$380,000
Church Lane	Reconstruct	1,212,277
Pecan Orchard	Remix	783,298

**Budget Year 2026-2027**

Item/Road	Maintenance Type	Projected Cost
Annual Street Maintenance		\$380,000
Donihoo Lane	Reconstruct	\$1,216,514
Dublin Rd (Betsy to City Limit)	Remix	\$2,985,223
Hackberry Lane (Donihoo to Pecan Orchard)	Reconstruct	\$1,052,879

**Budget Year 2027-2028**

Item/Road	Maintenance Type	Projected Cost
Annual Street Maintenance		\$ 380,000
Hackberry Lane (Pecan Orchard to Cul de Sac)	Reconstruct	\$1,069,708
Kara Lane	Overlay	\$ 469,691
Wagon Wheel	Remix	\$ 672,799

**Budget Year 2028-2029**

Item/Road	Maintenance Type	Projected Cost
Annual Street Maintenance		\$ 380,000
Sycamore	Reconstruct	\$3,636,834

**Projected 6-year total: \$20,102,235**

## PROPOSED WATER AND SEWER SYSTEM

### Budget Year 2023-2024

Project	Description	Projected Cost
FM 2551 Water Line	Replace/Relocate	\$1,200,000
Dublin Rd (South) Water Lines	Replace/Relocate	\$1,452,000
NTMWD Deliver Point 2	Connection to Central Pump Station	TBD

### Budget Year 2025-2026

Project	Description	Projected Cost
Dublin Rd (North) Water Lines	Replace/Relocate	\$1,373,880

### Budget Year 2026-2027

Project	Description	Projected Cost
Water Tower at Chaparral	Design & Build	\$5,016,250

### Budget Year 2027-2028

Project	Description	Projected <u>the</u> Cost
Bois D'Arc Lane	8" Water Line	\$ 415,916

## PROPOSED BUILDING & IMPROVEMENTS

### Budget Year 2023-2024

Project	Description	Projected Cost
Water Department Building	New Facilities Central Pump -Station	\$1,200,000

### Budget Year TBD

Project	Description	Projected Cost
New City Facilities (Admin/Police)	Design & Construct	TBD

## PROPOSED PARK, TRAILS AND OPEN SPACES

### Budget Years 2024/2025 -& -2025/2026

Project	Description	Projected Cost
Improvement of the Preserve	Walking path paving Playground equipment Restrooms <sup>2</sup> Additional parking	TBD Appropriated funds from City of Parker, and apply for County, State, Federal Grants Partner with 501C3, Fundraising
Community Pavilion/Complex	City related activities Parks and Rec hosted events	Appropriated funds from City of Parker. Apply for County, State, Federal Grants

### Budget Years 2025-2028

Project	Description	Projected Cost
Parks and trails in new developments		Appropriated funds from city, grants, City of Parker Public Works consideration for including cycle lanes on major roads,
Designation of bicycle trails throughout the City of Parker	Work with Planning and Zoning to require green space for parks and trails from developers for new developments	approach utility company for use of right-of-way
Soccer field (or other sporting related activities)		Appropriated funds from city, grants, fundraising, generous donation from landowner for unused property (maybe that sits in a flood plain)

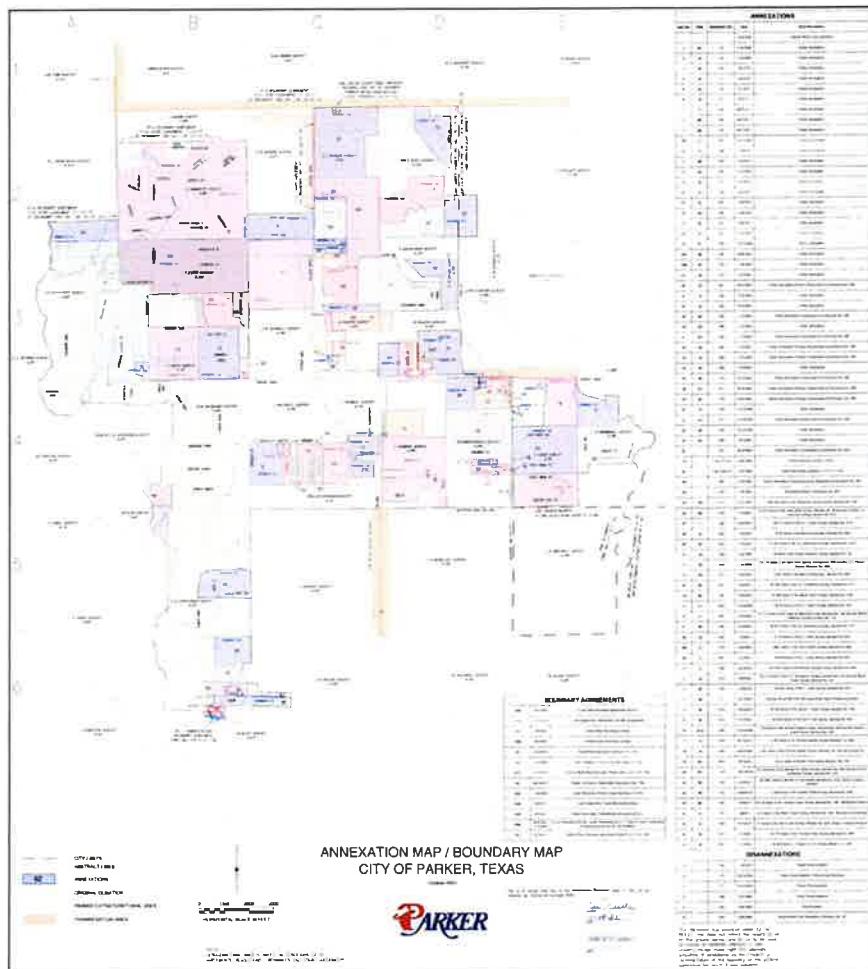
## PLANNING FOR THE FUTURE

For more information on Capital Projects, see the Capital Improvement Plan ([link here](#))

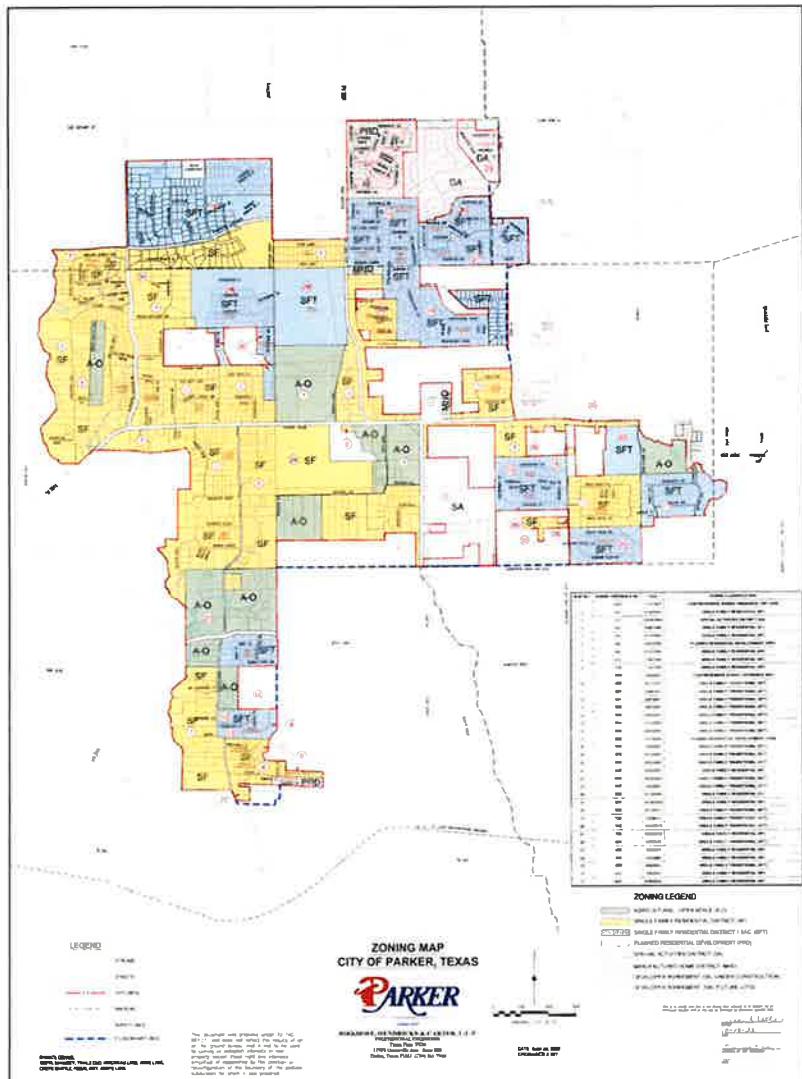
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## CHAPTER 13: APPENDIX

### ANNEXATION/BOUNDARY MAP



## ZONING MAP



## THOROUGHFARE MAP

