



AGENDA

CITY COUNCIL REGULAR MEETING

SEPTEMBER 17, 2024 @ 5:30 PM

Notice is hereby given that the City Council for the City of Parker will meet on Tuesday, September 17, 2024 at 5:30 PM at the Parker City Hall, 5700 E. Parker Road, Parker, Texas, 75002. The City Council meeting will be open to the public and live streamed.

Pursuant to Texas Government Code § 551.127, notice is given that it is the intent of the City Council that a quorum of the Council will be physically present for the above-referenced meeting at Parker City Hall, 5700 E. Parker Road, Parker, Texas. Some council members or City employees may participate in this meeting remotely by means of video conference call in compliance with state law.

CALL TO ORDER – Roll Call and Determination of a Quorum

WORKSHOP

ETHICS,
QUORUMS,
OPEN MEETINGS, AND
PUBLIC RECORDS

CALL TO ORDER – Roll Call and Determination of a Quorum

PLEDGE OF ALLEGIANCE

AMERICAN PLEDGE: I pledge allegiance to the flag of the United States of America; and to the republic for which it stands, one nation under God, indivisible with liberty and justice for all.

TEXAS PLEDGE: Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.

PUBLIC COMMENTS The City Council invites any person with business before the Council to speak to the Council. No formal action may be taken on these items at this meeting. Please keep comments to 3 minutes.

ITEMS OF COMMUNITY INTEREST

1. PEANUT BUTTER FOOD DRIVE FOR NORTH TEXAS FOOD BANK – SEPTEMBER 1-30, 2024

COLLIN APPRAISAL REVIEW BOARD ACCEPTING APPLICATIONS – THROUGH SEPTEMBER 30, 2024 FOR 2025 – PARKER COMMUNITY

NATIONAL NIGHT OUT (NNO) – TUESDAY, OCTOBER 1, 2024, 6 P.M. – 9 P.M

CANCEL OCTOBER 1, 2024 REGULAR CITY COUNCIL MEETING DUE TO NNO/RESCHEDULED TO OCTOBER 2, 2024

PARKS AND RECREATION COMMISSION (P&R) – WEDNESDAY, OCTOBER 9, 2024, 5 PM

CANCEL OCTOBER 15, 2024 REGULAR CITY COUNCIL MEETING DUE TO INTERIM CITY ATTORNEY CLIFTON UNAVAILABILITY/RESCHEDULED TO OCTOBER 22, 2024

PARKERFEST - SUNDAY, OCTOBER 20, 2024, 3:00 PM to 6:00 PM

NATIONAL PRESCRIPTION DRUG TAKE BACK EVENT SATURDAY, OCTOBER 26, 2024, 10 AM – 2 PM

CANCEL NOVEMBER 5, 2024 REGULAR CITY COUNCIL MEETING DUE TO GENERAL ELECTION TO NOVEMBER 12, 2024

REMINDER – NOVEMBER 5, 2024 – GENERAL ELECTION (EV AND ED INFO) –

Early Voting Dates and Times

Monday, October 21, 2024 – Friday, October 25, 2024 8 a.m. – 5 p.m.

Saturday, October 26, 2024 7 a.m. – 7 p.m.

Sunday, October 27, 2024 11 a.m. – 5 p.m.

Monday, October 28, 2024 – Friday, November 1, 2024 7 a.m. – 7 p.m.

CONSENT AGENDA - Routine Council business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Councilmember or member of staff.

- [2.](#) APPROVAL OF MEETING MINUTES FOR SEPTEMBER 3, 2024. [REGULAR MEETING]
- [3.](#) APPROVAL OF MEETING MINUTES FOR SEPTEMBER 4, 2024. [SPECIAL MEETING – EXECUTIVE SESSION ONLY]

INDIVIDUAL CONSIDERATION ITEMS

- [4.](#) CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON ORDINANCE NO. 875 AUTHORIZING EXPENDITURES AND APPROVING AMENDMENT(S) TO THE FY 2023-2024 OPERATING BUDGET.
- [5.](#) **COLIN AND AUBREE MARINO SPECIAL USE PERMIT (SUP):**
PUBLIC HEARING FOR A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.
CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.
- [6.](#) DISCUSSION, CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON DUBLIN ROAD WATER LINE PROJECT.
- [7.](#) CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2024-811 REGARDING THE SUSPENSION OF SELECT PARK RULES PURSUANT TO PARKER CODE OF ORDINANCE SECTIONS 97.11 AND 97.14 FOR PARKERFEST 2024 ON SUNDAY, OCTOBER 20, 2024, FROM 12:00 P.M. TO 8:00 P.M. UPON SATISFYING CERTAIN CONDITIONS.

ROUTINE ITEMS

- [8.](#) **UPDATE(S):**
FM2551
COMP PLAN
TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ)
PROJECTS IN PROGRESS
ENGINEERING CONTRACTS
MONTHLY/QUARTERLY REPORTS

[August 2024 - Building Permit/Code Report](#)

[August 2024 – Court Report](#)

[August 2024 – Finance \(monthly financials\) Report](#)

[Fire 2nd Qtr. Report 2024](#)

[July/August 2024 – Police Report](#)

[August 2024 – Republic Services Inc., dba Allied Waste Services of Plano](#)

DONATION(S)

9. ACCEPTANCE OF DONATION(S) FOR POLICE, FIRE, AND CITY STAFF FOR THE RECORD (Each valued at between \$0 - \$1,000 [RES. NO. 2024-801])

Tory and Melissa Tierce donated cookies valued at \$20 to the Police Department.

Patricia Mejia, President & CEO, Children's Advocacy Center for Rockwall County, donated a basket of flavored popcorn valued at \$30 to City Staff.

Dan Terrill & family donated popcorn valued at \$40 to the Police Department.

FUTURE AGENDA ITEMS

10. FUTURE AGENDA ITEMS

EXECUTIVE SESSION START TO FINISH – PURSUANT TO THE PROVISION OF CHAPTER 551, TEXAS GOVERNMENT CODE THE CITY COUNCIL MAY HOLD A CLOSED MEETING.

RECESS TO CLOSED EXECUTIVE SESSION IN ACCORDANCE WITH THE AUTHORITY CONTAINED IN:

Government Code Section 551.074 Personnel—To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee.

Government Code Section 551.071(1)—Consultation with City Attorney concerning Pending or Contemplated Litigation.

Government Code Section 551.071(2) – Consultation with Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter (Open Meetings Act).

RECONVENE REGULAR MEETING.

ANY APPROPRIATE DELIBERATION AND/OR ACTION ON ANY OF THE EXECUTIVE SESSION SUBJECTS LISTED ABOVE.

ADJOURN

In addition to any specifically identified Executive Sessions, Council may convene into Executive Session at any point during the open meeting to discuss any item posted on this Agenda. The Open Meetings Act provides specific exceptions to the requirement that a meeting be open. Should Council elect to convene into Executive Session, those exceptions will be specifically identified and announced. Any subsequent action, as a result of this Executive Session, will be taken and recorded in open session.

I certify that this Notice of Meeting was posted on or before September 13, 2024, by 5:00 p.m. at the Parker City Hall, and required by Texas Open Meetings Act (TOMA) is also posted to the City of Parker Website at www.parkertexas.us.

Date Notice Removed

Patti Scott Grey
City Secretary

The Parker City Hall is Wheelchair accessible. Sign interpretations or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972 442 6811.



Council Agenda Item

Budget Account Code:	Meeting Date:	See above.
Budgeted Amount:	Department/ Requestor:	Council
Fund Balance-before expenditure:	Prepared by:	ACA/CS Scott Grey
Estimated Cost:	Date Prepared:	September 9, 2024
Exhibits:	<ol style="list-style-type: none"> 1. Peanut Butter Food Drive For North Texas Food Bank Info 2. Collin Appraisal Review Board Accepting Applications – Through September 30, 2024 for 2025 – Parker Community 3. National Night Out Flyer 	

AGENDA SUBJECT

PEANUT BUTTER FOOD DRIVE FOR NORTH TEXAS FOOD BANK – SEPTEMBER 1-30, 2024

COLLIN APPRAISAL REVIEW BOARD ACCEPTING APPLICATIONS – THROUGH SEPTEMBER 30, 2024 FOR 2025 – PARKER COMMUNITY

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CANCEL NOVEMBER 5, 2024 REGULAR CITY COUNCIL MEETING DUE TO GENERAL ELECTION

REMINDER – NOVEMBER 5, 2024 – GENERAL ELECTION (EV AND ED INFO) –

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Sunday, October 27, 2024 11 a.m. – 5 p.m.

Monday, October 28, 2024 – Friday, November 1, 2024 7 a.m. – 7 p.m.

SUMMARY

Please review information provided.

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use

Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/xx/2024 via Municode
Mayor	<i>Lee Pettie</i>	Date:	09/xx/2024

North Texas Food Bank presents

Peanut Butter Drive

Collect physical
Peanut Butter or
donate to the virtual
Peanut Butter Drive.

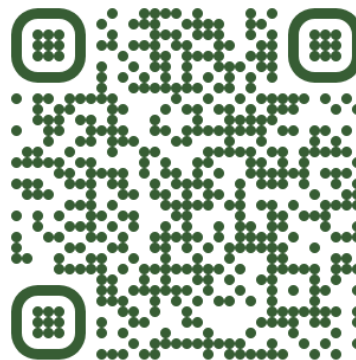


SEPT.
1-30

Every September, as part of **Hunger Action Month**, the North Texas Food Bank spreads awareness of hunger by hosting the annual Peanut Butter Drive.

This year's goal is **\$300,000** dollars for peanut butter purchases and 100,000 Lbs. of physical peanut butter.

For more info visit
ntfb.org/peanut-butter-drive





Patti Scott Grey
5700 E Parker Rd
Parker, TX 75002-6767



August 2024

Dear Patti,

Texas is currently the hungriest state in the U.S., according to a new Feeding America study, with nearly 778,000 people facing food insecurity right here in North Texas. That means you probably cross paths with someone dealing with the harsh reality of hunger in your neighborhood, at your office or maybe even in your child's school.

The face of hunger is changing, and the need for nutritious food is growing. As more neighbors turn to us for consistent access to nourishing meals, I'm grateful for partners like you.

Your committed investment helps ensure that children, older adults and families never have to worry about when they'll eat their next meal.

In our fall issue of *Around the Table*, I'm excited to introduce you to Maria, Derwin and Jennifer, all of whom have experienced the power of your generosity firsthand. Because of you, Derwin can stay healthy after a heart attack, and Maria always has a nourishing meal ready for her family. And as a volunteer, Jennifer can attest that you are truly "helping people believe they matter."

Thank you for using your influential voice to proclaim that hunger is unacceptable and act on the hunger crisis through smart policy. If you have any questions regarding hunger-related programs in North Texas or if you would like to become more involved in our mission, please do not hesitate to contact me at policy@ntfb.org.

It's a great honor to partner with you in our critical mission to nourish and uplift our neighbors. Thank you for standing with us to nurture a healthy future for all North Texans!

Gratefully,

A handwritten signature in blue ink that reads "Clarissa Clarke". The script is fluid and cursive.

Clarissa Clarke
Government Relations Director

AROUND *the* TABLE

Fall 2024

**You're
transforming
lives through
healthy food
for neighbors
across North
Texas this fall.**



Trisha Cunningham
President & CEO



Nourish Your Neighbors This Fall



It's heartbreaking to know that Texas now has the highest number of people facing food insecurity in the nation with nearly 5 million people facing hunger. And nearly 778,000 of those individuals are right here in our own community.

In the face of economic uncertainty and food insecurity, your compassion provides a crucial lifeline. Thank you for ensuring that every neighbor in North Texas has access to the healthy food they need to thrive.

I'm so excited for you to meet Maria, Derwin and Jennifer in this issue of *Around the Table*. Their stories illustrate the amazing impact of your generosity to transform lives, strengthen families and empower our neighbors with dignity and hope.

This fall, thousands of people will turn to the North Texas Food Bank, and with your help, we will be ready to answer the call. **Your partnership provides more than a meal. It's an investment in a brighter tomorrow for all North Texans.**

Thank you for nurturing a hunger-free, healthy North Texas, one meal at a time!

Gratefully,

Trisha Cunningham
President & CEO

Board

Meeting Date: 09/17/2024 Item 1.

Executive Committee

Ginny Kissling, *Ryan, LLC (Chair)*
Jerri Garison, *Baylor Scott & White Health (Immediate Past Chair)*
John Beckert, *Community Volunteer*
Jeff George, *Maytal Capital*
Patti Hansen, *Capital One*
Calvin Hilton, *Community Volunteer*
Rev. Dr. Lael C. Melville, *Melville Family Foundation*
Retta Miller, *Jackson Walker, LLP*
Mike Preston, *Community Volunteer*
Adam Saphier, *Trammell Crow Co.*

Members at Large

Aradhana (Anna) Asava, *HungerMitao*
Chris Barrett, *Boston Consulting Group*
Edmundo Castañeda, *Parkland Health*
Nitin Chaturvedi, *Community Volunteer*
Kimberly Cockrell, *Toyota Motor North America*
Catherine Enrico, *The Enrico Foundation*
Mabrie Jackson, *H-E-B/Central Market*
Don Janacek, *FreshOne Holdings, LLC*
Meredith Jeter*, *Junior League of Dallas*
Russell Jones, *AT&T*
Kim Kesler, *KPMG, LLP*
Tom Nelson, *Albertsons/Tom Thumb*
Tom Walker, *Dallas Cowboys Football Club Ltd*
***Ex-officio members**

Chair Emeritus

Anurag Jain, *Access Healthcare*

General Counsel

Andy Zollinger, *DLA Piper LLP (US)*

President & CEO

Trisha Cunningham

Life Board Members

John A. Beckert, *Community Volunteer*
Tom Black, *Community Volunteer*
Jerry Ellis, *Community Volunteer*
Anurag Jain, *Access Healthcare*
Teresa Phillips, *TPHD, LLC*
Stephan Pyles, *Stephan Pyles Concepts*

Founders

Jo Curtis
Ambassador Kathryn Hall
Lorraine Griffin Kircher
Liz Minyard

Address, Email and Phone Number for all members:
3677 Mapleshade Lane, Plano, TX 75075
kathym@ntfb.org
214.989.6678

Thank You for Looking Out for Veterans Like Derwin!

Access to nourishing meals makes for healthy lives.

When a heart attack forced Derwin into early retirement, the Air Force veteran found himself facing an uncertain future. Navigating the challenges of living on a fixed income and mounting medical bills, he didn't know where to turn for help.

Then Derwin discovered one of our distribution partners serving veterans and active members of the military. With access to produce, meat and other wholesome staples, he can now stock up on the nutritious food he needs to keep his body strong and his heart healthy.

"Groceries cost so much these days. I'm glad I can come here for fresh veggies and fruit," Derwin says. "It allows me to put that money toward other things I need."

Because of you, Derwin never has to choose between paying his bills or enjoying a nourishing meal. And beyond the healthy food he receives, Derwin recognizes the deeper impact of your support — for himself and for all North Texans.

"Sometimes you just need a helping hand. Thank you for helping — thank you for looking out for the veterans."

When you support the North Texas Food Bank, you're investing in the lives of thousands of neighbors, including men and women who served our country, like Derwin. Thank you for ensuring that every person has the healthy food they need to thrive — today, tomorrow and for years to come!

"Sometimes you just need a helping hand."

— Derwin



Your generosity provides food — and hope — when it's needed most!

Transforming Hunger into Hope: Your

Your generosity transforms lives and strengthens com



Support Shapes Tomorrow Communities across North Texas.



Together, we're building a hunger-free, healthy North Texas!

You empower
children with
the food they
need to grow
up healthy
and strong.



Ways to Get Involved

Hunger Action Month

Every September, the North Texas Food Bank joins Feeding America to raise awareness and inspire action in the fight against hunger. From volunteer opportunities to fundraising campaigns, there are many ways you can get involved. Learn more at ntfb.org/HAM.

CANstruction

CANstruction, an annual event of giant canned food structures, will be on display at NorthPark Center from September 14 - October 6. Donate to vote in person or online for your favorite sculpture. Not only will gifts benefit the North Texas Food Bank, but all the canned goods used in the sculptures will be donated as well! Learn more at ntfb.org/canstruction.

2024 State Fair of Texas

From September 27 through October 20, the North Texas Food Bank is excited to partner again with the State Fair of Texas to help our neighbors facing hunger. Visitors to this year's state fair can bring two jars of peanut butter on opening day to receive \$10 off admission. And every Wednesday, guests can bring five canned food items to get admission for only \$5!



Make an Impact With a Lasting Legacy

Partner with the North Texas Food Bank to help create a hunger-free, healthy North Texas for years to come.

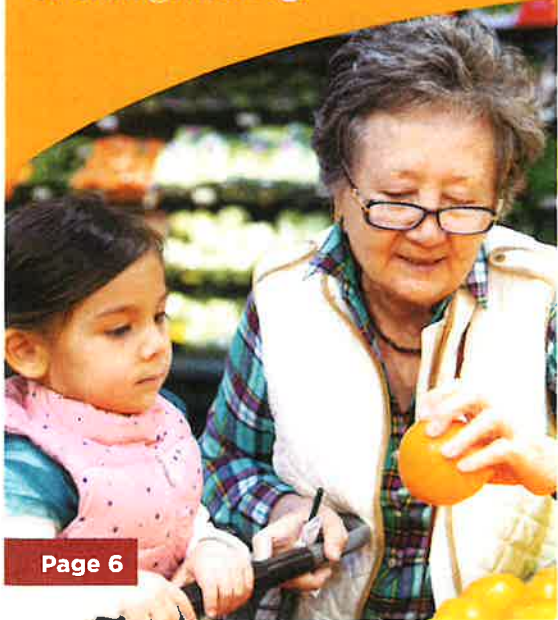
When you make a planned gift, you'll become a member of The Full Plate Society, which includes invitations to special events and more. Join us today and help ensure that future generations don't have to fear hunger.

Types of Planned Gifts

- Wills and living trusts
- Life insurance gifts
- Stock gifts and real estate
- IRA charitable rollovers
- Appreciated securities

If the North Texas Food Bank is already part of your plan, please let us know.

For questions or to share what you envision your legacy could be, contact Erin Fincher at 214-269-8976 or erinf@ntfb.org.



Spread

Meeting Date: 09/17/2024 Item 1.



SEPTEMBER 1 - 30, 2024

During Hunger Action Month each September, the North Texas Food Bank's Peanut Butter Drive highlights food insecurity throughout our community by collecting jars of peanut butter and other nut butters. These are distributed through feeding initiatives like our Nourish the Future programs, which target child hunger through work with schools and other partners to provide healthy foods for children and families.

Last year, thanks to the community's support, we collected more than 78,000 pounds of peanut butter and raised nearly an additional \$265,000 to purchase peanut butter during the year. And this year, we plan to top that! Our goal is to collect \$400,000 in pounds and dollars! Your company, school or organization can register to host your own drive or participate virtually, or you can collect jars and drop them off at NTFB's Perot Family Campus.

For more information, visit ntfb.org/peanutbutterdrive.

NORTH TEXAS GIVING DAY SEPTEMBER 19, 2024

Join your North Texas community on September 19 to make this year's North Texas Giving Day the most successful ever! In 2023, we united for our largest community-wide giving event to raise the funds needed to provide **more than 4.2 million nutritious meals!**

As high costs continue to impact us all, our neighbors facing hunger need your support more than ever. Beginning on September 1, you can schedule your online gift in advance or set a reminder to give on September 19.

Visit ntfb.org/givingday to help our community thrive.

**NORTH TEXAS
GIVING DAY**
COMMUNITIES FOUNDATION of TEXAS

SPONSORED BY 

With your continued support,
will have access to healthy food this fall.

Meeting Date: 09/17/2024 Item 1.



You're Making a Difference for Maria and Her Family

Thank you for ensuring every parent can put food on the table!

Stretching every dollar is a daily challenge for Maria. Thanks to you, she can rest assured that she'll always be able to provide healthy meals for her family.

Before Maria learned about the North Texas Food Bank, her family was struggling to make ends meet. Caring for six children at home, inflation was taking its toll as the cost of essentials like rent, taxes and groceries continued to climb.

"With everything so expensive, we were bordering on poverty," Maria shares. "Money used to go further, but now we can't afford to buy the same things."

Thankfully, a friend told Maria about one of our partner food pantries. Today, she can save money

on her grocery bill with staples like rice, oatmeal and fresh vegetables. The food she receives provides enough nourishment for her family, as well as her daughter's husband and mother-in-law.

Consistent access to healthy food has been life-changing for Maria's entire family — and **this crucial support is possible because of you!** Your generosity empowers parents to put food on the table, save money and plan for their family's future.

Maria gratefully shared, "Thank you so much to the North Texas Food Bank and all the people who support them. It's helped me so much! My children can eat better, and we are very happy."

“Helping people believe they matter — that’s what this is all about.”

Jennifer sees the power of your generosity for North Texans.

Jennifer, a North Texas Food Bank volunteer, knows firsthand how hard it can be to put food on the table. “I’ve been the person that almost experienced homelessness, and I know what it feels like not to have food,” she shares. That’s why she volunteers with one of our local food pantry partners.

Every week, Jennifer witnesses how your generosity provides a lifeline for children, older

adults and families facing hunger. The North Texas Food Bank partners with nearly 500 community organizations to distribute about 400,000 meals per day. Jennifer particularly loves seeing the diverse array of people who are empowered because of your support, saying,

“

There are so many people who come here — older and younger, single and married, American-born and immigrant. I just love that this place is here for every single person who needs it.

”

For North Texans facing hunger, the gift of a nourishing meal is about more than food. It provides the stability and hope our neighbors need to build brighter tomorrows. And for Jennifer, the gratitude and renewed sense of dignity she sees in her neighbors is the best reward.

“It’s so wonderful to see the smile on somebody’s face. Helping people believe they matter — that’s what this is all about.”



Thank you for investing in your neighbors. Your gift brings us one step closer to a hunger-free, healthy North Texas!



Physical Address:
3677 Mapleshade Lane
Plano, TX 75075
P 214.330.1396
F 214.331.4104

Mailing Address:
P.O. Box 676204
Dallas, TX 75267-6204

Our Vision:
A hunger-free, healthy North Texas



Connect with us on social media!

From: [George Chollar](#)
To: [Patti Grey](#)
Subject: Collin Appraisal Review Board Accepting Applications
Date: Thursday, September 5, 2024 11:16:38 AM
Attachments: [image001.png](#)
[Collin ARB Press Release FINAL, 08-28-2024.docx](#)

Ms. Grey,

The Collin County Appraisal Review Board (ARB) is accepting applications for New Members whose term would begin in January 2025. This opportunity may be of interest to members of the Parker community.

The ARB is a citizen's board that sits in panels to hear testimony, review evidence and determine property owner protests, which cannot be resolved informally with the Collin Appraisal District.

If possible, we would like for this opportunity to be announced to residents of the Parker community through a community website or other publications. Applications will be accepted through September 30, 2024.

The text for the announcement requesting applications is attached. Additional details are available at www.collinarb.org

Thank you for considering this request. Please contact me if you have any questions.

Regards,

George Chollar
Collin County ARB Chairman
214-923-7969



Collin County Appraisal Review Board Accepting Applications for 2025

The Collin Central Appraisal District Board of Directors is now accepting applications for appointment to the Collin County Appraisal Review Board (ARB) for a 1- or 2-year term, to begin on Jan. 1, 2025, and end Dec. 31, 2025/2026. The ARB is a board of citizens that determines taxpayer protests of property appraisals made by the Collin Central Appraisal District (CAD).

ARB service requires a full-time commitment during the spring and summer months. In 2024, the Collin County ARB had over 45,000 hearings. Additionally, although members may not be scheduled every day, they must be available to serve every day if needed, including some Saturdays in May, June, and July. Hearings are usually held one week per month throughout the year. Members are compensated per-diem for meetings and are reimbursed for expenses incurred in the performance of their duties. ARB members are also required to attend training sessions.

Applications must be submitted to the Collin CAD Board of Directors through the CAD Taxpayer Liaison Officer and must be received by September 30, 2024, to be considered.

An applicant must be a resident of Collin County and must have resided in the county for at least the past two years.

More information about the Appraisal Review Board and requirements for members can be found in the Texas Tax Code, Chapter 6.41 [Texas Tax Code Section 6.41 - Appraisal Review Board \(public.law\)](#)

Applications are available at collinarb.org or by calling 469-742-9200.

You may also submit an on-line version at <https://collinarb.org/application/>

Applicants selected as finalists may be scheduled for interviews.

If not submitted online, send applications to:

**Collin CAD / Appraisal Review Board
ATTN: Christopher Nickell - Taxpayer Liaison Officer
250 Eldorado Pkwy.
McKinney, TX 75069-8023**

Or by email to TLO@cadcollin.org with subject line ARB Member Application

National Night Out

National Night Out, an annual, nationwide Neighborhood Watch campaign, is held in early October (Texas only). This program promotes involvement in local crime and drug prevention activities, strengthens police-community partnerships, and encourages neighborhood camaraderie as part of our national efforts to let criminals know that not only America and the State of Texas are united, but the City of Parker is also dedicated in building a safer and more caring community within our country. Along with the traditional “lights on” and front porch vigils, cities and towns across America celebrate NNO with a variety of events and activities such as: block parties, cookouts, parades, flashlight walks, visits from local police, and safety demonstrations.



Parker PD National Night Out 2024 Registration

National Night Out 2024 will be held on October 1, 2024. Please visit www.natw.org for more information and block party ideas.

The Parker Police Department would love to participate in all the National Night Out activities going on throughout the city. If your neighborhood or just a couple of friends are getting together to promote and participate in National Night Out 2024, please feel free to complete the [National Night Out Registration Form 2024](#) and we will be sure to stop by and say, "Hi"! Registered block parties will receive visits from members of the City Council, members of the City Staff, the Parker Police Department, and the Parker Fire Department.

If you would like to request cones or barricades for your event, please contact us at 972-442-0333.

Registration forms must be submitted by September 27th at 5 p.m. via email to Michelle Hsieh (mhsieh@parkertexas.us)



Council Agenda Item

Budget Account Code:	Meeting Date:	See above.
Budgeted Amount:	Department/ Requestor:	City Secretary
Fund Balance-before expenditure:	Prepared by:	ACA/CS Scott Grey
Estimated Cost:	Date Prepared:	September 9, 2024
Exhibits:	Proposed Minutes	

AGENDA SUBJECT

APPROVAL OF MEETING MINUTES FOR SEPTEMBER 3, 2024. [REGULAR MEETING]

SUMMARY

Please review the attached minutes. If you have any questions, comments, and/or corrections, please contact the City Secretary at PGrey@parkertexas.us prior to the City Council meeting.

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/12/2024 via Municode
Mayor:	<i>Lee Pettie</i>	Date:	09/xx/2024



MINUTES
CITY COUNCIL MEETING
SEPTEMBER 3, 2024

CALL TO ORDER – Roll Call and Determination of a Quorum

The Parker City Council met in a regular meeting on the above date at Parker City Hall, 5700 E. Parker Road, Parker, Texas, 75002.

Mayor Lee Pettle called the meeting to order at 7:00 p.m. Mayor Pro Tem Jim Reed and Councilmembers Randy Kercho, Amanda Noe, and Buddy Pilgrim were present. Councilmember Todd Fecht was absent.

Staff Present: Asst. City Administrator/City Secretary Patti Scott Grey (left at 8:15 p.m.), Finance/Human Resources Director Grant Savage (left at 8:15 p.m.), Interim City Attorney Catherine Clifton, Public Works Director Gary Machado (left at 8:15 p.m.), Fire Chief Mike Sheff (left at 8:15 p.m.), and Police Chief Kenneth Price (left at 8:15 p.m.)

PLEDGE OF ALLEGIANCE

AMERICAN PLEDGE: Fire Chief Mike Sheff led the pledge.

TEXAS PLEDGE: Police Chief Kenneth Price led the pledge.

PUBLIC COMMENTS The City Council invites any person with business before the Council to speak. No formal action may be taken on these items at this meeting. Please keep comments to 3 minutes.

Linda S. Nelson, 5802 Corinth Chapel Road, said the vacant City Administrator position was important, and an interim may need to be considered so the work does not fall on the mayor, council, and/or remaining city staff. Mrs. Nelson suggested delaying the job posting until agreement is reached on issues such as who the city administrator reports to, sets his/her goals, and does his/her evaluations. She noted the Dallas Morning News had an interesting article recently, regarding city managers and she thought it could be helpful.

Sireesha Penmatsa, 4405 Dover Drive (Kings Crossing Phase 3), said this is the third time she has come before City Council regarding flooding issues on her property and neighborhood. Ms. Penmatsa asked City Council to look into the issue. She asked who was responsible for the flooding and what could be done.

Zoila Rios, 4403 Dover Drive, said she is a neighbor of Ms. Penmatsa and suffers from flooding also. Ms. Rios said she travels and worries her home will flood while she is out of town. Ms. Rios said this is an issue throughout the neighborhood.

ITEMS OF COMMUNITY INTEREST

Mayor Pettle reviewed the upcoming Community Interest items below:

1. PEANUT BUTTER FOOD DRIVE FOR NORTH TEXAS FOOD BANK – SEPTEMBER 1-30, 2024

PARKS AND RECREATION COMMISSION (P&R) – WEDNESDAY, SEPTEMBER 11, 2024, 5 PM

NATIONAL NIGHT OUT (NNO) – TUESDAY, OCTOBER 1, 2024, 6 P.M. – 9 P.M

CANCEL OCTOBER 1, 2024 REGULAR CITY COUNCIL MEETING DUE TO NNO/RESCHEDULED TO OCTOBER 8, 2024

CANCEL OCTOBER 15, 2024 REGULAR CITY COUNCIL MEETING DUE TO INTERIM CITY ATTORNEY CLIFTON UNAVAILABILITY/RESCHEDULED TO OCTOBER 22, 2024

PARKERFEST - SUNDAY, OCTOBER 20, 2024, 3:00 PM to 6:00 PM

NATIONAL PRESCRIPTION DRUG TAKE BACK EVENT SATURDAY, OCTOBER 26, 2024, 10 AM – 2 PM

CANCEL NOVEMBER 5, 2024 REGULAR CITY COUNCIL MEETING DUE TO GENERAL ELECTION

REMINDER – NOVEMBER 5, 2024 – GENERAL ELECTION (EV AND ED INFO) –

Early Voting Dates and Times

Monday, October 21, 2024 – Friday, October 25, 2024 8 a.m. – 5 p.m.

Saturday, October 26, 2024 7 a.m. – 7 p.m.

Sunday, October 27, 2024 11 a.m. – 5 p.m.

Monday, October 28, 2024 – Friday, November 1, 2024 7 a.m. – 7 p.m.

CONSENT AGENDA Routine Council business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Councilmember or member of staff.

2. APPROVAL OF MEETING MINUTES FOR AUGUST 20, 2024. [REGULAR MEETING]
3. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2024-807 APPROVING A NEGOTIATED SETTLEMENT BETWEEN THE ATMOS CITIES STEERING COMMITTEE AND ATMOS ENERGY CORP., MID-TEX DIVISION REGARDING THE COMPANY'S 2024 RATE REVIEW MECHANISM FILING AND ADOPTING TARIFFS TO REFLECT RATE ADJUSTMENTS.

MOTION: Councilmember Kercho moved to approve consent agenda items 1 and 2 as presented. Councilmember Noe seconded with Councilmembers Kercho, Noe, Pilgrim, and Reed voting for the motion. Motion carried 4-0.

INDIVIDUAL CONSIDERATION ITEMS

4. PUBLIC HEARING ON THE PROPOSED FY2024-2025 BUDGET.

Mayor Lee Pettie opened a public hearing at 7:16 p.m. to receive comments regarding the Proposed FY2024-2025 Budget.

Finance/Human Resources Director Savage reviewed the City Council Work Session FY 2024-2025 Public Hearing – Budget, Tuesday, September 3, 2023 PowerPoint in tonight's Council packet, stating the budget has been prepared using the proposed tax of \$0.310439 per \$100 valuation, a decrease of \$0.012241 from the previous year.

Mayor Pettie asked if there were any questions on the Proposed FY 2024-2025 Budget.

No one came forward.

Mayor Pettie declared the public hearing closed at 7:20 p.m.

5. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON ORDINANCE NO. 872 ADOPTING THE 2024-2025 BUDGET.

MOTION: Councilmember Noe moved to adopt Ordinance No. 872 approving the Fiscal Year 2024-2025 Budget as presented.. Councilmember Kercho seconded with Councilmembers Kercho, Noe, Pilgrim, and Reed voting for the motion. Motion carried 4-0.

6. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON ORDINANCE NO. 873 RATIFYING THE PROPERTY TAX REVENUE INCREASE IN THE 2024-25 BUDGET AS A RESULT OF THE CITY RECEIVING MORE REVENUES FROM PROPERTY TAXES IN THE 2024-25 BUDGET THAN IN THE PREVIOUS FISCAL YEAR; AND PROVIDING AN EFFECTIVE DATE.

MOTION: Mayor Pro Tem Reed moved to adopt Ordinance No. 873 ratifying the increase in property tax revenues reflected in the Fiscal Year 2024-2025 Budget. Councilmember Kercho seconded with Councilmembers Kercho, Noe, Pilgrim, and Reed voting for the motion. Motion carried 4-0.

7. PUBLIC HEARING ON THE PROPOSED FY2024-2025 TAX RATE.

Mayor Lee Pettie opened a public hearing at 7:29 p.m. to receive comments regarding the Proposed FY2024-2025 Tax Rate.

Finance/Human Resources Director Savage reviewed the City Council Work Session FY 2024-2025 Public Hearing on Proposed Tax Rate, Tuesday, September 3, 2024 PowerPoint in tonight's Council packet, noting the proposed tax rate is \$0.310439 per \$100 valuation, a decrease of \$0.012241 from the previous year. Although the rate decreased, the City Council is required to hold a public hearing on the proposed tax rate because it exceeds the "No-New Revenue Rate". The proposed tax rate is 5.48% above the No-New Revenue Rate.

Mayor Pettie asked if there were any questions on the Proposed FY 2024-2025 Tax Rate.

No one came forward.

Mayor Pettie declared the public hearing closed at 7:31 p.m.

8. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON ORDINANCE NO. 874 ADOPTING THE 2024 TAX RATE.

MOTION: Mayor Pro Tem Reed moved to adopt Ordinance No. 874 setting a tax rate of \$0.310439, which is effectively a 5.48 percent increase in the tax rate above the No-New-Revenue Tax Rate. Councilmember Noe seconded with Councilmembers Kercho, Noe, Pilgrim, and Reed voting for the motion. Motion carried 4-0.

Mayor and City Council thanked Finance/Human Resources Director Savage and City Staff.

9. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2024-808 PROVIDING FOR THE MODIFICATION AND EXECUTION OF THE JAIL SERVICES CONTRACT AMENDMENT ~~THREE (3)~~ FOUR (4) BETWEEN THE CITY OF PARKER AND COLLIN COUNTY.

Police Chief Price reviewed the information in tonight's packet, regarding the jail services contract Amendment 4.

MOTION: Councilmember Kercho moved to approve Resolution No. 2024-808 providing for the modification and execution of the jail services contract amendment four (4) between the City of Parker and Collin County. Mayor Pro Tem Reed seconded with Councilmembers Kercho, Noe, Pilgrim, and Reed voting for the motion. Motion carried 4-0.

10. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2024-809 APPROVING THE TERMS OF AN INTERLOCAL AGREEMENT BETWEEN THE CITY OF MURPHY AND THE CITY OF PARKER PROVIDING POLICE DISPATCH SERVICES.

Police Chief Price reviewed the information in tonight's packet, regarding the terms of the Police Dispatch Services Interlocal Agreement (ILA)

MOTION: Mayor Pro Tem Reed moved to approve Resolution No. 2024-809 approving the terms of an interlocal agreement between the City of Murphy and the City of Parker providing for Police Dispatch Services. Councilmember Noe seconded with Councilmembers Kercho, Noe, Pilgrim, and Reed voting for the motion. Motion carried 4-0.

11. CONSIDERATION AND/OR ANY APPROPRIATE ACTION BY COUNCIL IN CASTING THE CITY'S VOTE FOR THE TEXAS MUNICIPAL LEAGUE (TML) INTERGOVERNMENTAL RISK POOL BOARD OF TRUSTEES ELECTION.

After discussion and review of the Texas Municipal League (TML) ballot in tonight's packet, identifying the names and qualifications of the candidates for Places 11-14, Mayor and City Council agreed on the following slate of candidates:

PLACE 11

Robert S. Davis

PLACE 12

Allison Heyward

PLACE 13

James Quin

PLACE 14

Mike Land

MOTION: Councilmember Noe moved to approve the agreed upon slate of candidates for the Texas Municipal League (TML) Intergovernmental Risk Pool Board of Trustees Election. Mayor Pro Tem Reed seconded with Councilmembers Kercho, Noe, Pilgrim, and Reed voting for the motion. Motion carried 4-0.

ROUTINE ITEMS

12. UPDATE(S):

FM2551

Public Works Director Machado said equipment has been moved in, it appears Texas Department of Transportation (TxDot) is working on drainage on the north end, and he expects work to begin again shortly.

Dublin Road Water Lines

Public Works Director Machado indicated the project was on schedule and expected to be completed by the end of this week or early next week.

COMP PLAN

Planning and Zoning (P&Z) Commission plans to hold a public hearing for the Comprehensive Plan (COMP Plan) Thursday, September 26, 2024, at 5 p.m., after the public hearing is advertised in the Dallas Morning News, September 9, 2024.

NOISE COMMITTEE

Mayor Pettie asked for an update on the Noise Committee. At the Tuesday, July 2, 2024, Regular City Council Meeting City Council discussed Ordinance No. 750 (Amending Nuisance Ordinance [553] – Noise Ord.), and the following motion and request transpired:

“MOTION: Councilmember Pilgrim moved to appoint a committee consisting of Councilmember Todd Fecht, City Administrator Luke Olson, Police Chief Kenneth Price, ex officio member Legal Counsel, and residents Billy Barron and Rick Debus *[when contacted, and agrees to serve]* to oversee review of Parker’s noise ordinance and bring recommendations back to City Council. Mayor Pro Tem Reed seconded with Councilmembers Fecht, Kercho, Noe, Pilgrim, and Reed voting for the motion. Motion carried 5-0.

Councilmember Fecht requested City Administrator Olson send him the email addresses of the committee members to get meetings setup expeditiously. City Administrator Olson agreed.” *[Excerpt from July 2, 2024, City Council Meeting Minutes.]*

City Administrator Olson sent Councilmember Fecht the email addresses as requested.

At tonight’s meeting, resident Billy Barron indicated he had not been contacted as of yet for meeting dates/times. Mayor Pettie noted Councilmember Kercho has completed research on the matter. After discussion, City Council asked Councilmember Kercho if he would consider taking former City Administrator

Olson's place on the committee and schedule a meeting with the Committee members to get things moving. Councilmember Kercho agreed.

CITY ATTORNEY APPLICATIONS

Mayor Pettie said the deadline for applications has closed. There were five (5) applications in total, three (3) individuals and two (2) firms. She said she would like to go through the applications to make sure they meet qualifications and then set up interviews. City Council discussed several dates/times and decided to tentatively meet for interviews on the afternoon of Thursday, September 19, 2024.

DONATION(S)

13. ACCEPTANCE OF DONATION(S) FOR POLICE, FIRE, AND CITY STAFF FOR THE RECORD (Each valued at between \$0 - \$1,000 [RES. NO. 2024-801])

Manny (LNU) donated 1 case water & 1 case soda valued at \$15 to the Police Department.

Mayor Pettie, on behalf of herself, City Council, and City Staff, thanked the donor for the kind and generous donation.

FUTURE AGENDA ITEMS

14. FUTURE AGENDA ITEMS

Mayor Pettie asked if there were any items to be added to the future agenda.

Councilmember Noe requested setting a date for the Personnel Manual Workshop.

Mayor Pro Tem Reed asked for alternate November 5, 2024 City Council meeting dates, due to the General Election.

Councilmember Pilgrim asked for the organization structure and/or chart for the City and related ordinances.

Hearing no additional requests, Mayor Pettie encouraged everyone to email her any additional requests. She noted the next regularly scheduled meeting would be Tuesday, September 17, 2024.

EXECUTIVE SESSION - Pursuant to the provisions of Chapter 551, Texas Government Code, Vernon's Texas Codes Annotated the City Council may hold a closed meeting.

RECESS TO CLOSED EXECUTIVE SESSION IN ACCORDANCE WITH THE AUTHORITY CONTAINED IN:

Government Code Section 551.074 Personnel—To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee.

Government Code Section 551.071(1)—Consultation with City Attorney concerning Pending or Contemplated Litigation.

Government Code Section 551.071(2) – Consultation with Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter (Open Meetings Act).

Mayor Lee Pettle recessed the regular meeting to Executive Session at 8:11 p.m.
RECONVENE REGULAR MEETING.

Mayor Lee Pettle reconvened the meeting at 9:49 p.m.
ANY APPROPRIATE DELIBERATION AND/OR ACTION ON ANY OF THE EXECUTIVE
SESSION SUBJECTS LISTED ABOVE.

No action was taken.

ADJOURN

Mayor Lee Pettle adjourned the meeting at 9:49 p.m.

APPROVED:

Mayor Lee Pettle

ATTESTED:

Approved on the 17th day
of September, 2024.

Patti Scott Grey, City Secretary



Council Agenda Item

Budget Account Code:	Meeting Date: See above.
Budgeted Amount:	Department/ Requestor: City Secretary
Fund Balance-before expenditure:	Prepared by: ACA/CS Scott Grey
Estimated Cost:	Date Prepared: September 9, 2024
Exhibits:	Proposed Minutes

AGENDA SUBJECT

APPROVAL OF MEETING MINUTES FOR SEPTEMBER 4, 2024. [SPECIAL MEETING – EXECUTIVE SESSION ONLY]

SUMMARY

Please review the attached minutes. If you have any questions, comments, and/or corrections, please contact the City Secretary at PGrey@parkertexas.us prior to the City Council meeting.

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/12 /2024 via Municode
Mayor:	<i>Lee Pettie</i>	Date:	09/xx/2024



MINUTES
CITY COUNCIL MEETING
SEPTEMBER 4, 2024

CALL TO ORDER – Roll Call and Determination of a Quorum

The Parker City Council met in a special meeting on the above date at Parker City Hall, 5700 E. Parker Road, Parker, Texas, 75002.

Mayor Lee Pettie called the meeting to order at 3:30 p.m. Councilmembers Randy Kercho, Amanda Noe, and Buddy Pilgrim were present. Mayor Pro Tem Jim Reed and Councilmember Todd Fecht were absent. Asst. City Administrator/City Secretary Patti Scott Grey verified a super quorum of council was not present.

After discussion with present councilmembers, Mayor Lee Pettie recessed the meeting at 3:31 p.m. for a brief delay, due to a lack of a super quorum, stating Mayor Pro Tem Jim Reed was on his way.

Mayor Pettie reconvened the meeting at 3:33 p.m. Mayor Pro Tem Jim Reed (arrived at 3:32 p.m.), and Councilmembers Randy Kercho, Amanda Noe, and Buddy Pilgrim were present. Councilmember Todd Fecht was absent.

Staff Present: Asst. City Administrator/City Secretary Patti Scott Grey (left at 3:35 p.m.) and Interim City Attorney Catherine Clifton (Conference Room)

EXECUTIVE SESSION - Pursuant to the provisions of Chapter 551, Texas Government Code, Vernon's Texas Codes Annotated the City Council may hold a closed meeting.

RECESS TO CLOSED EXECUTIVE SESSION PURSUANT TO TEXAS GOVERNMENT CODE SECTION 551.071 TO CONSULT WITH ITS ATTORNEY TO SEEK ADVICE REGARDING PENDING OR CONTEMPLATED LITIGATION OR SETTLEMENT; OR ON A MATTER IN WHICH THE DUTY OF THE ATTORNEY TO THE GOVERNMENTAL BODY UNDER THE TEXAS DISCIPLINARY RULES OF PROFESSIONAL CONDUCT OF THE STATE BAR OF TEXAS CLEARLY CONFLICTS WITH THIS CHAPTER; TO WIT:

1. Ted Lane, et. al. v. City of Parker, Cause No. 401-04251-2024; In the 401st District Court of Collin County, Texas
2. Cheri Ware, et.al. v. City of Parker, Cause No. 296-02421-2024; in the 296th District Court of Collin County, Texas
3. Application for the Creation of Collin County MUD No. 7; Before the State Office of Administrative Hearings and the Texas Commission on Environmental Quality; SOAH Docket No. 582-23-01498 and TCEQ Docket No. 2022-0533-DIS
4. City of Parker v. Texas Commission on Environmental Quality; Cause No. D-1-GN-23-008332; in the 250th District Court of Travis County, Texas

Mayor Lee Pettie recessed the meeting to Executive Session at 3:35 p.m.

RECONVENE MEETING.

Mayor Lee Pettie reconvened the meeting at 7:38 p.m.

ANY APPROPRIATE DELIBERATION AND/OR ACTION ON ANY OF THE EXECUTIVE SESSION SUBJECTS LISTED ABOVE.

MOTION: Mayor Pro Tem Reed moved to approve Resolution No. 2024-810 confirming and ratifying the appointment of counsel to represent the City of Parker in litigation. Councilmember Noe seconded with Councilmembers Kercho, Noe, Pilgrim, and Reed voting for the motion. Motion carried 4-0. [See *Exhibit 1* – Resolution No. 2024-810, dated Wednesday, September 4, 2024.]

ADJOURN

Mayor Lee Pettie adjourned the meeting at 7:40 p.m.

APPROVED:

Mayor Lee Pettie

ATTESTED:

Patti Scott Grey, City Secretary

Approved on the ____17th____ day
of ____September____, 2024.

RESOLUTION NO. 2024-810**A RESOLUTION OF THE CITY OF PARKER, COLLIN COUNTY, TEXAS
CONFIRMING AND RATIFYING THE APPOINTMENT OF COUNSEL TO
REPRESENT THE CITY OF PARKER IN LITIGATION.**

WHEREAS, the City of Parker has been sued in *Ted Lane, et. al. v. City of Parker*, Cause No. 401-04251-2024, in the 401st District Court of Collin County, Texas; and

WHEREAS, the City of Parker has been sued in *Cheri Ware, et.al. v. City of Parker*, Cause No. 296-02421-2024, in the 296th District Court of Collin County, Texas; and

WHEREAS, the City of Parker has previously engaged the firm of Messer Fort, PLLC to represent the City's interests;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARKER, COLLIN COUNTY, TEXAS:

Section 1. That the assignment of Art Rodriguez and his firm, Messer Fort, PLLC to represent the City of Parker in the litigation named in the preamble is confirmed and ratified.

Section 2. Severability. Should any part, section, subsection, paragraph, sentence, clause or phrase contained in this resolution be held to be unconstitutional or of no force and effect, such holding shall not affect the validity of the remaining portion of this resolution, but in all respects said remaining portion shall be and remain in full force and effect.


Section 3. This resolution shall become effective immediately from and after its passage.

PASSED AND APPROVED by the City Council of the City of Parker, Texas, this 4th day of September, 2024.



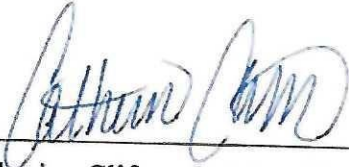
Lee Pettie, Mayor

ATTEST:



Patti Scott Grey, City Secretary

APPROVED AS TO LEGAL FORM:



Catherine Clifton, Interim City Attorney



Council Agenda Item

Budget Account Code:	Meeting Date:	See above.
Budgeted Amount:	Department/ Requestor:	City Council/Finance
Fund Balance-before expenditure:	Prepared by:	Finance/HR Manager Savage
Estimated Cost:	Date Prepared:	September 4, 2024
Exhibits:	<u>Proposed Ordinance</u>	

AGENDA SUBJECT

CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON ORDINANCE NO. 875 AUTHORIZING EXPENDITURES AND APPROVING AMENDMENT(S) TO THE FY 2023-2024 OPERATING BUDGET.

SUMMARY

The purpose of this agenda item is to amend the City's FY 2023-2024 budget by the following amount for additional work performed by Republic Services during the storm cleanup in June 2024.

Fund	Account	Description	Budget	Budget Amendment	Revised Budget	Reason
Solid Waste	05-620-8605	Professional Services	551,000	60,000	611,000	Storm cleanup

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Grant Savage</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/12//2024 via Municode
Mayor:	<i>Lee Pettie</i>	Date:	09/xx/2024

ORDINANCE NO. 875
{Amending FY 2023-2024 Budget}

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PARKER, TEXAS, AMENDING THE BUDGET PREVIOUSLY APPROVED AND ADOPTED FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2023, AND ENDING SEPTEMBER 30, 2024; PROVIDING FOR A REPEALER; PROVIDING AN EFFECTIVE DATE; FINDING THAT THE MEETING AT WHICH THIS ORDINANCE IS PASSED WAS NOTICED AND IS OPEN TO THE PUBLIC AS REQUIRED BY LAW.

WHEREAS, on September 19, 2023, the City Council of the City of Parker, Texas adopted and approved a budget for the fiscal year beginning October 1, 2023, and ending September 30, 2024 (“FY 2023-2024 Budget”); and

WHEREAS, the City Council finds that it is in the public interest to amend the FY 2023-2024 Budget as set forth herein;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PARKER, TEXAS:

SECTION 1. The budget shall be amended by appropriating \$60,000 from the Solid Waste Fund Balance for additional work performed by Republic Services during the storm cleanup.

SECTION 2. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 3. That this Ordinance becomes effective immediately upon its passage.

SECTION 4. That it is hereby officially found and determined that the meetings at which this ordinance was introduced and passed were open to the public and that public notice of the time, place and purpose of said meetings were given all as required by law.

APPROVED AND ADOPTED on this the 17th day of September, 2024.

CITY OF PARKER, TEXAS

BY:

LEE PETTLE, MAYOR

ATTEST:

BY: _____
PATTI SCOTT GREY, CITY CLERK

**APPROVED AS TO FORM
AND CONTENT:**

BY: _____
CATHERINE CLIFTON, INTERIM CITY ATTORNEY



Council Agenda Item

Budget Account Code:	Meeting Date:	See above.
Budgeted Amount:	Department/ Requestor:	City Council
Fund Balance-before expenditure:	Prepared by:	ACA/CS Scott Grey for Public Works Director Machado
Estimated Cost:	Date Prepared:	September 9, 2024
Exhibits:	<ol style="list-style-type: none"> 1. Special Use Permit Application and Map 2. Code of Ordinances §156.31 Agricultural. Open Space District. 3. Public Hearing Notice, Collin County CAD map, and Verified list of residents 4. August 22, 2024 Draft P&Z Minutes 5. Charity Smith email 	

AGENDA SUBJECT

COLIN AND AUBREE MARINO SPECIAL USE PERMIT (SUP):

- A. PUBLIC HEARING FOR A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.
- B. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.

SUMMARY

Please review the information provided. The August 22, 2024 Planning and Zoning (P&Z) Commission motion was as follows:

“MOTION: Commissioner Leamy moved that the Commission recommends to the City Council the approval of the Special Use Permit with the condition that the reflectivity and lighting issues be addressed with trees or other solutions. Commissioner Lozano seconded the motion. The motion carried 5-0.”

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter- Office Use			
Approved by:			
Department Head/ Requestor:	<i>Gary Machado</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/xx//2024 via Municode
Mayor:	<i>Lee Pettie</i>	Date:	09/xx/2024

§ 156.31 AGRICULTURAL-OPEN SPACE DISTRICT.

(A) *Purpose; A-O.* The agricultural-open space (A-O) use district includes lands within the corporate limits of the city which are not subdivided and are relatively undeveloped. This use district is designed to promote continued agricultural activities and to provide open space.

(B) *Uses; A-O.*

(1) *Permitted uses.*

- (a) Barn or stable for keeping private animal stock;
- (b) Agriculture;
- (c) Farm;
- (d) Pasturage;
- (e) Single-family residence;
- (f) Home occupation; and
- (g) Accessory buildings.

(2) *Conditional uses; special use permit required.* The following uses require filing an application for a special use permit, with subsequent hearing by Planning and Zoning Commission after which approval is required by City Council:

- (a) Tower structures exceeding 25 feet in height;
- (b) Golf course;
- (c) Accessory dwelling;
- (d) Rodeo;
- (e) Grain elevator;
- (f) Common stables; and
- (g) Riding academy.

(C) *Building setbacks; A-O.* No structure shall be constructed within 100 feet of any property line.

(D) *Special requirements; A-O.* Any structure constructed within this A-O district shall conform to all area requirements and building regulations as required by the single-family residential district (SF), unless otherwise specified in this classification.

(1) No mobile homes or HUD-Code manufactured homes shall be permitted.

(2) No property qualifies for A-O district unless it has five acres in contiguous tracts under single ownership.

(Ord. 483, passed 6-6-2000; Am. Ord. 820, passed 8-2-2022) Penalty, see § [156.99](#)

§ 156.32 SINGLE-FAMILY RESIDENTIAL DISTRICT.

(A) *Purpose; SF.* The purpose of this classification is to provide for single-family residential development that is most consistent with the general desires of the community.

(B) *Uses; SF.*

(1) *Permitted uses.*

- (a) Single-family residence;
- (b) Accessory buildings; and
- (c) Home occupation.

(2) *Conditional uses; special use permit required.* The following uses require filing an application for a special use permit, with subsequent hearing by Planning and Zoning Commission after which approval is required by City Council:

- (a) Accessory dwelling;
- (b) Boarding and activities involving large animals.

(C) *Lot size requirements; SF.*

(1) *Minimum lot size.* The minimum lot size shall be 2.0 acres net (87,120 square feet).

(2) *Maximum lot coverage.* The maximum lot coverage by all above ground structures shall be no more than 20%. For a 2-acre lot, this is a maximum of 17,424 square feet.

(3) *Nonresidential structures; maximum lot coverage.* No more than 10% of the total lot area may be accessory buildings.

(4) *Minimum lot width at front lot line.* The minimum lot width at the street frontage of any lot shall be 200 feet for straight streets. On curved streets and cul-de-sacs, the minimum lot width at the front lot line is determined by the effective radius of curvature, R, measured in feet, of the right-of-way boundary as follows. The width (W) shall be at least:

$$W = 70 - (400 / R) \text{ feet}$$

In this formula, R shall be no less than 40 feet.

(5) *Minimum lot depth.* The minimum lot depth shall be 300 feet measured from the closest straight line distance between the front property line and the rear property line.

(D) *Bufferyards; SF.* Bufferyards are not required for the single-family zoning classification.

(1) The buffer yard shall be included as a part of the property to be maintained by the homeowner's association, or owner of the lot.

(E) *Building setbacks; SF.* The following setbacks are the minimum requirements. Distances indicated are exclusive of public or private motor vehicle easements or rights-of-way.

(1) *Front setback.* The minimum front setback for any structures on the lot shall be 100 feet from the closest point of the front property line. No two adjacent houses shall have the same front building line. The front building line of all adjacent houses shall vary by at least five feet.

(2) *Side setback.* The minimum side setback shall be 40 feet from the closest point of the side property line.

(3) *Side setback at corner.* The minimum side setback for any structures on a lot located on a corner shall be the same as the front setback on the side closest to the adjacent street.

(4) *Rear setback.* The minimum rear setback for any structures shall be 50 feet from the closest point of the rear property line.

(F) *Building regulations; SF.*

(1) *Single-family residence.*

(a) *Minimum living space.* There shall be a minimum of 2,500 square feet of air-conditioned living space.

(b) *Building materials.*

1. *First floor elevation.* Not less than 90% of the exterior materials used on the first floor elevation shall be brick, stone or approved masonry product, exclusive of doors and windows.

2. *Total elevation.* Not less than 75% of the exterior materials used on the entire elevation, including the first floor elevation, shall be brick, stone or approved masonry product, excluding doors and windows.

3. *Brick or stone; alternatives.* Approved masonry products for elevations may be permitted in lieu of brick or stone, with the approval of the Building Official that these materials and their application conform to the requirements of the International Residential Code, and other pertinent ordinances in the city.

(c) *Maximum height.*

1. The maximum height for the primary residence shall be two stories above the finished foundation elevation, not to exceed 45 feet above finished foundation elevation, excluding architectural treatment elements.

2. Architectural treatment elements are not to exceed 50 feet above finished foundation elevation.

(2) *Accessory buildings.* Refer to § [156.37](#)(N).

(3) *Accessory dwellings.* Accessory dwellings may be constructed only after the issuance of a special use permit.

(a) *Minimum living space.* There is no minimum living space requirement.

(b) *Building materials.* Same requirements as primary residence.

(c) *Maximum height.* The maximum height for any accessory buildings shall be two stories above the finished foundation elevation, not to exceed the height of the primary residence.

(G) *Garages; SF.* No garage shall open to the front of a lot or to the side street in a corner lot.

(H) *Fences; SF.*

(1) *General restrictions.*

(a) All perimeter fencing shall not exceed six feet in height. All fences shall be of open construction and not solid or near-solid fabric or surfacing, except for parcels of land that are side or rear adjacent to the following roads: Parker Road, Dillehay Drive (FM 2551), and Hogge Drive (FM 2551) on which a solid or near-solid fence constructed of wood, masonry, or wrought iron is permitted along the roadway. Open construction shall mean that each fence panel, when viewed from an elevation perspective at a perpendicular to that elevation, shall be constructed of materials that allow at least 50% of the surface area of each panel to provide for an open unobstructed view.

(b) The 50% open construction requirement for each fence panel is exclusive of columns and posts, which may be constructed of solid material including masonry or metal.

(c) Fencing columns, if used, shall not be more than two feet square on base, and not more than six feet in height. The columns shall not be closer together than six feet center to center.

(2) *Chain link fencing.* Chain link fences may not be used in the front yard. They cannot extend beyond the front building line of the primary dwelling on the lot. They cannot extend into the side setback on the street side of a corner lot. It is preferred that chain link fence be black or green vinyl coated rather than galvanized.

(3) *Privacy fencing.* Privacy fences are permitted around swimming pool areas, subject to the following:

(a) The privacy fence must not be built farther than 30 feet from the side of the pool. The side of the pool is defined as where the water's edge meets the side of the pool, not the outside edge of the pool decking, if any.

(4) *Inspection and maintenance.* When any fence is completed, it must be inspected. The Building Inspection Department shall be notified upon completion of the fence. The Building Official will approve the fence if it complies with the provisions of this section, or it will be rejected. All fences constructed under the provisions of this section shall be maintained so as to comply with the requirements of this section at all

times. Fences shall be maintained by the owner or person in charge of the property in as near as possible the condition of the fence when installed and accepted as provided herein, and shall be maintained as follows:

(a) The fence shall not be out of vertical alignment more than 20%; and

(b) All damaged, removed, or missing portions of the fence shall be replaced or repaired with comparable materials of a comparable color to the remaining portions of the fence.

(5) *Materials.*

(a) *Permitted materials.* Materials permitted are wood, concrete, masonry, chain link, wrought iron, metal tubing, vinyl, fiberglass composite, barbed wire, or other materials approved by the Building Official for exterior exposure as fence material.

(b) *Prohibited materials.* Materials prohibited are razor ribbon, sheet metal, corrugated steel and fiberglass panel, plywood, or any other similar material manufactured for other uses.

(6) *Certain locations, construction prohibited.*

(a) *Within easements.* No fence shall be located within any easement except by prior written approval of those agencies having interest in that easement.

(b) *Electric fences.* No fence erected shall be electrically charged in a manner to be dangerous to humans.

(7) *Swimming pool enclosures.* A building permit is required for the construction of all swimming pools, and all pools and their associated safety fences shall be built according to the building code.

(Ord. 483, passed 6-6-2000; Am. Ord. 508, passed 7-10-2001; Am. Ord. 697, passed 8-6-2013; Am. Ord. 820, passed 8-2-2022) Penalty, see § [156.99](#)



PLEASE PRINT

APPLICATION FOR A SPECIAL USE PERMIT

The undersigned owner (contract owner) of property herein described hereby applies for a special use permit for the following described property:

(1) Location of Property or Street Address:

3901 SYCAMORE LANE Parker TX 75002

Existing Zoning: Farm and Ranch Single-Family

(2) Legal Description of Property:

ABS A0432 AM Hatfield Survey Tract 23
11.798 Acres

(3) Proposed Use of Property:

Our goal for this property is to produce quality horses
with outstanding cow ability. To do this an arena is a
critical part. This arena will give horses a safe area to be worked in
a safe area. This will replace a smaller arena we currently have.

(4) Development Schedule: July 2024 - October 2024

(5) Desired Duration: ongoing

(6) Attached are the checklist, plans, and LETTER OF INTENT: Yes No

No application for a special use shall be granted by the City of Parker unless the City Council shall find all of the following conditions are present:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
2. That the uses, values, and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance, or operation of the special use.
3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
4. That adequate utilities, access roads, drainage, and other necessary site improvements have been or are being provided.
5. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
6. That the special use shall conform to all applicable regulations of the district in which it is located.

I own ☒ lease _____ this property.

I, the undersigned applicant, have reviewed the above standards and to the best of my knowledge this proposed special use complies with the standards for special use.

Respectfully submitted,


Applicant Signature

Aubree Marino
Printed Name


Applicant Signature

Colin Marino
Printed Name

Address: 3901 Sycamore Lane
Parker TX 75002

Phone: 903-312-5122

ADDITIONAL REQUIREMENTS:

Attach 12 copies of plat for the property containing the following information:

- a. North point, scale, and date
- b. Name and address of applicant, engineer, or surveyor
- c. Survey and abstract with tract designation
- d. Location of major and/or secondary thoroughfares located with or adjacent to property
- e. Location of existing or platted streets within and adjacent to property
- f. Location of existing rights-of-way, utility/drainage easements

Fees:

- a. The fee for a Special Use Permit before the Planning & Zoning Commission is (See Fee Schedule).
- b. The fee for a Special Use Permit before The City Council is (See Fee Schedule).

FEES ARE NON-REFUNDABLE, IN THE EVENT THE APPLICATION FOR SPECIAL USE PERMIT IS DENIED.

Timing:

Within twenty days of receipt of completed application and appropriate fee, a public hearing will be scheduled before the Planning and Zoning Commission, after notification of all property owners within 200 feet of the property has been duly accomplished. Additional notifications may be made at the discretion of the City Administrator.

The Planning and Zoning Commission will make a recommendation to the City Council for either approval, approval with conditions, or denial.

Applications that receive a recommendation for approval, or approval with conditions by the Planning and Zoning Commission, will then be scheduled for a Public Hearing before the Parker City Council, after notification of all property owners within 200 feet of the property has been duly accomplished. Additional notifications may be made at the discretion of the City Administrator.

The final authority for approval is with the City Council of the City of Parker.

Applications that have been denied by the Planning and Zoning Commission may be appealed to the Parker City Council.

ORDINANCE 483**SECTION 17. SPECIAL USE PERMITS****A. PURPOSE**

The purpose of the regulations described by this section is to allow the compatible and orderly development within the City of uses which may be suitable only in certain locations in a designated district if developed in a specific way or only for a limited period of time. A Special Use Permit is required for all Conditional Uses. A Special Use Permit may have a specified time limitation attached and may impose conditions other than those which are specifically set forth in this ordinance.

B. APPROVAL RESPONSIBILITY

The Planning and Zoning Commission shall have the initial responsibility for recommending all Special Use Permits required for the "Conditional Uses."

The City Council shall have the final authority for approval or denial of all Special Use Permits.

The following procedures shall be complied with prior to the approval or denial of any Special Use Permit.

1. Application concerning Special Use Permits for those uses which are conditional in any district shall be submitted to the Administrator in writing and be automatically referred to the Commission for a public hearing on same. The Administrator shall investigate conditions, arrange hearing notification, and obtain any expert advice needed to achieve agreement between the applicant and the City.

2. After receiving an application for a Special Use Permit, notification of such request by mail shall be made to all owners of real property located within two hundred (200) feet of the property on which application has been made. The names and addresses of the affected parties shall be supplied by the applicant.

3. After a public hearing, the Commission may recommend an application for a Special Use Permit not be approved, if the proposed use fails to meet one of the criteria set forth in Paragraph C. In recommending a Special Use Permit be approved, the Commission, on the basis of recommendations from the Administrator, may impose requirements and conditions with respect to locations, construction, maintenance, and operation, in addition to those expressly stipulated in the Ordinance for the particular use, as they deem necessary for the protection of adjacent properties and the public interest.

4. When application has been denied by the Commission, applicant may appeal for a hearing before the City Council.

5. Appeals From Decisions of the Commission. Any person or persons, jointly or severally, aggrieved by a decision of the Commission, may present the City Council a petition, duly verified, setting forth that such decision is unjust, in whole, or in part, specifying the

COMPREHENSIVE ZONING ORDINANCE

Page 67

CITY OF PARKER

grounds of injustice. Such petition shall be presented to the body within ten (10) days after the final decision of the Commission and not thereafter.

C. PREREQUISITES FOR APPROVAL BY CITY COUNCIL

1. No Structure or property in any district shall be used for a use listed as a "Conditional Use" without first having obtained a Special Use Permit for such use from the City Council.

2. The City Council, after receipt of report and recommendation of the Commission, may permit a conditional use subject to appropriate conditions and safeguards, when, after public notice and a hearing, the City Council finds:

a. That the proposed use meets all the minimum standards established in this ordinance for this type of use.

b. That the proposed use is in harmony with the purpose and intent of this ordinance.

c. That the proposed use will not be detrimental to the health, welfare, and safety of the surrounding neighborhood or its occupants, nor be substantially or permanently injurious to neighboring property.

d. Each use permitted by the City Council shall be evidenced by a duly adopted ordinance granting such Special Use Permit and containing such conditions as may be prescribed by the City Council.

e. The City Council may impose additional reasonable restrictions or conditions to carry out the spirit and intent of this ordinance and to mitigate adverse effects of the proposed use. These requirements may include, but are not limited to, increased open space, loading and parking requirements, suitable landscaping, and additional improvements such as drainage, trails, and fencing.

f. Prior to any public hearing before the City Council for a Special Use Permit, notification shall be made by mail to all property owners within two hundred (200) feet of the property on which the application was made.

D. APPLICATION FILING PROCEDURE

Application shall be made by property owner or certified agent thereof to the Administrator on a form prescribed for this purpose by the City. Application shall be accompanied by drawings as provided herein. Granting a Special Use Permit does not exempt the applicant from complying with requirements of the Building Code or other ordinances.

E. DEVELOPMENT & TIME LIMITS

Following the issuance of a Special Use Permit, the Building Official shall insure that if the development is undertaken, it is commenced in compliance with said permit within one (1) year. If said development is not commenced within one year of issuance of the applicable Special Use Permit, said Special Use Permit shall expire without notice.

COMPREHENSIVE ZONING ORDINANCE

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The Special Use Permit is not permanent zoning, and may be brought before the go
the city for a compliance review at any time.

Meeting Date: 09/17/2024 Item 5.

The City may seek the issuance of an administrative search warrant in the event probable cause exists to review compliance with the city ordinances and the requirements of the SUP. Such warrants may be issued in the discretion of the court after a review of the evidence."

NO HEARING WILL BE SCHEDULED UNTIL APPROPRIATE FEES HAVE BEEN PAID.

All the requirements and fees of this application are hereby submitted to the City Secretary, City of Parker, Texas, as required for a Special Use Permit. I (we) understand that in the event this application is denied by either the Parker Planning and Zoning Commission or the Parker City Council, the fees submitted herewith are not to be refunded.

5-8-2024 Colin Marino
DATE APPLICANT

5-8-2024 Aubree Marino
DATE APPLICANT

DATE RECEIVED CITY OF PARKER

\$1000
AMOUNT OF FEE RECEIVED WITH INITIAL APPLICATION

NAMES AND ADDRESSES OF ALL ADJACENT PROPERTY OWNERS (IN EVERY DIRECTION) WITHIN 200 FEET OF THE PROPERTY:

IMPORTANT NOTE: IT IS THE RESPONSIBILITY OF THE APPLICANT TO PROVIDE COMPLETE AND TOTAL NAME AND ADDRESSES TO THE CITY ADMINISTRATOR.

THIS INFORMATION IS A PART OF THE APPLICATION FOR A SPECIAL USE PERMIT.

FAILURE TO COMPLETE THIS PORTION OF THE APPLICATION WILL RESULT IN THE APPLICATION BEING RETURNED AS INCOMPLETE.

- ✓ 1. David + Marcy Morgan 3808 Sycamore Lane Parker Tx 75002
- ✓ 2. Richard + Ilene Simerka 3908 Sycamore Lane Parker Tx 75002
- ✓ 3. NGUYEN Van Huu + Huong Van 4001 Windream Lane Parker Tx 75002
- ✓ 4. Charity Smith 4003 Windream Ln Parker Tx 75002
- ✓ 5. Chanaa Jalal 4007 Windream Ln Parker Tx 75002
6. City of Plano Development Services - Real Estate Manager P.O. Box 860358 Plano Tx. 75086-0358
7. Gonzalo And Luise Valls Living Trust 3745 Morton Vale Rd. Plano, Tx. 75074-7726
8. Robert Clinton II and Marissa Rylant 3721 Buckboard Dr Plano, Tx. 75074
9. The Preston Family Revocable Living Trust 3723 Buckboard Dr. Plano, Tx. 75074
10. Rudolf Otto 3725 Buckboard Dr. Plano, Tx. 75074
11. John Nathan and Misty Michelle Blasingame 3727 Buckboard Dr. Plano Tx. 75074
12. Caroline Freisen 3729 Buckboard Dr. Plano, Tx. 75074
13. Earline K and Herbert J Schirf Jr. 3731 Buckboard Dr Plano, Tx. 75074
14. Redeemed Christian Church of Gods Heavenly Glorious Embassy, Inc. 3820 E. Parker Rd. Plano, Tx. 75074-7731
15. Same as #6 above
16. _____
17. _____
18. _____
19. _____
20. _____

CITY OF PARKER
SPECIAL USE PERMIT

Meeting Date: 09/17/2024 Item 5.

The City Council of the City of Parker hereby grants a Special Use Permit as follows:

APPLICANT: Colin + Aubree Marino

PROPERTY: 3901 Sycamore Lane Parker TX 75002

USE PERMITTED: _____

EFFECTIVE DATE: _____ DURATION: _____

This permit is granted subject to the representations of applicant as presented in the application and letter of intent filed by applicant and attached hereto for all purposes, subject to the rules, regulations, and ordinances of the City of Parker and subject to the following special conditions:

The City of Parker reserves the right to cancel, modify, or suspend the permit granted herein should the City Council determine: (1) that any of the representations contained in the applicant's application or letter of intent are false, (2) that applicant has not timely performed applicant's obligations as represented in the application, letter of intent, or as contained in the special conditions, or (3) that applicant has been found to be in violation of the ordinances of the City of Parker or any county, state, or federal regulations applicable to the subject property, applicant, or the activity conducted.

CITY OF PARKER

Mayor

ATTEST:

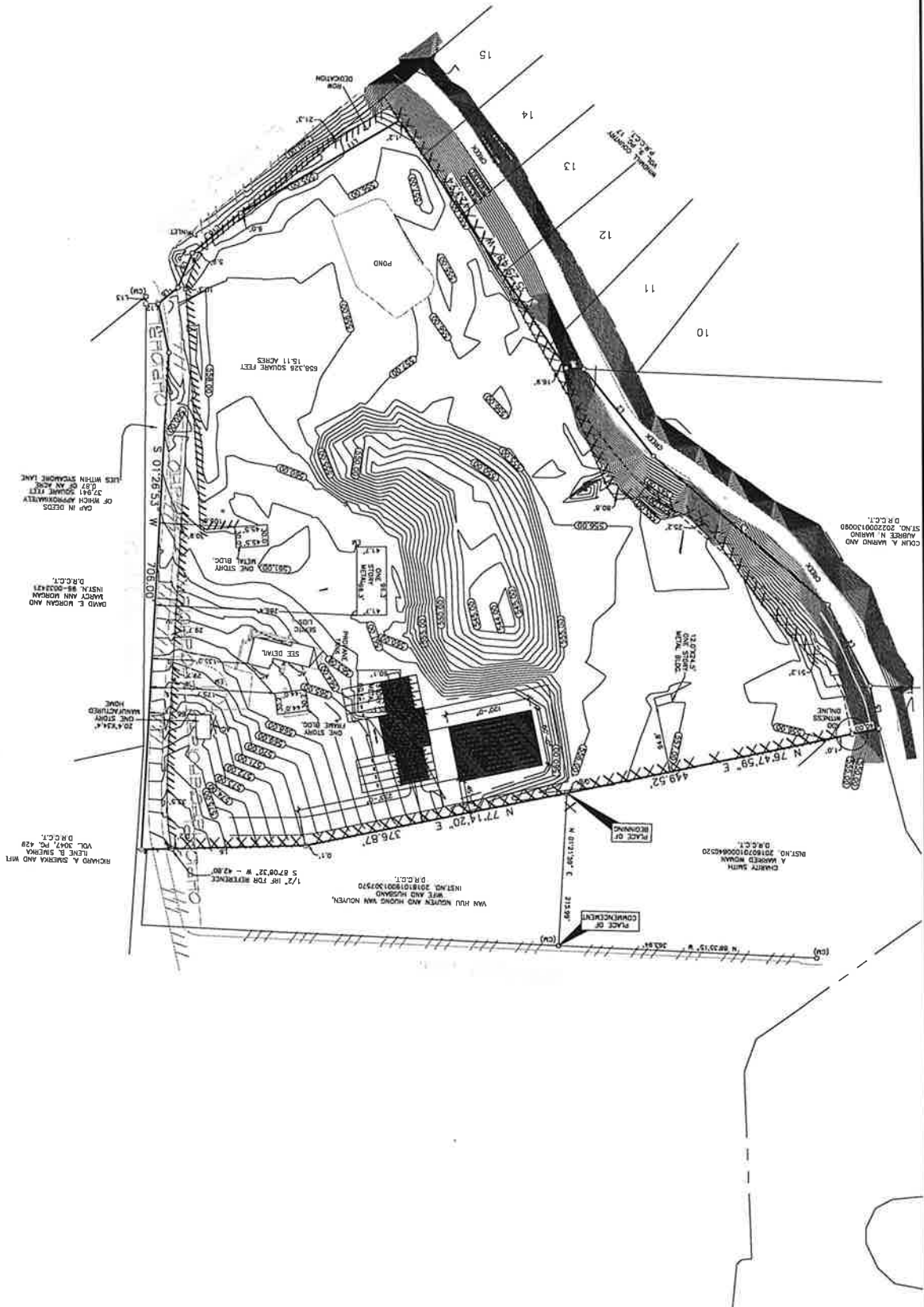
City Secretary

**SHEET
A1.0**

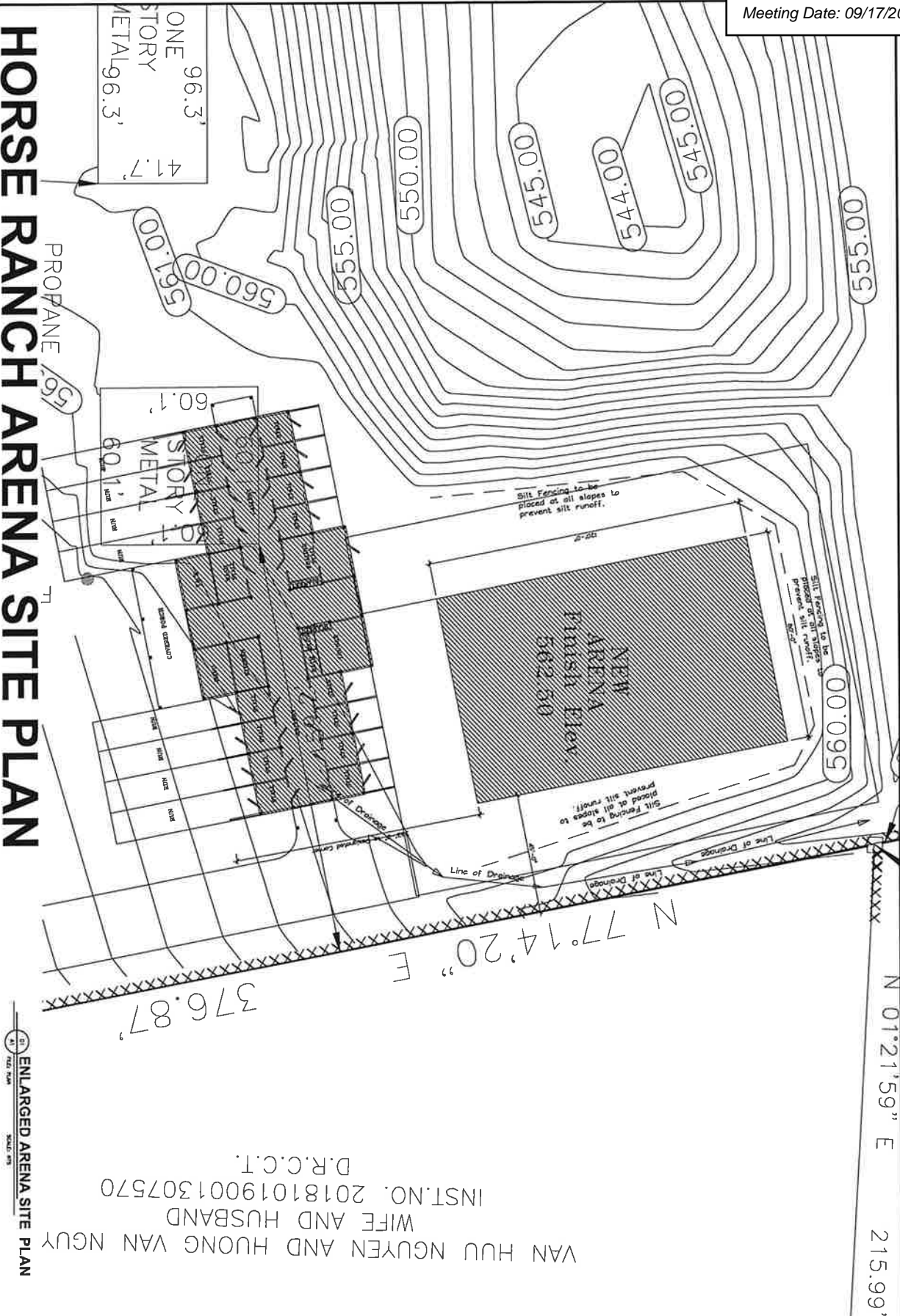
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HORSE RANCH MASTER PLAN
for
THE MARINO FAMILY

48



HORSE RANCH ARENA SITE PLAN THE MARINO FAMILY



ENLARGED ARENA SITE PLAN
SHEET A1.0

VAN HUU NGUYEN AND HUONG VAN NGUY
WIFE AND HUSBAND
INST.NO. 20181019001307570
D.R.C.C.T.

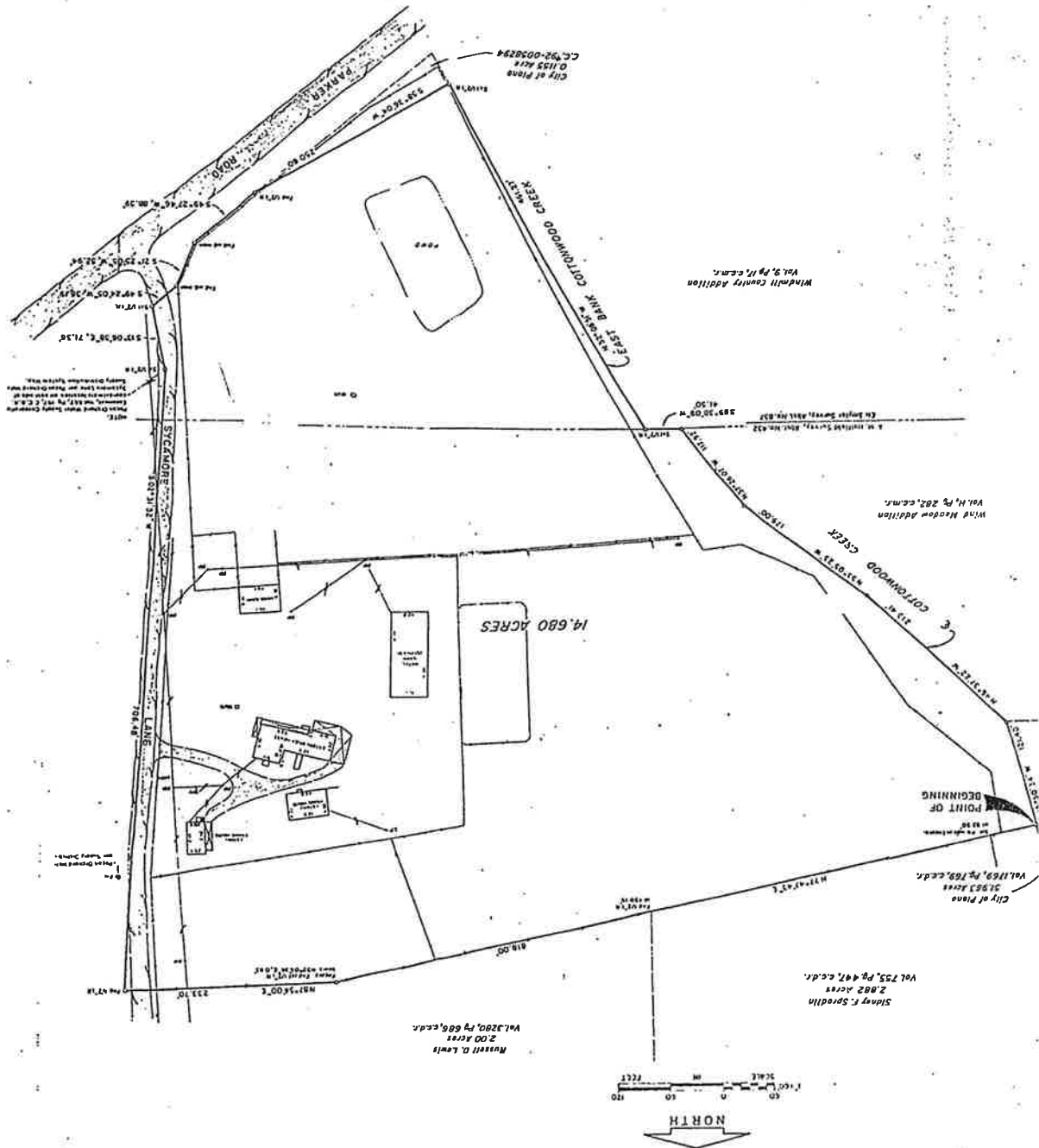
HORSE RANCH MASTER PLAN
for
THE MARINO FAMILY

SHEET
A1.0

DATE
10/09/23

David J. Hammel

Gene T. Hammel



SURVEY PLAT

December 28, 1993

SITUATED in the State of Texas, County of Collin, being part of the A.M. Hatfield Survey, Abstract No. 432 and the E.L. Smyler Survey, Abstract No. 857, being the resurvey of a called 14.738 acre tract of land surveyed by Jimmy Pogue as described and recorded in Volume 2067, Page 210 of the Collin County Deed Records and also being the resurvey of the same 14.795 acre tract of land as surveyed by Brad Sparr on October 23, 1987 less 0.1155 acre for right-of-way of Parker Road, said premises being more particularly described as follows:

BEGINNING at a point for corner in the approximate centerline of Cottonwood Creek, said point being the northwest corner of the 14.795 acre tract, the premises herein described, and also being the southwest corner of a 2.882 acre tract of land described in a deed to Sidney F. Spradlin recorded in Volume 755, Page 447 of the Collin County Deed Records:

THENCE departing the centerline of Cottonwood Creek and with the general course of a wire fence along the north line of the 14.795 acre tract, said premises, and the south line of said 2.882 acre tract, North 77°47'43" East, passing at 53.50 feet a R.K. nail set in a fence corner post, passing at 450.15 feet a 1/2-inch iron rod found marking the southeast corner of said 2.882 acre tract and being the southwest corner of a 2.00 acre tract of land described in a deed to Russell D. Lewis recorded in Volume 3800, Page 686 of the Collin County Deed Records, and continuing for a total distance of 818.00 feet to a fence corner post found for corner from which a 1/2-inch iron rod found for reference bears North 52°06'36" East, 0.83 feet:

THENCE continuing partway with the general course of said wire fence along the south line of said 2.00 acre tract, the north line of the 14.795 acre tract and said premises, North 87°54'00" East, 233.70 feet to a 1/2-inch iron rod found for corner marking the northeast corner of the 14.795 acre tract and said premises, said corner being in the east drainage ditch of Sycamore Lane;

THENCE along the east line of the 14.795 acre tract and said premises and partway with Sycamore Lane as follows:

South 02°31'52" West, 706.48 feet to a 1/2-inch iron rod set for corner;
South 13°06'38" East, 71.36 feet to a 1/2-inch iron rod set for corner, and marking the intersection of the east line of the 14.795 acre tract and said premises with the north right-of-way line of Parker Road;

THENCE along the north right-of-way line of Parker Road (variable width right-of-way) and the south line of the 14.795 acre tract and said premises as follows:

South 49°24'05" West, 36.19 feet to a wooden right-of-way monument found for corner;
South 21°25'05" West, 52.94 feet to a wooden right-of-way monument found for corner;
South 49°27'46" West, 88.59 feet to a 1/2-inch iron rod set for corner marking the most easterly corner of a 0.1155 acre tract of land described in a deed to the City of Plano recorded under County Clerk's Number 2-9058294, Collin County Deed Records;

South 58°36'04" West along the north line of said 0.1155 acre tract and the south line of said premises, 250.60 feet to a 1/2-inch iron rod set for corner on the east bank of Cottonwood Creek, said corner being in the west line of the 14.795 acre tract;

THENCE departing said north right-of-way line of said road-way and along the east bank of Cottonwood Creek, the west line of the 14.795 acre tract and said premises North 37°08'51" West, 461.27 feet to a 1/2-inch iron set for corner and South 89°38'02" West, 41.50 feet to a point for corner in the approximate centerline of Cottonwood Creek;

THENCE continuing along the approximate centerline of Cottonwood Creek, the west line of the 14.795 acre tract and said premises as follows:

North 37°26'07" West, 117.92 feet to a point;
North 53°05'23" West, 179.00 feet to a point;
North 46°37'22" West, 213.41 feet to a point and
North 15°50'34" West, 121.40 feet to the PLACE OF BEGINNING and containing 14.680 acres of land.

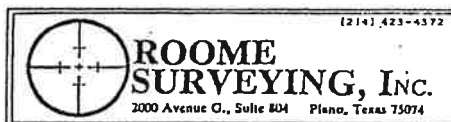
NOTE: Easement to E.W. Merritt, County Judge of Collin County, recorded in Volume 288, Page 517 of the Collin County Deed Records no longer affects subject property.

SURVEYOR'S CERTIFICATION

On the basis of my knowledge, information and belief, I certify to: Fidelity Title Company that as a result of a survey made on the ground to the normal standard of care of Professional Land Surveyors practicing in the State of Texas, I find that this survey was made as per the field notes shown on this survey, and is true, correct and accurate as to boundaries and areas of the subject property and the size, location and type of buildings and improvements thereon, if any, and as to the other matters shown hereon, and correctly shows the location of visible easements and rights-of-way, and of all rights-of-way, easements and any other matters of record of which I have knowledge or have been advised, whether or not of record, affecting the subject property. Except as shown on the survey, there are no encroachments on the subject property by improvements on adjacent property, there are no encroachments on adjacent property, streets, or alleys by improvements on the subject property, there are no conflicts or protrusions.




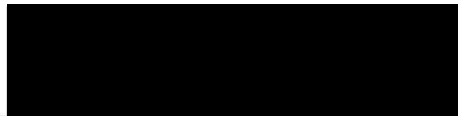


F. E. Bemenderfer, Jr.
F. E. Bemenderfer, Jr.
Registered Professional
Land Surveyor No. 4051



**City of Parker
Fee Schedule
2021**

Exhibit A
Ordinance No. 799

	<u>Current Fees</u>
<i>Contractor Registration - Renewed Annually</i>	
Electrical Contractor	\$100.00
Fire Sprinkler Contractor	No Fee
General Contractor	\$100.00
Irrigation Contractor	\$100.00
Backflow Tester	\$100.00
Mechanical Contractor	\$100.00
Plumbing Contractor	No Fee
Pool Contractor	\$100.00
<i>Inspection Fees</i>	
Re-Inspections	\$50.00
Annual Backflow Test - Fire Sprinkler System (commercial)	\$25.00
Annual Fire System Inspection (commercial)	\$50.00
<i>Development Fees</i>	
Abandonment of Real Property	\$500.00
Annexation Petitions	\$400 plus \$5 /acre
Copies -Subdivision Regulations and Zoning Ordinance Book	\$150.00
Plat - Development	\$300 plus \$30/Acre
Plat -Preliminary	\$800 plus \$30/Acre
Plat - Final	\$800 plus \$30/Acre
Plat - Final Plat Filing Fees	100% plus 15% adm costs
Plat -Minor Subdivision (5 acres or less)	\$500 plus \$100/lot
Plat -Re-Plat Application/Amending Plat	\$500 plus \$15/lot
Public Works Inspection/Engineering Plans/Legal Review (50% Water/50% City)	5% of total construction costs
Site Plan	\$300 plus \$25/Acre
Traffic Control Devices:	
Per divided street intersection (signage)	\$300.00
Per linear foot per lane line (painting)	\$0.75
Per street intersection (signage)	\$150.00
Signs for street names (each)	\$200.00
Special Activities District	\$500 plus \$30/Acre*
★ Zoning - Special Use Permit	\$1,000.00
Special Use Permit Annual Renewal - Cross Creek Ranch, Ord. 273	\$1,000.00
Zoning Change Request, Zoning Change	\$500 plus \$10/acre
Zoning Variance Request	\$600.00

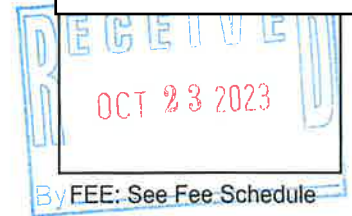
COLIN MARINO AUBREE MARINO 3901 SYCAMORE LN PARKER, TX 75002		2530 88-987/1119
<u>5-8-2024</u>		Date
Pay to the Order of <u>City of Parker</u>		\$ <u>1,000.⁰⁰</u>
<u>one thousand dollars</u> <u>no/100</u>		Dollars
 LAMAR NATIONAL BANK		P.O. Box 1097 Paris, TX 75461 903-785-0701 www.lamarnational.com
For <u>SUP Permit</u>		
		



ACCESSORY BUILDING / OUTBUILDING /
BARN APPLICATION

Incomplete Applications will not be accepted.

Meeting Date: 09/17/2024 Item 5.



PLEASE PRINT/TYPE

PROPERTY OWNER: Colin Marino PHONE NUMBER: 903-372-4326

PROJECT ADDRESS/LOCATION: 3901 Syacmore lane Parker TX 75002
ABS A0432 Am Hatfield Survey tract 23
LOT BLOCK SUBDIVISION ZONING: residential
ABS A0857 Eli Smyler Survey tract 11
TYPE OF CONSTRUCTION: Steel VALUE OF CONSTRUCTION: \$ 79,500.00

PROPOSED USE OF STRUCTURE: Horse Arena-will replace exsiting covered arena

*FOUNDATION - SLAB n/a PIER & ~~BEAM~~ ^{to} bedrock POST TENSION na N/A

Total Square Footage Under Roof <u>9,600</u> sq. ft.		Total Lot Coverage <u>.015</u> %	
Total Square Footage A/C <u>0</u> sq. ft.		Total Lot Size <u>14.6225</u> acres	
Structures over 5,250 sq ft May Require Fire Sprinklers			
1 st Floor <u>9600</u> sq. ft.	2 nd Floor <u> </u> sq. ft.	Lot Width at Front Property Line <u>826</u> ft.	
Garage <u> </u> sq. ft.	Porches/Patios <u> </u> sq. ft.	Lot Width at Rear Property Line <u>1163</u> ft.	
		Lot Depth <u>1050</u> ft.	
Note: No Garage may open to the front of lot or side on corner lot.		Is this a Key Corner Lot? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Building Set Back Requirements [Refer to City Zoning Code]		Exterior Finish Materials percentages:	
Front Yard <u>100</u> ft	Rear Yard <u> </u> ft	Masonry <u> </u> %	Siding <u> </u> %
Right Side Yard <u>40</u> ft	Left Side Yard <u>40</u> ft	Other : <u>metal covered arena not enclosed</u> %	

Contractor Company Name	Contact Person	Phone	Registration Current with City For City Use Only
General/Builder <u>Marino</u> New Attorneys Homes Farm	<u>Colin Marino</u>	<u>903-372-4326</u>	Expiration Date <u>10/23/24</u>
Electrical			Expiration Date <u> </u>
Plumbing			Expiration Date <u> </u>
Mechanical			Expiration Date <u> </u>
Other			Expiration Date <u> </u>

*Each contractor must register with the City and furnish a current State issued trade license and proof of Liability coverage.

FOR FEES - SEE PAGE 3 OF THIS APPLICATION.

<p>NOTICE: AN ISSUED PERMIT BECOMES INVALID IF THE WORK ON THE SITE AUTHORIZED BY THE PERMIT DOES NOT COMMENCE WITHIN 180 DAYS OF ISSUANCE, OR IF THE WORK ON THE SITE IS INCOMPLETE DUE TO SUSPENSION OR ABANDONMENT FOR A PERIOD OF 180 DAYS. AT LEAST ONE (1) CITY INSPECTION IS REQUIRED EVERY 180 DAYS. ALL PERMITS REQUIRE FINAL INSPECTION.</p> <p>I HEREBY CERTIFY THAT I AM AN AUTHORIZED AGENT OF THE OWNER, AND HAVE THE OWNER'S CONSENT TO ENTER ONTO THE PROPERTY TO COMPLETE THE WORK. AFTER CLOSE REVIEW OF THIS APPLICATION, I FURTHER CERTIFY THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE WORK SHALL COMPLY WITH ALL PROVISIONS OF LAWS AND ORDINANCES, WHETHER SPECIFIED OR NOT. THE GRANT OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY FEDERAL, STATE, OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.</p>	<p>Signature <u>Colin Marino</u></p> <p>Date <u>10/23/2023</u></p> <p>Printed Name <u>Colin Marino</u></p> <p>Title <u>MA</u></p>
<p>Original signature required. Permit and plans must be submitted at City Hall.</p>	
<p>For City Use Only:</p> <p>Fee Paid \$ <u> </u> Cash <input type="checkbox"/> Check <input type="checkbox"/> # <u> </u> CC <input type="checkbox"/> Received by <u> </u></p>	

5700 East Parker Road, Parker, Texas 75002

Office (972) 442-6811

Fax (972) 442-2894

www.ParkerTexas.us

2017-03-16

Setbacks
≥ 40 from property
≥ 100 from house

HORSE RANCH ARENA SITE PLAN THE MARINO FAMILY

ENLARGED ARENA SITE PLAN
SCALE: 1/8" = 1'-0"

VAN HUU NGUYEN AND HU
WIFE AND HUSBAND
INST. NO. 20181019
D.R.C.C.T.

HORSE RANCH MASTER PLAN
for
THE MARINO FAMILY

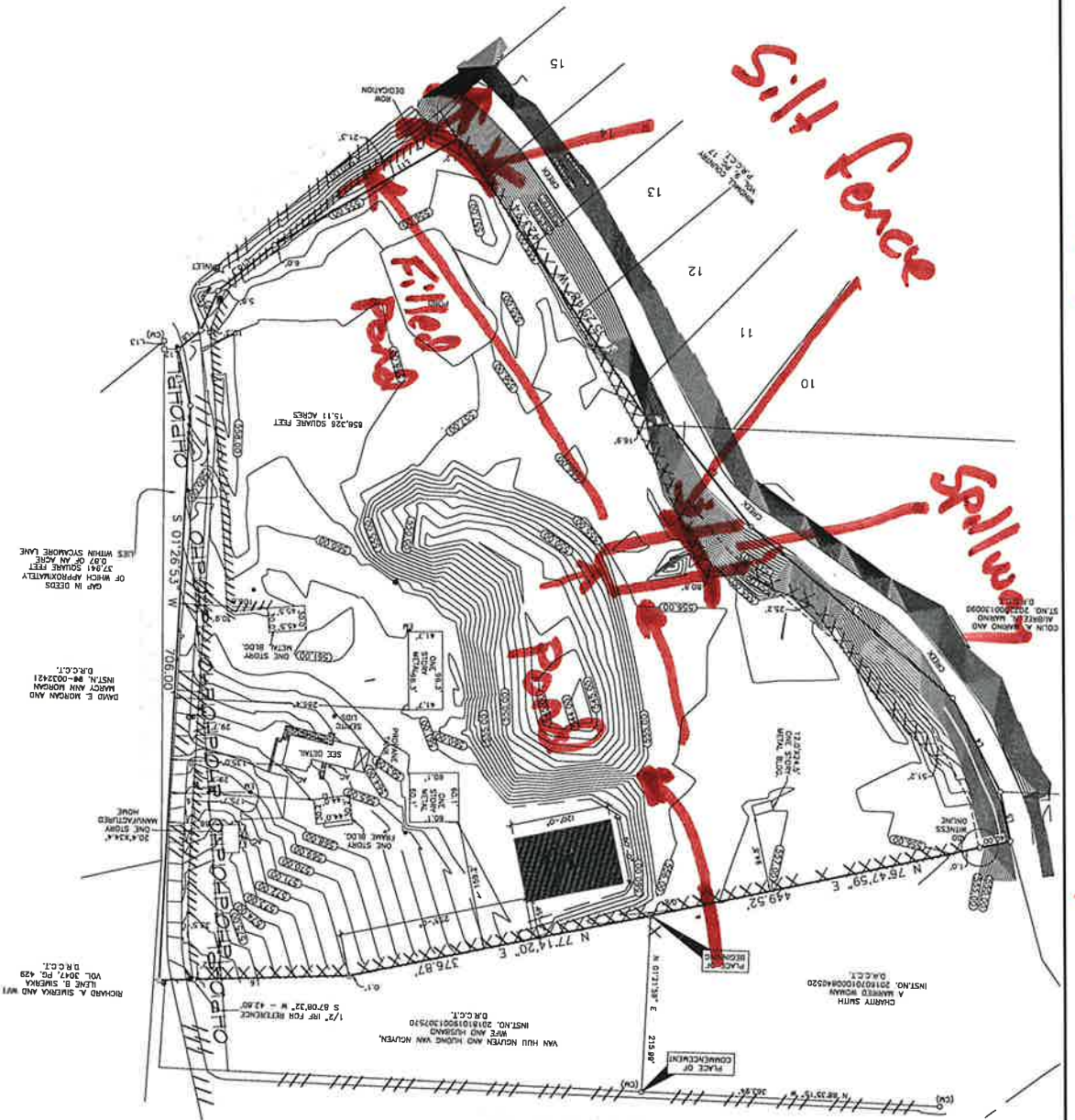
SHEET
A1.0

THIS DRAWING IS PREPARED BY THE ARCHITECT FOR THE PROJECT AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY REVISIONS TO THIS DRAWING MUST BE MADE IN ACCORDANCE WITH THE ARCHITECT'S WRITTEN INSTRUCTIONS.



Erosion Control

HORSE RANCH ARENA SITE PLAN THE MARINO FAMILY



ARENA SITE PLAN
SHEET A1.0

HORSE RANCH MASTER PLAN
for
THE MARINO FAMILY

SHEET
A1.0

THIS SHEET IS A PART OF A SET OF PLANS FOR THE HORSE RANCH MASTER PLAN. IT IS TO BE USED IN CONJUNCTION WITH THE OTHER SHEETS OF THE SET. NO PART OF THIS SHEET IS TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

DATE
10/09/23

Water Flow

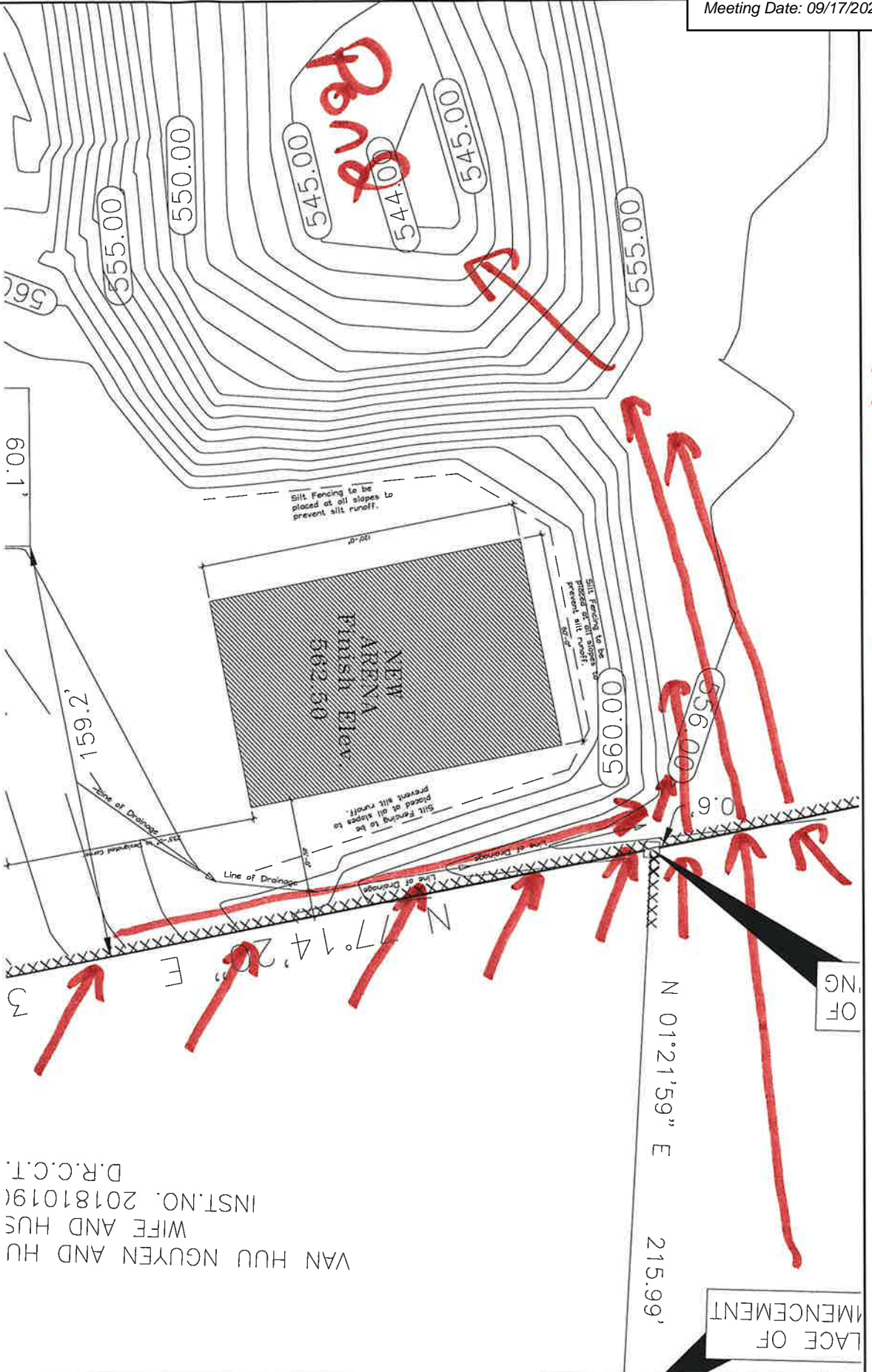
HORSE RANCH ARENA SITE PLAN THE MARINO FAMILY

ENLARGED ARENA SITE PLAN

VAN HUU NGUYEN AND HU
WIFE AND HUSBAND
INST. NO. 20181019
D.R.C.C.T.

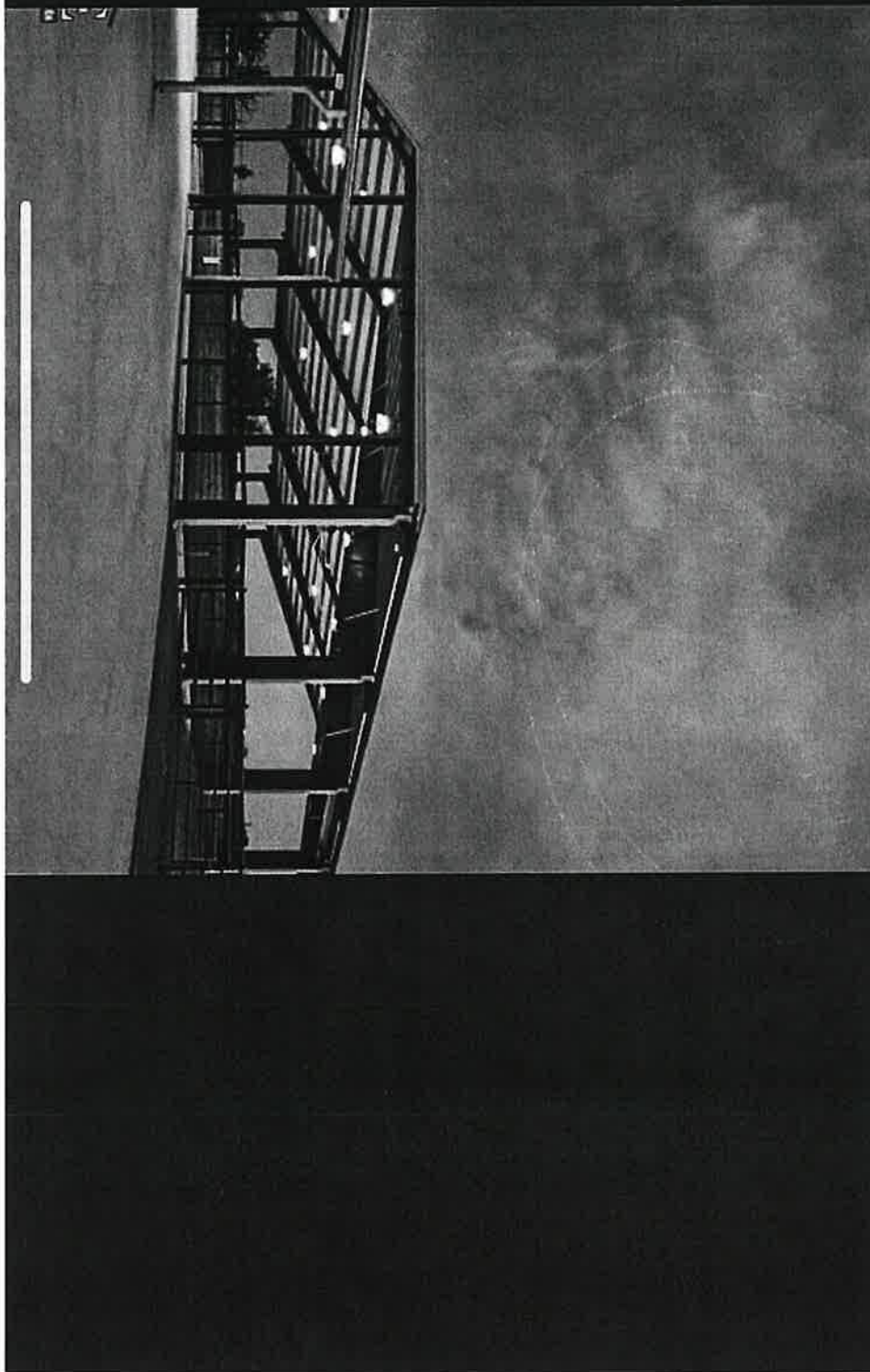
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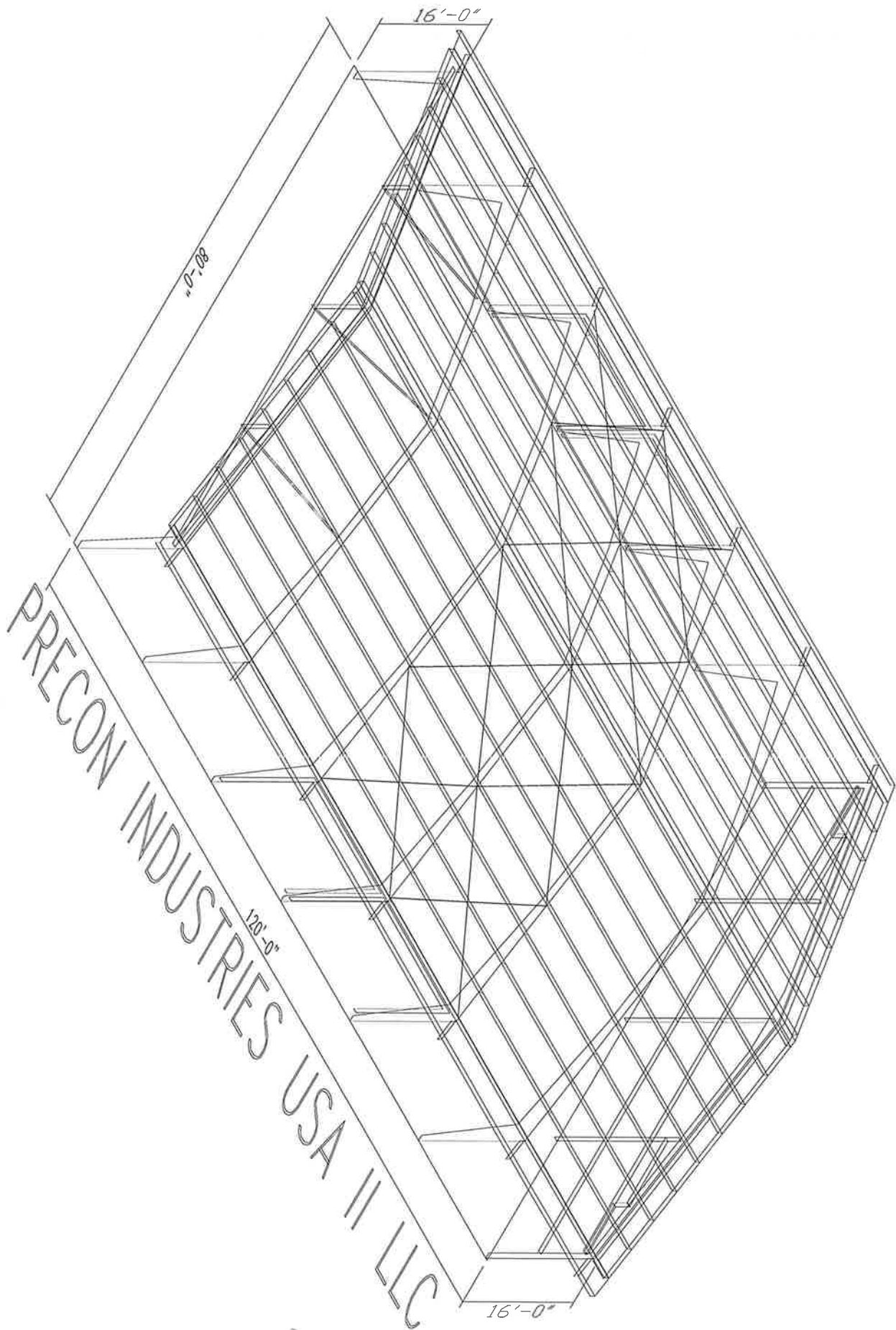
HORSE RANCH MASTER PLAN
for
THE MARINO FAMILY



DATE
10/09/23

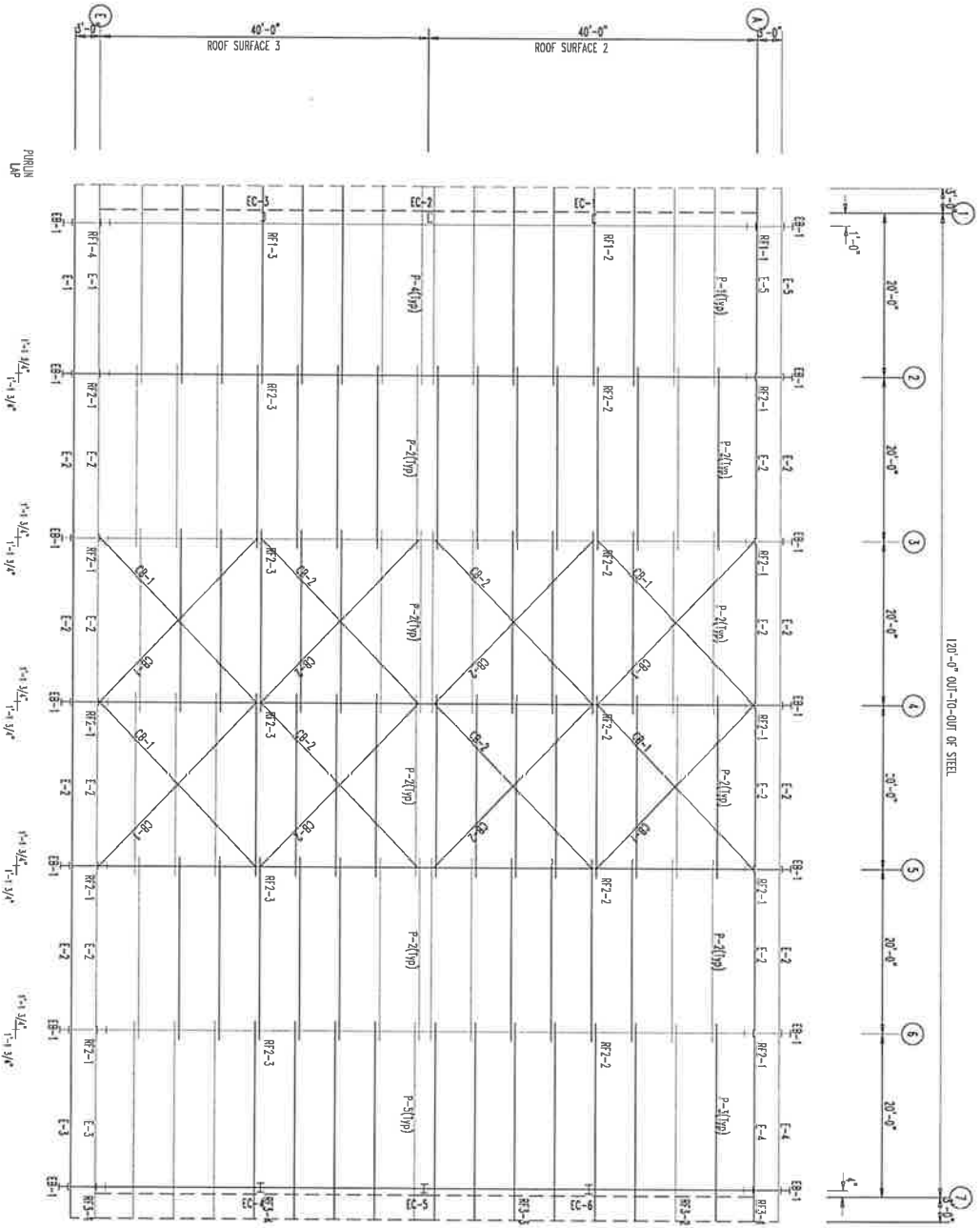
General Concept Pic






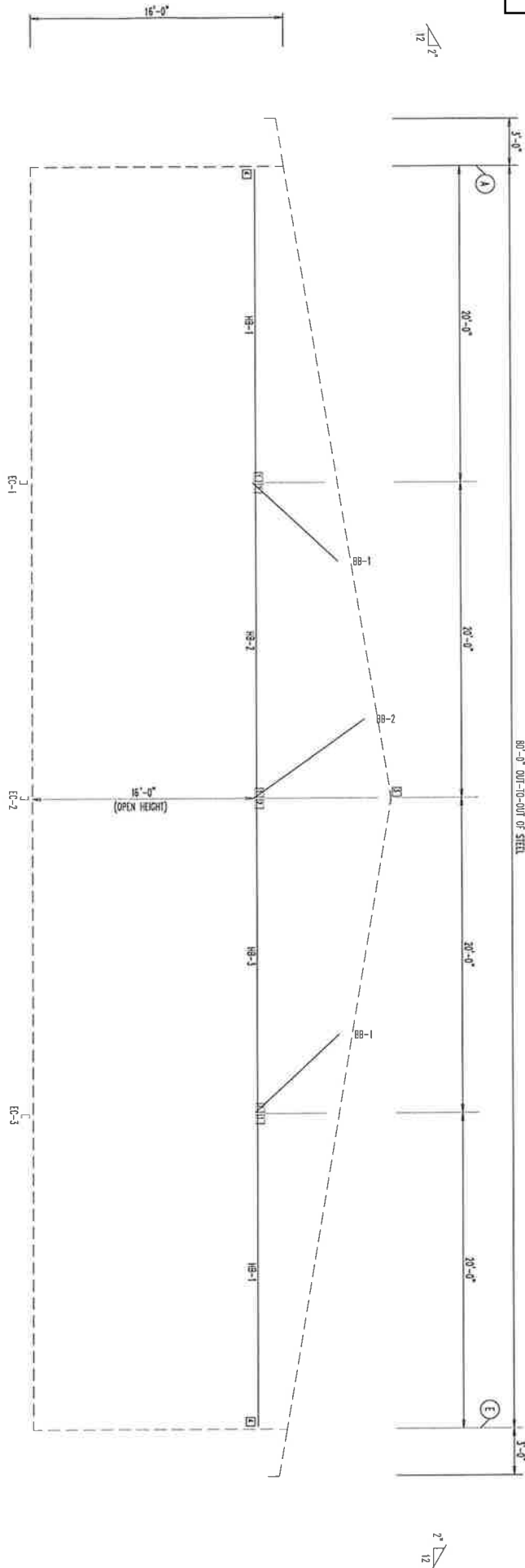


DESCRIPTION:		ANCHOR BOLT PLAN	
CUSTOMER:		CUMMINGS STEEL	
LOCATION:		ALLEN, TX	
15119 MacArthur Drive, Suite 100 Houston, TX 77079 www.precorrid.com			
TOOL:	DATE	SCALE	REV.
AL	9/28/23	N.T.S.	00
FL			23-Q-5560
			SHEET NO.
			OF



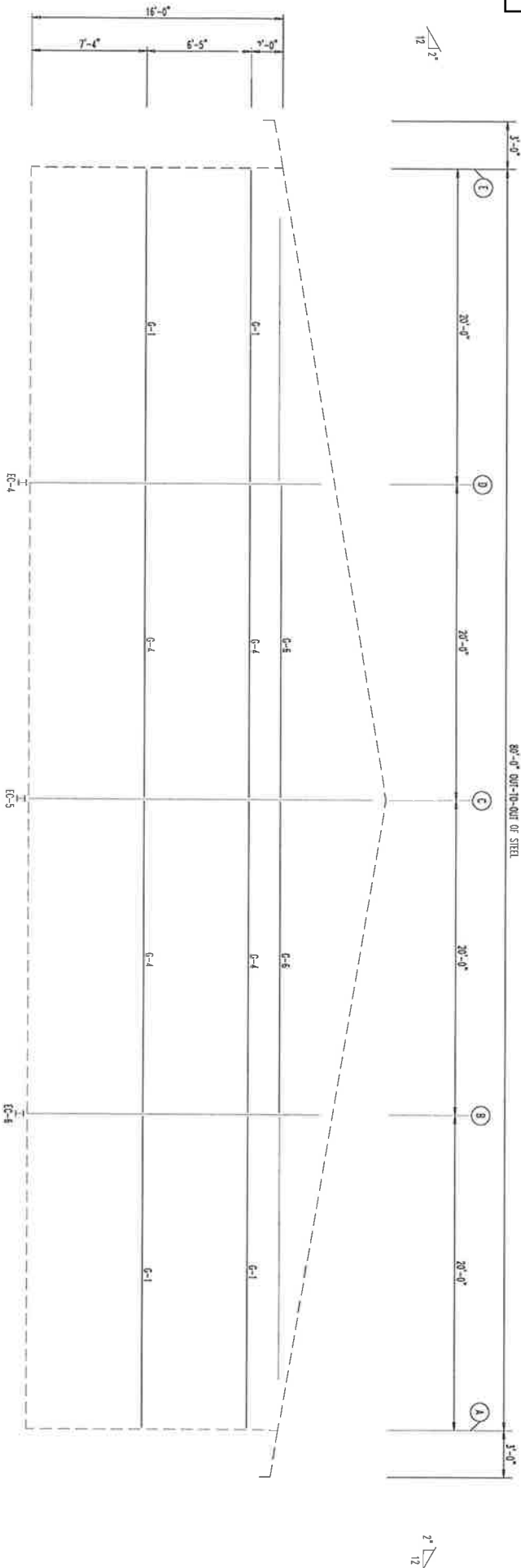
ROOF FRAMING PLAN

		DESCRIPTION: ROOF FRAMING		PROJECT: ALLEN BUILDING	
1319 Memorial Drive, Suite 201 Houston, TX 77079 (832) 392-2853 www.precon.com		CUSTOMER: CUNNINGHAM STEEL		PROJECT: ALLEN BUILDING	
LOCATION: ALLEN, TX		DATE: 9/28/23		SCALE: N.T.S.	
DRAWN BY: AL		CHECKED BY: FL		REV: 00	
				PROJECT NO. 23-Q-5560	
				SHEET NO. OF	



ENDWALL FRAMING: FRAME LINE 1

 INDUSTRIES USA, LLC 13179 Highway 27-A, Suite 200 Houston, TX 77079 800.392.3823 www.preconusa.com		DESCRIPTION: ENDWALL FRAMING	
CUSTOMER: CUNNINGHAM STEEL		PROJECT: ALLEN BUILDING	
LOCATION: ALLEN, TX		DATE: 9/28/23	
DRN. BY: AL		SCALE: N.T.S.	
FL		REV. 00	
		PROJECT NO. 23-Q-5560	
		SHEET NO. 01	



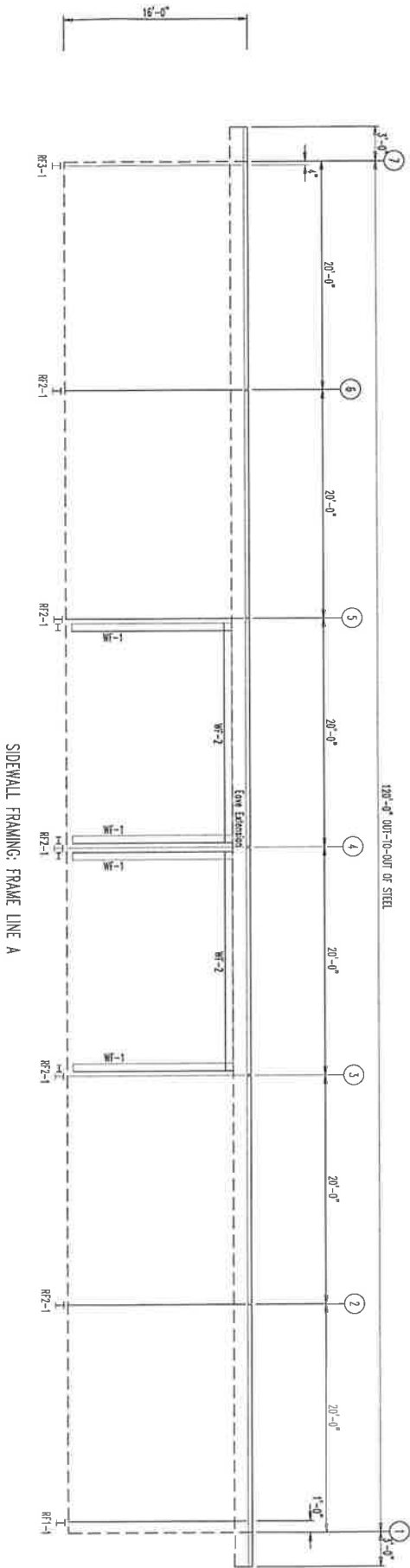
ENDWALL FRAMING: FRAME LINE 7



1519 Levee Drive, Suite 201
Houston, TX 77073
800.292.3829 www.precon.com

DESCRIPTION: **ENDWALL FRAMING**

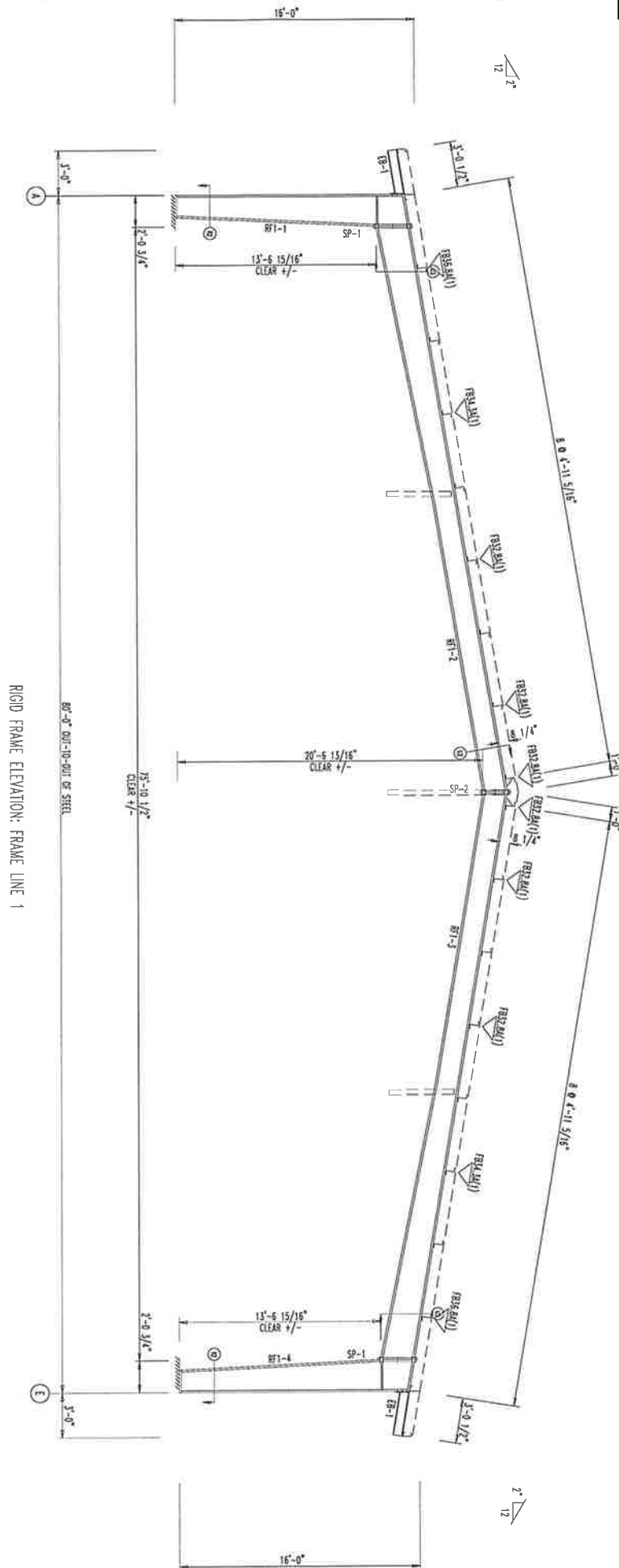
CUSTOMER: CUNNINGHAM STEEL		PROJECT: ALLEN BUILDING	
WORK: AL	ALFA, TX	DATE: 9/28/23	SCALE: N.T.S.
BY: FL		REV: 00	PROJECT NO: 23-Q-5560
			SHEET NO. OF



DESCRIPTION: SIDEWALL FRAMING									
CUSTOMER: CUNNINGHAM STEEL					PROJECT: ALLEN BUILDING				
LOCATION: ALLEN, TX					PROJECT NO. 23-Q-5560				
DATE: 9/28/23					SHEET NO. OF				
SCALE: N.T.S.									
REV. 00									
FL. 01									
DWN. BY: AL									



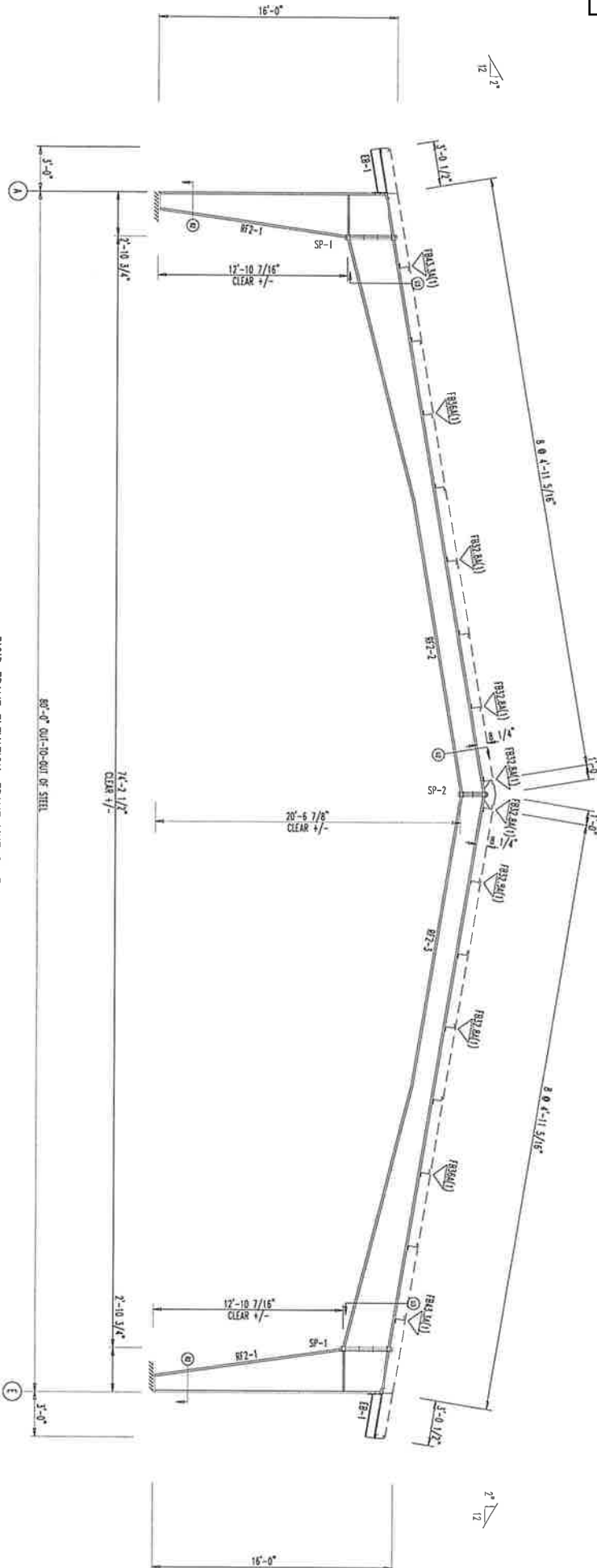
IPRECON
INDUSTRIES USA, LLC
15115 Highway 280, Suite 201
Dallas, TX 75244
(972) 242-2800



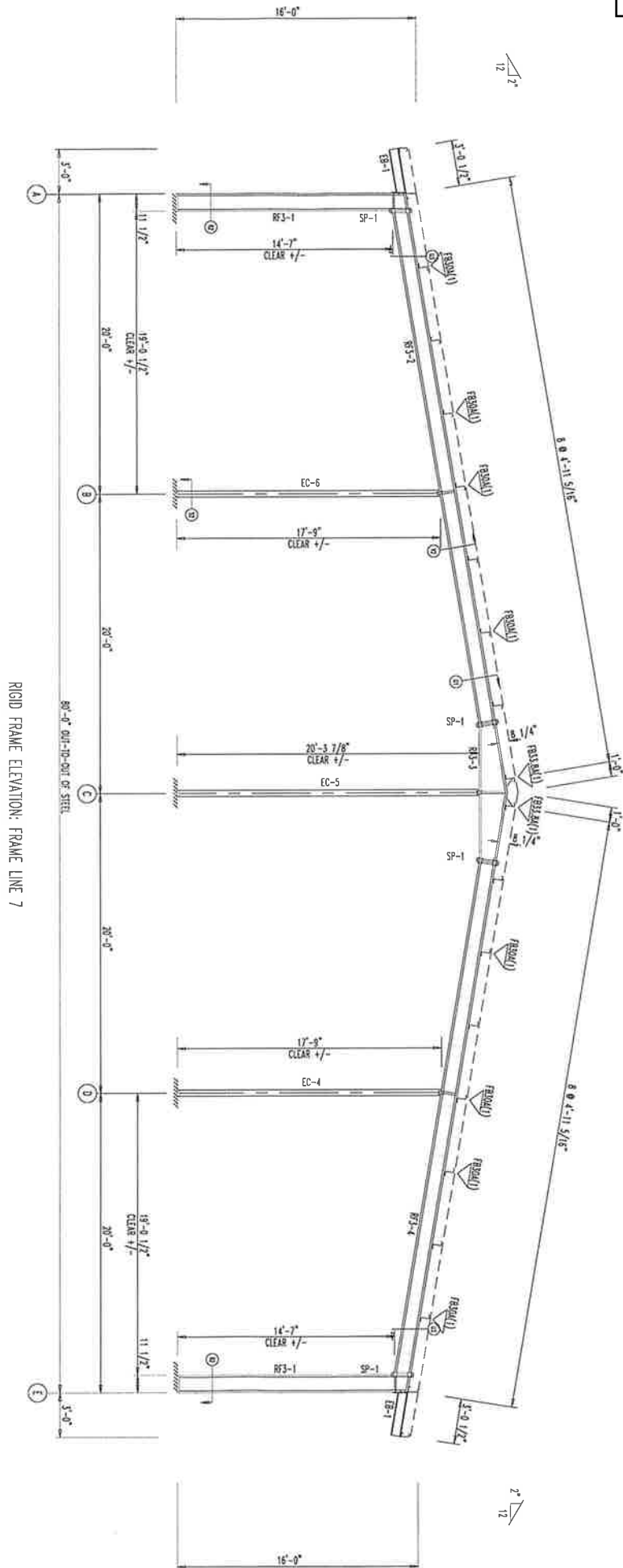
RIGID FRAME ELEVATION: FRAME LINE 1

 <p>PRECON INDUSTRIES USA, LLC 15119 Memorial Drive, Suite 200 Houston, TX 77079 8000 392-3829 www.preconind.com</p>		DESCRIPTION: RIGID FRAME ELEVATION		PROJECT: ALLEN BUILDING	
CUSTOMER:	CUNNINGHAM STEEL	LOCATION:	ALLEN, TX	DATE	9/28/23
DRN. BY	FL	CK'D BY	FL	SCALE	N.T.S.
AL	FL	DATE	9/28/23	REV.	00
		PROJECT NO.	23-0-5560	SHEET NO.	01

RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5 6



		DESCRIPTION: RIGID FRAME ELEVATION	
CUSTOMER: CUNNINGHAM STEEL LOCATION: ALLEN, TX DRN. BY: AL CKD BY: FL DATE: 9/28/23 SCALE: N.T.S. REV: 00 PROJECT NO: 23-Q-5560 SHEET NO: OF		PROJECT: ALLEN BUILDING PROJECT NO: 23-Q-5560 SHEET NO: OF	



RIGID FRAME ELEVATION: FRAME LINE 7

		DESCRIPTION: RIGID FRAME ELEVATION	
CUSTOMER: CUNNINGHAM STEEL LOCATION: ALLEN, TX DATE: 9/28/23 SCALE: N.T.S. REV: 00 PROJECT NO: 23-Q-5560 SHEET NO: OF		PROJECT: ALLEN BUILDING PROJECT NO: 23-Q-5560 SHEET NO: OF	



GREGORY P. WILSON, PH.D., P.E., M.ASCE
THE WILSON GEOTECHNICAL GROUP, LLC
TEXAS CIVIL P.E. # 86544 • TEXAS FIRM #10720
REGISTERED PROFESSIONAL CIVIL ENGINEER

ARIZONA CIVIL P.E. #37456
OKLAHOMA P.E. CIVIL #20016
NEW MEXICO P.E. CIVIL #10971
NCEES #18766

10/11/2023

EXECUTIVE SUMMARY

Methodology for Design of Drilled Piers

Owner: Mr. Colin Marino
Address: 3901 Sycamore Ln, Parker, TX
Geotechnical Investigation: Prepared by Feather Engineers dated: 7/25/2023.
Metal Building Design and Fabrication: by PRECON Industries, LLC
and Cunningham Steel, Paris, TX

Design of Drilled Piers: Dr. Gregory P. Wilson, PE
Owner and Chief Engineer
The Wilson Geotechnical Group, LLC
Sulphur Springs, TX 75482
TX PE #86544 TBPE FIRM REGISTRATION # 10720

Design Summary:

The Drilled Piers for this project were design specifically to resist the following types of loads***:

1. Gravity
2. Wind
3. Uplift
4. Skin friction
5. End bearing
6. Movement of existing phreatic surfaces
7. Possible need to case shaft due to existing phreatic surface

*****Loads:**

No design loads were available from the pre-engineered metal building manufacturer. As such, The Wilson Geotechnical Group, LLC (Engineer-of-Record) estimated all required loadings from experience with similar structures and the design of their drilled piers. Estimated loads were quite conservative, however the final configuration of the drilled piers will carry the required loads safely as shown on the attached "Drilled Pier Analysis (Bored Pile)" document.

Page 2

DRILLED PIER ANALYSES

Piers will bear into 2 layers of very stiff clays (CH's), a single layer of lean clay (CL) with a phreatic surface located at a depth of 9 ft., and ultimate bear on a layer of limestone located at a depth of approximately 12 – 15 ft based on boring logs. Piers are to bear on this material when encountered if less than 20 ft. Bore into limestone a minimum of 1.5 ft. to allow piers to bear into this "socket."

Anticipated loads of lateral load (shear), moment, vertical, and uplift due to wind and groundwater have been considered in the final design of the piers with a F.S on torsional moment of 3.3. The shaft is vertical with no bell. The pier diameter is 1.5 ft with concrete of $f'_c = 3,500$ psi. The design of the concrete was taken as "uncracked" with an allowable lateral deflection of the piers to be 0.5".

Engineer-of-Record is to be contacted immediately by phone if any type of geotechnical problem is encountered to determine a path forward to limit delays. A site visit may be necessary be certainly possible given the nature of the problem.

It is to be noted that the location of the phreatic surface at approximately 8-9 ft is within the required length of the piles which may generate the need to case the boring depending upon the strength of the clay material into which the piles are placed. Engineer-of-Record is to be contacted regarding this potential requirement if problems are encountered during the drilling process.

Respectfully Prepared by:

Dr. Gregory P. Wilson, PE

The Wilson Geotechnical Group



DRILLED PIER DESIGN AND ANALYSES

Drilled Pier Analysis (Bored Pile)

Meeting Date: 09/17/2024 Item 5.

Organization: COLIN MARINO
Project Name: DRILLED PIER DESIGN FOR
Job #: 2023.063.001
Design by: GPW
Date: October 11, 2023

INPUT DATA

Loading and Geometry

Units	English	Pier Length	20.00 ft
Top of Pier Condition	Free Head	Lateral Load (Shear)	5.00 kips
Passive Wedge	2.5	Moment Load	10.00 kip-ft
Pier Diameter	1.50 ft	Vertical Load	20.00 kips
Torsional Moment	5.00 kip-ft	Uplift Load	11.30 kips
Conc. Strength (f _c)	3500 psi	Groundwater Depth	8.00 ft
F.S. Skin Friction	2.0	F.S. Torsional Moment	3.3
Shaft Type	Vertical • Belled	Cracked	Uncracked •
		Allow. Lateral Defl.	50% cracked 0.50 in

Geotechnical Properties

Lyr #	Material Type	USCS	Layer Thick, ft	Consistency	Lat. S.G, kcf	Ult. Sk. Fr, psf	Kp	F.S. on Kp	Cohesion, ksf	Gamma, pcf	Phi, Deg
1	Cohesive Soil	CH	5.5 0 - 5.5	Very Stiff	250.0- 250.0	1000	2.50	1.25	1.00	115.0	8.00
2	Cohesive Soil	CL	2.5 5.5 - 8	Very Stiff	250.0- 250.0	1000	2.50	1.25	1.00	115.0	8.00
3	Cohesive Soil	CL	3.0 8 - 11	Very Stiff	250.0- 200.0	1000	2.50	1.25	1.00	115.0	8.00
4	Lime Stone Bedrock	Bedrock5	9.0 11 - 20	Dense	200.0- 400.0	1200	2.50	1.25	1.00	120.0	25.00

Results

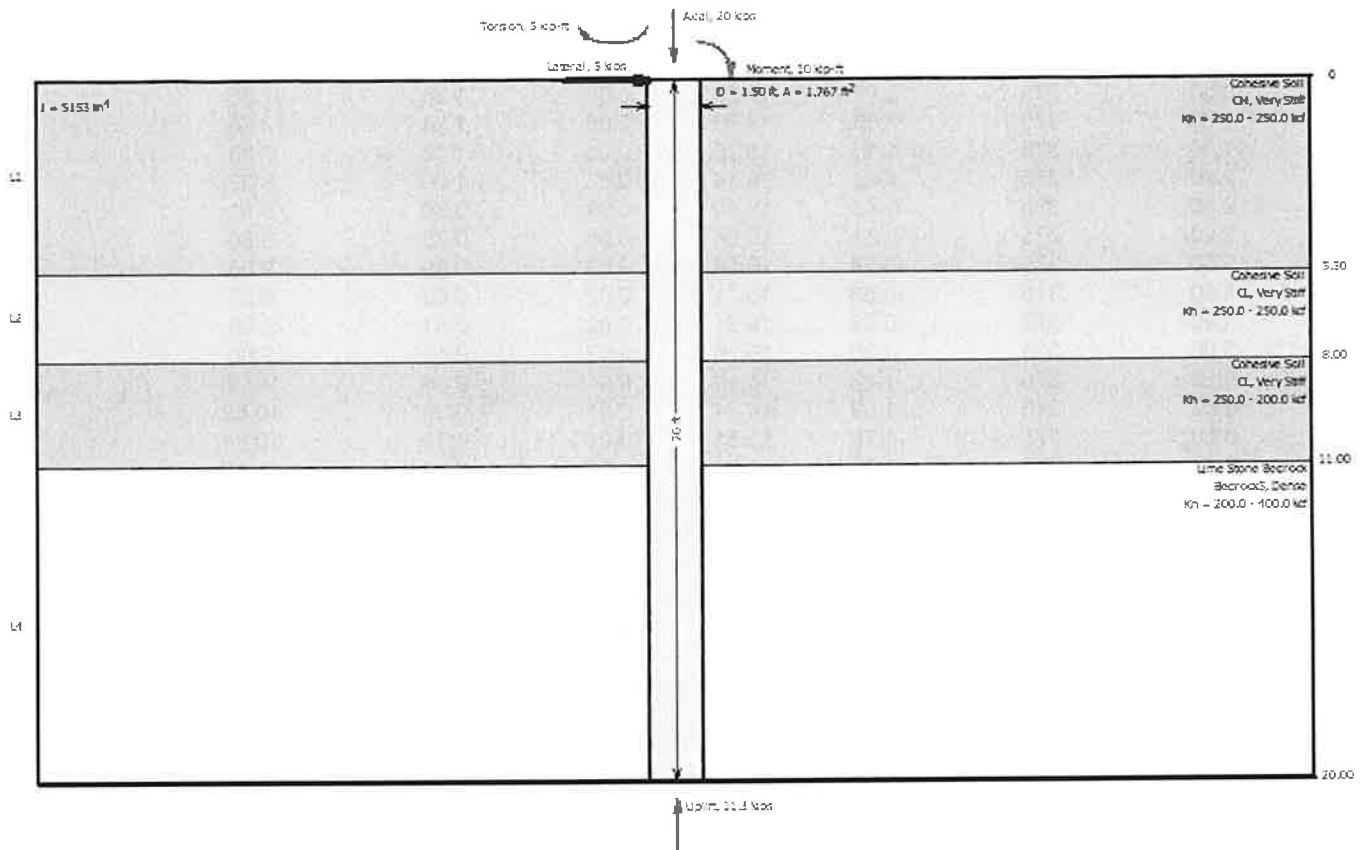
Conc. Elast. Modulus	3372 ksi	Conc. Strength (f _c)	3500 psi
Cross Section Area	254.5 in ²	Section Modulus	572.6 in ³
Allowable Geot. Torsion	72.9 k-ft	Moment of Inertia	5153 in ⁴

Allowable Structural Capacities

Axial Compression	471.9 kips	Maximum Deflection is 0.07 in at 0.00 ft (< 0.50 in)
Axial Tension	-142.6 kips	Maximum Moment is 16.94 k-ft at 3.00 ft
Torsional Moment	24.8 k-ft	Maximum Shear is 5.00 kips at 0.00 ft
Bending Moment (#1)	81 k-ft	Pier Tip Movement is 0.00 in at the bottom (20.00 ft)

Allowable Geotechnical Capacities

Total Vert. Settlement	0.03 in	Axial Compression	48.9 kips
due to El. Shortening	0.00 in	Axial Tension	-24.4 kips
due to Side Friction	0.03 in	Torsional Moment	72.9 k-ft
due to End Bearing	0.00 in		



Codes: ACI 318-19, IBC 2018

NOTES:

1. Downdrag is a function of skin friction. If the user inputs a side friction of zero (designed for end bearing only), Downdrag will not be calculated by the program. Therefore, the user should independently calculate the Negative Skin Friction or Downdrag magnitude by other means.
2. The user shall ensure Positive side friction capacity + end bearing capacity (Geotechnical Axial Compression) exceeds axial load plus downdrag force (all service level). This may require additional pier embedment.
3. In reinforcement design, P_u shall equal to 1.2(Dead Load) plus 1.6 (Live Load + Downdrag Load). These load factors may vary with time and governing code.
4. Vertical downward load (service level) shall include the self weight of the pier. Additional 15% settlement may occur due to creep.

Lateral Table

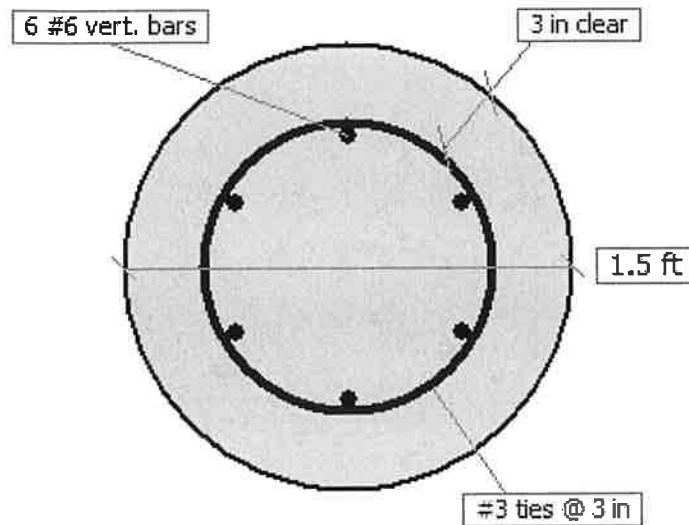
Node #	Depth, ft	Soil Modulus, ksf	Shear, kips	Moment, kip-ft	Deflection, in	Lat. Soil Pr, k/ft^2	Allow. Soil Pr, k/ft^2
1	0.00	375	5.00	10.00	0.07	1.48	7.07
2	0.50	375	3.94	12.23	0.06	1.36	7.36
3	1.00	375	3.00	13.96	0.06	1.24	7.65
4	1.50	375	2.16	15.25	0.05	1.12	7.93
5	2.00	375	1.43	16.14	0.04	1.00	8.22
6	2.50	375	0.78	16.69	0.04	0.89	8.51
7	3.00	375	0.23	16.94	0.03	0.79	8.80
8	3.50	375	-0.24	16.94	0.03	0.69	9.08
9	4.00	375	-0.63	16.71	0.02	0.60	9.37
10	4.50	375	-0.96	16.31	0.02	0.51	9.66
11	5.00	375	-1.23	15.76	0.02	0.43	9.95
12	5.50	375	-1.43	15.10	0.01	0.36	10.23
13	6.00	375	-1.59	14.34	0.01	0.29	10.52
14	6.50	375	-1.70	13.51	0.01	0.23	10.81
15	7.00	375	-1.78	12.64	0.00	0.18	11.10
16	7.50	375	-1.82	11.74	0.00	0.13	11.38
17	8.00	375	-1.83	10.83	0.00	0.09	11.67
18	8.50	363	-1.81	10.11	0.00	0.06	11.96
19	9.00	350	-1.78	9.41	0.00	0.03	12.25
20	9.50	338	-1.73	8.75	0.00	0.01	12.53
21	10.00	325	-1.68	8.11	0.00	-0.01	12.82
22	10.50	313	-1.62	7.51	-0.01	-0.03	13.11
23	11.00	300	-1.56	6.94	-0.01	-0.04	13.67
24	11.50	317	-1.47	5.89	-0.01	-0.06	13.97
25	12.00	333	-1.36	4.91	-0.01	-0.07	14.27
26	12.50	350	-1.24	4.02	-0.01	-0.09	14.57
27	13.00	367	-1.12	3.22	-0.01	-0.09	14.87
28	13.50	383	-1.00	2.50	-0.01	-0.10	15.17
29	14.00	400	-0.88	1.87	-0.01	-0.10	15.47
30	14.50	417	-0.76	1.33	-0.01	-0.10	15.77
31	15.00	433	-0.65	0.87	0.00	-0.10	16.07
32	15.50	450	-0.54	0.48	0.00	-0.10	16.37
33	16.00	467	-0.44	0.15	0.00	-0.09	16.67
34	16.50	483	-0.35	-0.10	0.00	-0.08	16.97
35	17.00	500	-0.27	-0.31	0.00	-0.08	17.27
36	17.50	517	-0.20	-0.46	0.00	-0.07	17.57
37	18.00	533	-0.14	-0.57	0.00	-0.06	17.87
38	18.50	550	-0.09	-0.64	0.00	-0.05	18.17
39	19.00	567	-0.04	-0.68	0.00	-0.05	18.47
40	19.50	583	-0.01	-0.69	0.00	-0.04	18.77
41	20.00	600	0.02	-0.68	0.00	-0.03	19.07

Axial Table

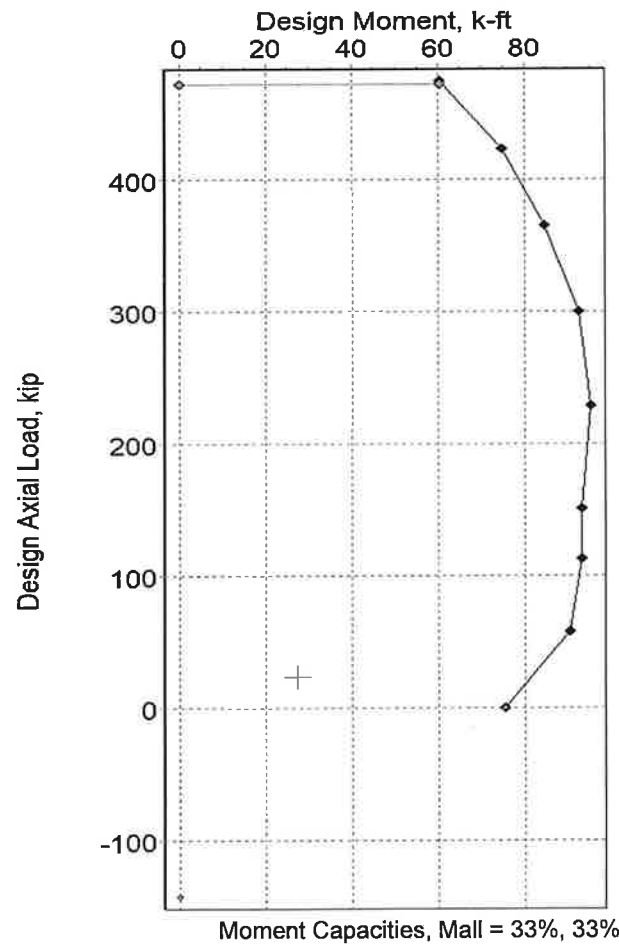
Layer #	Depth, ft	Unit wt, pcf	Tot. Stress, psf	Porewater, psf	Skin Fric, psf	TSA Sk.Fr, kips
1	0.00 - 5.50	115.00	632.50	0.00	1000	18.8
2	5.50 - 8.00	115.00	920.00	0.00	1000	11.8
3	8.00 - 11.00	115.00	1265.00	187.26	1000	14.1
4	11.00 - 20.00	120.00	2345.00	749.04	1200	42.4

Layer #	Fr. Ang, Deg	Neg.Sk.	Downdrag, kip	Beta	Geo. Tors. Cap, kip-ft
1	8.00	No	0.00	0.55	16.20
2	8.00	No	0.00	0.55	7.36
3	8.00	No	0.00	0.55	8.84
4	25.00	No	0.00	0.70	40.48

Reinforcement

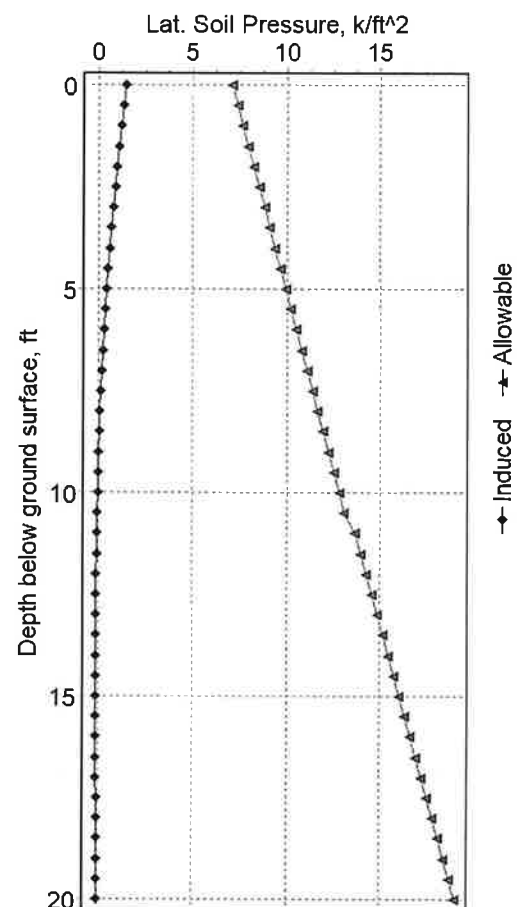
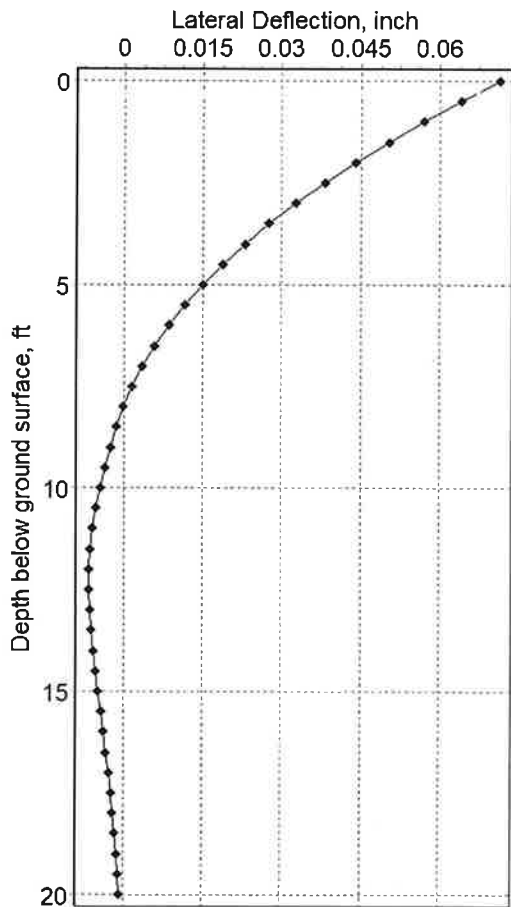
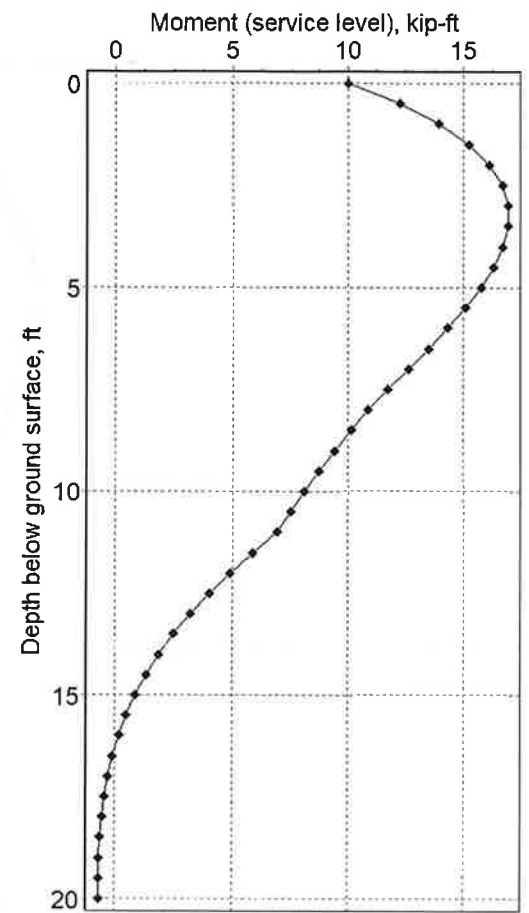
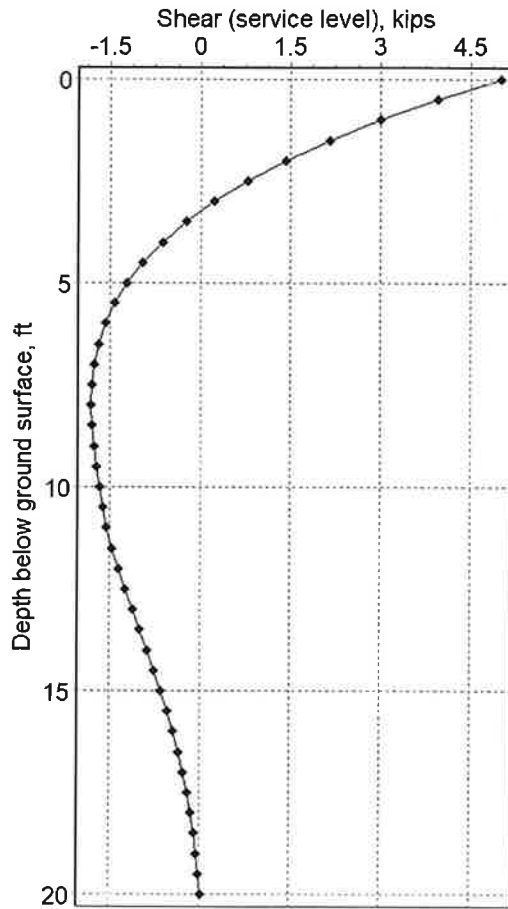


Column Interaction Diagram



NOTES:

1. If Torsional Moments are included, an additional check shall be made for concrete breakout due to shear directed parallel to the edge of anchors. Concrete Anchorage Breakout may govern.
2. If Torsional Moments are included in addition to Lateral Loads, Lateral capacity shall be reduced by 40% if Torsional Moment Load/Lateral Load ratio (TML/LL) is 15 and unaffected if TML/LL ratio is 7.5 or less. You may interpolate linearly for TML/LL ratio between 7.5 to 15. See Report # 4910-4504-723-12 by The University of Florida, April, 2003, available online.



DRILLED PIER UPLIFT ANALYSES

Owner: C. Marino

Pier Uplift in Expansive Soils

10/25/2023 Input values

INPUT

Pier Diameter, B	1.500	ft
Pier radius, r	0.75	ft
uplift Coef. @ Soil-pier, f	0.15	fixed value from research
swelling pressure, u	2000.00	psf
Pier Embedment, D	20.00	ft
Unaffected Zone, d	10.00	ft
Wetting Zone, D-d	10.00	ft
Allow. Skin Friction, s	750.00	psf (400-1000)
Loading from Structure	10.00	kip/ft
Spacing of Piers, c-c	20.00	ft

ESTIMATED

NOTE: VARIATION IN DEPTH OF PHREATIC SURFACE

ALLOW CHECK GEO REPORT FOR ACCUR

TAKE FROM MARINO DWGS.

RESULTS

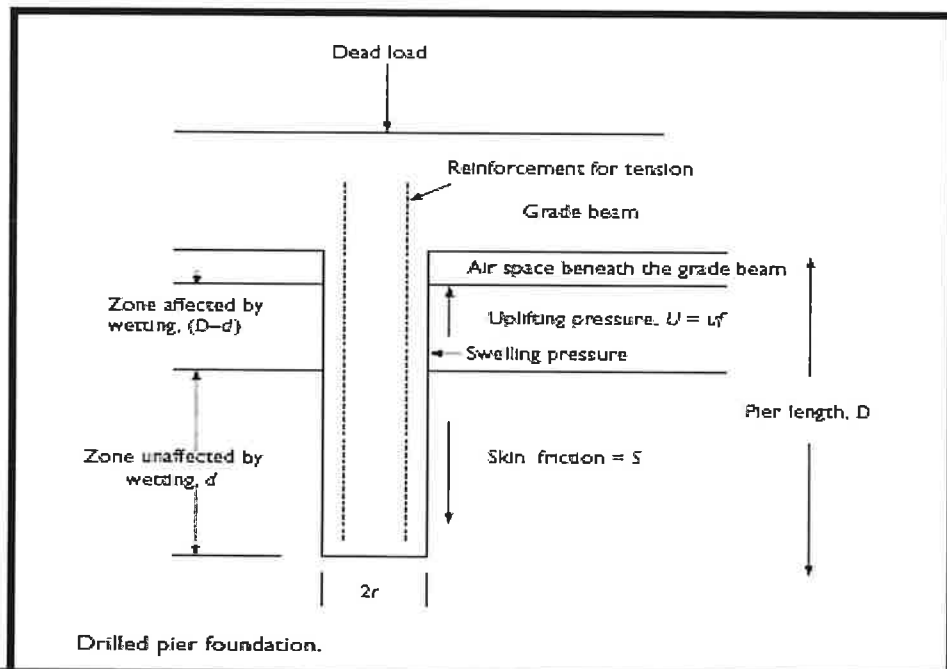
Wt. of Pier(net), D _{pier}	1.06	kips
End Area of Pier, A	1.77	ft ²
unit dead load press., p	114237	psf
Uplift Load, U	14.14	kips
Witholding Force, W (Resisting Uplift)	237.22	kips
F.S. against Uplift	16.78	>1.50

REFERENCE:

Foundation Design in Expansive Soils, 2nd Ed.
 F.H. Chen, 1988, Elsevier Science Publishers
 Prepared by Mr. Liiban Afii, PE
 checked by dr. Gregory P. Wilson, PE for this project.

O.K.

FS MUST BE > 1.5)

**COMMENT ON PROJECT:**

References:

1. "Analytical and Computer Methods in Foundation Engineering", J.E. Bowles, 1974
2. "Pile Foundation Analysis and Design", Poulos & Davis, 1980.
3. "Foundation Analysis", R.F. Scott, 1981
4. "Soil Mechanics in Engineering Practice", 2nd Ed, Terzaghi & Peck, 1967.
5. "Foundation Analysis and Design", 5th Ed., J.E. Bowles, 1996
6. "Foundation Design: Principles & Practices", 3rd Ed., Coduto, Kitch and Yeung, 2015
7. "Roark's Formulas for Stress and Strain", 7th Ed., W.C. Young & R.G. Budynas, 2002
8. "Engineering Design in Geotechnics" , 2nd Ed., F. Azizi, 2013
9. "Pile Design & Construction", Tomlinson & Woodward, 5th ed, 2007.
10. "Advanced Foundation Engineering" V.N.S. Murthy, 2007
11. "AS 2159-2009, Piling-Design and Installation", Standards Australia, 2009
12. "Foundations and Earth Retaining Structures" M. Budhu, 2008
13. "Contemporary Topics in Deep Foundations", GSP 185, ASCE, 2009
14. "Single Piles and Pile Groups Under Lateral Loading", 2nd Ed., L.C. Reese & W.F. Van Impe, 2011
15. "Design of Concrete Structures, A23.3-2014", CSA Group, 2014
16. "Load Testing of Deep Foundations", C. Crowther, 1988
17. "GeoSupport 2004", GSP 124, ASCE, 2004
18. "Design and Construction of Drilled Piers", American Concrete Institute 336.3R, 2006
19. "Drilled Shafts: Construction Procedures and LRFD Design Methods", FHWA-NHI, 2010
20. "Drilled Shafts-Student Workbook", L.C. Reese & M.W. O'Neil, NHI Course 13214, 1988
21. "Handbook of Soil Mechanics", A. Kezdi & L. Rethati, Vol. 3 & 4, 1990
22. "Building Code Requirements for Structural Concrete", ACI 318-19
23. "Reinforced Concrete Structures- Analysis & Design", D.A. Fanella, 2011
24. "Determine Optimum Depths of Drilled Shafts Subject to Combined Torsion and Lateral Loads Using Centrifuge Testing", University of Florida Report # 4910-4504-723-12, April 2003.
25. "Geotechnical Engineering: Unsaturated & Saturated Soils", Jean-Louis Briaud, 2013
26. "Pile Downdrag During Construction of Two Bridge Abutments", Brian K. Sears, 2008
27. 2021 International Building Code
28. Drilled Pier v2.0.3 Software by SoilStructure.com, 2023

MINUTES
PLANNING AND ZONING COMMISSION MEETING
 August 22, 2024

CALL TO ORDER – Roll Call and Determination of a Quorum

The Planning & Zoning Commission met on the above date. Chair Wright called the meeting to order at 5:02 PM.

Commissioners Present:				
X	Chair Russell Wright		X	Alternate Lucy Estabrook
X	Vice Chair Joe Lozano			Alternate Larkin Crutcher
X	Commissioner & Secretary Wei Wei Jeang		X	Alternate Lynnette Ammar
X	Commissioner David Leamy			
X	Commissioner Jasmat Sutaria			
Staff/Others Present:				
X	Public Works Dir. Gary Machado			Interim City Attorney Catherine Clifton
	City Secretary Patti Scott Grey			City Administrator Luke B. Olson

APPOINTMENT OF ALTERNATE(S)

No Alternate is needed for the quorum.

PLEDGE OF ALLEGIANCE

The pledges were recited.

PUBLIC COMMENTS The Commission invites any person with business before the Commission to speak to the Commission. No formal action may be taken on these items at this meeting. Please keep comments to 3 minutes.

Public comments were made with respect to the agenda items for the Commission, recorded below.

INDIVIDUAL CONSIDERATION ITEMS

1. COLIN AND AUBREE MARINO SPECIAL USE PERMIT (SUP): PUBLIC HEARING FOR A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.

Public comments commenced at 5:07PM.

Homeowner Colin Marino stated his desire to breed and train horses and that the existing arena is not big enough.

Nearby homeowners Paul Moore, Dave Morgan, and Marcy Morgan expressed enthusiastic support for the future construction of the new arena, citing what the Marinos are doing on their property and the quality of the work so far.

Written comments from neighbors Ilene Simerka and Melinda Marshal, both expressed support for the construction plans of the arena.

Neighboring homeowner Charity Smith expressed concerns with sunlight reflectivity resulting from the planned 10-foot wall that will be built on an elevated footing ("man-made hill"). She is concerned if expanded commercial use is contemplated. She is also concerned with nighttime lights that will shine into her residence.

Public comments closed at 5:22PM

CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON A SPECIAL USE PERMIT FOR THE PROPERTY LOCATED AT 3901 SYCAMORE LANE IN THE 3900 BLOCK OF SYCAMORE LANE FOR COLIN AND AUBREE MARINO.

The Commissioners inquired for more details about the construction plans and Ms. Smith's concerns. The Commissioners then discussed how Ms. Smith's concerns may be addressed and resolved. Applicant Marino clarified that there has been pre-existing horse boarding on the property and that they are not planning to expand beyond what existed before. He also expressed willingness to work with Ms. Smith to address her concerns, such as planting greenery that would block reflected and nighttime light, also using building materials that has little reflectivity.

MOTION: Commissioner Leamy moved that the Commission recommends to the City Council the approval of the Special Use Permit with the condition that the reflectivity and lighting issues be addressed with trees or other solutions.

Commissioner Lozano seconded the motion. The motion carried 5-0.

2. ZONING 1 – [MM Southfork 241, LLC - APPROXIMATELY 151.316 ACRES]: PUBLIC HEARING REGARDING REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 151.316 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE SHERWOOD HERRING SURVEY, ABSTRACT NO. 404, EAST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (Southfork).

CONSIDERATION AND/OR AN APPROPRIATE ACTION ON THE MM Southfork 241, LLC REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 151.316 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE SHERWOOD HERRING SURVEY, ABSTRACT NO. 404, EAST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (Southfork).

See below.

3. ZONING 2– [MM Southfork 241, LLC -APPROXIMATELY 54.053 ACRES]: PUBLIC HEARING REGARDING REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 54.053 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE JOSEPH RUSSELL SURVEY, ABSTRACT NO. 778, WEST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (Southfork).

CONSIDERATION AND/OR AN APPROPRIATE ACTION ON THE MM Southfork 241, LLC REQUEST FOR PERMANENT ZONING ON APPROXIMATELY 54.053 ACRES OF LAND IN THE CITY OF PARKER, TEXAS, GENERALLY LOCATED IN THE JOSEPH RUSSELL SURVEY, ABSTRACT NO. 778, WEST OF N MURPHY RD AND SOUTH OF PARKER RD, COLLIN COUNTY, TEXAS TO SINGLE-FAMILY RESIDENTIAL (Southfork).

Public comments for both Items 2 (ZONING 1) and 3 (ZONING 2) were presented during the same block of time that commenced at 5:30pm.

- Billy Barron – generally in support of rezoning but concerned about water drainage issues.
- Cindy Meyer – wants the development to adhere to the minimum two-acre lot size required by city ordinance; expressed concerns about the frontage on Parker Road; expressed concerns about water drainage issues.
- Marcos Arias – voiced opposition of the rezoning request; cited water drainage issue; wants to keep Southfork the way it is and maintain the historic character of Southfork.
- John Sugra – opposes the zoning change; cited concern about the surrounding streets and that Gregory Ln. would need to be paved. Comment card: “Lot size must be ‘std’ two acres.”
- Matthew Ware – expressed concerns about the water drainage issue; wants the development to adhere to the minimum two-acre lot size required by zoning ordinance. Comment card: “Flooding on my property.”
- Laura Hernandez – expressed concerns about the added traffic on Gregory Ln. and surrounding streets; opposes re-zoning.
- Alicia Evans – supports single family 2-acre minimum lot size in the development for rezoning. Comment card: “Glad to know development is coming in zoned single family/2 acres. Reiterate comments that we want to ensure current zoning rules enforced for development at 2-acre minimum.”
- Emily Plummer – expressed concern for the development near the park; would like to see bigger lots in the area near Gregory Ln. to be consistent with existing lots.

Comment card: “I wish to oppose the proposed change in zoning on the West side of Hogge on the Southfork property. I wish it to remain Ag zoning, but if the P&Z and/or City Council approve a change, I believe the lots should be greatly increased to conform with surrounding lots and green space allowances. And access to Gray limited because of the park.”

- Roxanne Bogden – supportive of the residential development because of past noise issues with the outdoor concerts that have traditionally been held at Southfork. Expressed concerns about water drainage issues that need to be addressed for the development and neighboring areas.
- Candy Levy – does not support re-zoning. Comment card: Our family moved to Parker for country life – this plan to build on the land the cows graze on is not keeping Parker uniquely country. This is a big no for us.”
- Sudhir Sakaria – expressed concerns because his lot is immediately adjacent the proposed neighborhood. Gray Ln. is at 2.5 acres per lot and other lots are at 5+ acres per lot.
- Joey Lee – expressed opposition against re-zoning; too much traffic on Gregory Ln. Comment card: “I am against this zoning request. Will create too much traffic on Gray and Gregory Lane[s]. Cannot handle this traffic.”
- Nancy Shirar – expressed concern about the impact of the development on Gregory Ln.
- Jose Victor Muller – wishes to keep country living in Parker; wants to keep Southfork the way it is. Comment card: I moved to Parker to get away from congested city living. I prefer country living, good neighbors, raising animals, growing pastures for livestock.”

Public comments closed at 6:10PM. The Commissioners took a ten-minute recess and reopened the meeting at 6:20PM.

Chair Wright asked the developer to address the concerns raised by the residents. Sean Terry, Vice President of Centurion American Development Group, spoke about their past development projects, including the re-developing the land at Collin Creek Mall where they worked to address Plano residents’ concerns. They understand the passion around South Fork Ranch and the nostalgia. He indicated that they intended to fix up South Fork to make it a true tourist destination and event venue. He emphasized that the residential development will comply with all of the City’s ordinances, including, importantly, the two-acre minimum lot size for single family homes. Once they get approval for re-zoning they will conduct hydrology studies to determine how to retain the water on the property so it doesn’t impact neighboring houses. The development will mean that there will not be outdoor concerts so noise levels will be lowered.

Chair Wright expressed his thoughts that it is inevitable that Parker will continue to be developed and it is welcomed when a real estate developer is willing to work with the City and complies with Parker’s ordinances. This request for rezoning complies with Parker’s requirement of two-acre minimum lots.

The Commissioners discussed the concerns expressed by the neighboring property owners regarding lot size, water drainage, increased traffic load, changes to the character of the neighborhood, etc. The Commissioners and Director Machado emphasized that at this stage of the process, only an overall zoning change for the two parcels of property is requested even

though the submitted concept plan shows how the 89 lots are laid out. These details will likely change, including the number of lots to account for water drainage, green space, and other issues. The developer expressed a willingness to work with the neighbors to address their concerns. Director Machado also confirms that some of the issues raised by the Gregory Lane neighbors will be addressed further down the process and every effort will be made to ensure that the development adheres to the City's laws and regulations. Commissioners Lozano, Jeang, and Ammar expressed that Zoning 2 request is a tougher decision because of all the concerns expressed by the neighboring residents that will bear the most impact. The Commissioners agreed that this rezoning request is consistent with the City's Comprehensive Plan and zoning ordinances.

MOTION (ZONING 1): Commissioner Jeang moved to recommend to the City Council that this request for rezoning to Single Family be approved.

Commissioner Leamy seconded the motion. The motion carried 5-0.

MOTION (ZONING 2): Commissioner Leamy moved to recommend to the City Council that this request for rezoning to Single Family be approved.

Commissioner Jeang seconded the motion. The motion carried 5-0.

4. REVIEW AND DISCUSS THE COMPREHENSIVE PLAN (COMP PLAN).

The Planning and Zoning Commission went through the entire draft Comp Plan and provided constructive changes and feedback To the Comp Plan Committee.

5. FUTURE AGENDA ITEMS

None.

6. ADJOURN

Chair Wright adjourned the meeting at 9:30PM.

Minutes Approved on _____ day of _____, 2024.

Chair Russell Wright

Attest and Prepared by:

Commissioner & Secretary Wei Wei Jeang

From: [Charity Smith \(US\)](#)
To: [Lee Pettie](#); [Todd Fecht](#); [Jim Reed](#); [Buddy Pilgrim](#); [Amanda Noe](#); [Randy Kercho](#)
Cc: [Patti Grey](#); [Gary Machado](#)
Subject: Council Agenda Item - SUP 3901 Sycamore Lane - Neighbor Concerns
Date: Monday, September 9, 2024 8:57:20 AM

Mayor and Parker City Council,

By way of introduction, my name is Charity Smith and I reside at 4003 Windream Lane, a single residence property. My home is adjacent to 3901 Sycamore Lane, a single-family residence, owned by Colin and Aubree Marino (the Marino Property). As described at the P&Z meeting, the Marino's are requesting a special use permit to build a covered riding arena, partially enclosed on the North & West sides with 10 ft high beige walls (the Arena). The proposed location of the arena is directly adjacent to my property, set upon a man made 4-foot-high hill overlooking my backyard.

I respectfully request that the City Council consider imposing reasonable conditions to mitigate specific adverse effects of the proposed Arena. As currently proposed, the Arena could be injurious to the use and enjoyment of my property based upon the following:

- **Reflectivity:** The light colored 10-foot-high walls set upon a 4 ft high man-made hill could reflect the westward setting sun directly into my living room and bedroom windows creating a nuisance and impeding the use/enjoyment of my property.
- **Lighting:** Lighting within or on the arena could also shine directly at or into my home.
- **Drainage:** Consider impacts of water run-off into floodplain & regulatory floodway (*see also below regarding homeowner modifications to engineer drawings*)
- **Personal vs. Commercial Use:** Commercial use of the arena, for horse boarding and training could greatly increase traffic and noise, creating a nuisance, potentially reducing neighboring property values.

Absent the choice of a different location for the Arena on the Marino Property, I respectfully ask that the City Council consider including some or all of the following conditions within the Ordinance:

Landscaping – the planting of trees and/or other suitable landscaping around the Arena to block the reflectivity of the sun off the walls. The landscaping should also be suitable for blocking any lights installed within or on the Arena.

Personal Use Only – The permit fails to address the current commercial, profit-making use of the property, which as stated by Mrs. Marino at the P&Z hearing, the Marino Property is being used for public horse boarding and as a breeding operation. I would request that the ordinance determine with specificity the number of grazeable acres and limit the number of horses as per City Ordinances (i.e., similar to the Karma Ridge SUP) taking into account all current and proposed buildings and the newly built "lake". It is unclear to me if any other special use permits are required for the commercial (horse boarding) activities, but I will defer to the City regarding that matter (Ord 156.31(B)(2)?).

Errors and Omissions in the Application for Special Use Permit dated May 8, 2024, and the Accessory Building Application (collectively, the Permit) submitted by Colin & Aubree Marino – The submitted designs and conceptual photograph do not represent the Arena as described by the Marino's in the P&Z meeting.

-The Permit states that the Arena is not enclosed and shows 0% for exterior metal finishes (*see page 23 of the Aug 22, 2024 P&Z Agenda*).

-On page 27, the applicant added arrows that do not align with the original arrows as drawn by the engineer (i.e., the engineer did not extend the line of drainage to the lake, instead the drainage goes to my property line). I respectfully request that the ordinance address with specificity the building exterior details, lighting, and drainage, considering any adverse or injurious effect to the adjacent neighbors (especially considering the proximity to the floodway).

-If the property is A-O, doesn't section Parker Ordinance 156.31(C) require a 100 foot setback of the property line? If Residential District, then shouldn't the horse boarding be addressed in this Permit or a separate permit?

I have called and texted the Marino's to discuss my concerns and options to address, but as of today, they have not addressed the concerns raised at the P&Z meeting.

Respectfully,
Charity Smith

Patti – As appropriate, can you please share with the P&Z committee members? I was not able to locate their addresses on the City website. Thank you!!

The information transmitted, including any attachments, is only for the intended recipient and may contain confidential and/or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon, this information by persons or entities other than the intended recipient is prohibited, and all liability arising therefrom is disclaimed. If you received this in error, please contact the sender and delete the material from any computer and destroy any copies.

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Council Agenda Item

Budget Account Code:	Meeting Date: See above.
Budgeted Amount:	Department/ Requestor: City Council
Fund Balance-before expenditure:	Prepared by: ACA/CS Scott Grey for Public Works Director Gary Machado
Estimated Cost:	Date Prepared: September 11, 2024
Exhibits:	<ol style="list-style-type: none"> 1. Dublin Rd Water Line plans 2. Cost Estimate 3. Notice(s)

AGENDA SUBJECT

DISCUSSION, CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON DUBLIN ROAD WATER LINE PROJECT.

SUMMARY

Please review the information provided for the Dublin Road Water Line Project.

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Gary Machado</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/13/2024 via Municode
Mayor:	<i>Lee Pettie</i>	Date:	09/xx/2024

CITY OF PARKER, TEXAS

CONSTRUCTION PLANS FOR:

DUBLIN ROAD WATERLINES

CITY COUNCIL

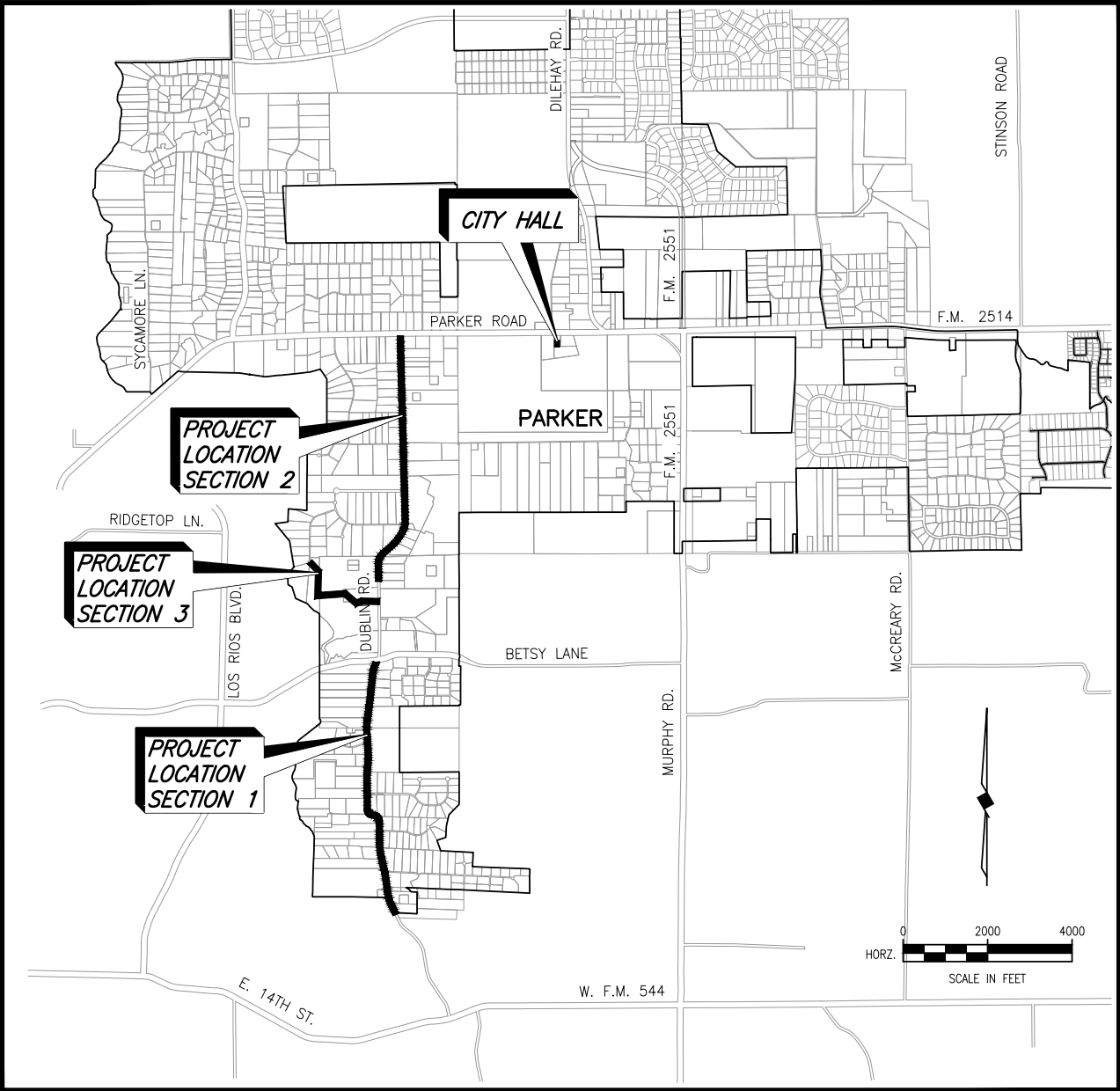
LEE PETTLE, MAYOR
JIM REED, MAYOR PRO TEM
TODD FECHT
BUDDY PILGRIM
AMANDA NOE
RANDY KERCHO

CITY ADMINISTRATOR

LUKE OLSON

DIRECTOR OF PUBLIC WORKS

GARY MACHADO



LOCATION MAP
SHEET INDEX

PREPARED BY
BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
Texas Firm F526 TBPLS Firm No. 10031800
11910 Greenville Ave., Suite 600, Dallas, Texas 75243
Phone: 214-361-7900
SEPTEMBER 2024

THESE DOCUMENTS ARE FOR INTERIM REVIEW
AND ARE NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.
CRAIG M. KERKHOFF
TEXAS P.E. NO. 106102
DATE: September 2024

SHEET INDEX

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2	SHEET INDEX
3	GENERAL NOTES
4	SECTION 1 SOUTH CONTROL
5	SECTION 1 SOUTH CONTROL
6	SECTION 1 SOUTH PP-01
7	SECTION 1 SOUTH PP-02
8	SECTION 1 SOUTH PP-03
9	SECTION 1 SOUTH PP-04
10	SECTION 1 SOUTH PP-05
11	SECTION 1 SOUTH PP-06
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19	SECTION 2 NORTH CONTROL
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These plans and related specifications were prepared for construction of this specific project only. Reuse of these documents is not permitted without written authorization of Birkhoff, Hendricks & Carter, L.L.P. If this drawing is converted to an electronic file, if any discrepancy occurs between the electronic file and the Birkhoff, Hendricks & Carter, L.L.P. original document, the original document will govern in all cases.

BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
TBPE Firm No. 526; TBPLS Firm No. 10031800
11910 Greenville Ave., Suite 600
Dallas, Texas 75243 (214) 361-7900

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

CRAIG M. KERKHOFF
TEXAS P.E. NO. 106102
DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE

SHEET INDEX

BHC
PROJECT NO.
2024116

September 2024

SHEET NO.

2

GENERAL CONSTRUCTION NOTES

1. All construction, materials and workmanship shall conform to Standard Specifications for Public Works Construction, North Central Texas Council of Governments (NCTCOG Standard Specifications) Fifth Edition unless otherwise noted.
- The Contractor shall provide temporary drainage measures during construction.
- Bracing of utility poles may be required by utility companies when trenching or excavation is in close proximity to the poles. The cost of bracing poles will borne by the Contractor. There is no separate pay item for this work. The cost shall be considered incidental work.
- The locations, elevations and dimensions of existing utilities shown on the plans were obtained from Dig Tess and/or available utility company records and plans and are considered approximate. It shall be the Contractor's responsibility to verify locations, elevations, and dimensions of adjacent and/or conflicting utilities sufficiently in advance of construction in order that adjustments can be made to provide adequate clearances. The Contractor shall preserve and protect public utilities at all times during construction. Any damage to utilities resulting from Contractor's operations shall be restored at the Contractor's expenses. The Engineer shall be notified when proposed improvements conflict with utility grades.
- The Contractor shall immediately repair or replace any physical damage to private property, including, but not limited to fences, walls, pavement, grass, trees, planters and lawn sprinkler and irrigation systems at no cost to the owner. This work shall be subsidiary to the contract, unless otherwise noted.
- Finished ground shall not contain any more rock or debris than the surrounding undisturbed ground and rock shall not exceed 1 inch. Finish grade shall be hand raked.
- The Contractor shall remove and properly dispose of surplus material from the project area. This work shall be subsidiary to the contract and is not a separate pay item.
- The Contractor shall vegetate all areas disturbed by construction. The Contractor shall provide whatever measures are needed, including temporary irrigation and mowing, to ensure establishment of grass. Unless otherwise noted, private lawn areas and parkways in front of private lawn areas disturbed by construction shall be replaced with block sod of a similar grass to that existing. Contractor to water and establish vegetation twice a day for a period of 4 weeks or until grass is established as determined by the City. Work shall be in accordance with NCTCOG Item 202.
- The Contractor shall protect all trees in the project area and temporary easements during construction. No tree shall be removed unless marked and approved for removal by the City.
- It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc. not shown to be abandoned, must be adjusted to finished grade by the contractor. All utility location and grade adjustment are subsidiary except for those included as pay items.
- Contractor is responsible for obtaining potable water for testing. City will provide water for testing, (1st round). Provide the necessary piping, connection, pressure reducing and back flow prevention equipment required to conduct the test. Fill the new pipeline through a back flow prevention device. All blow off and flushing water shall be de-chlorinated prior to discharge. Contractor shall submit plan to the city.
- Contractor shall contain all work within the area provided for this project as shown on the plans.

GENERAL NOTES FOR WATER LINES

- Fittings shall be ductile iron meeting AWWA Standard C110 or C153 and shall be cement lined inside and bituminous coated on the outside. Where connections are made to pipes of dissimilar materials, suitable bond breakers shall be used.
- All ductile iron fittings shall be mechanical joint or slip joint type (Class 125 Drilling) and be rated for minimum 250 psi working pressure. Fittings shall be mortar lined and bituminous coated on the exterior.
- All trenching, embedment and backfill shall be incidental to the unit cost of pipe.
- Water Lines shall meet AWWA standards as called for in the construction plans.
- All trench backfill shall be placed in maximum 8-inch loose lifts and mechanically compacted. Testing shall be in accordance with NCTCOG as a minimum.
- Work to make connections shall be continuous and shall occur during times of low usage.
- Valves on lines 12-inch and less shall be gate valves. Valves on lines greater than 12-inches shall be butterfly valves. Gate valves on laterals shall be attached to flanged outlet, tee or cross. Gate valves shall conform to AWWA C-509. Butterfly valves shall conform to AWWA C-504.
- Dewatering of water line trench may be required during construction. Dewatering is subsidiary to pipe installation.
- All bends shall be blocked or restraint to resist test pressures.
- All tapping saddles shall be rates for 250 p.s.i.

GENERAL NOTES FOR WATER LINES (CONTINUE)

- During water line testing contractor to dechlorinate in accordance with TCEQ requirements prior to releasing water overland and into storm drainage systems.
- All exterior surfaces of valves, fire hydrants, pipe, support structures, nuts, bolts and metal appurtenances shall be properly prepared to paint manufacturers specifications and coated with one coat high performance epoxy (3 mils dryfilm thickness) and two coats of high performance polyethylene (2 mils dry film thickness). Hydrants shall be coated by the manufacturer. The hydrant color shall be selected by the City.
- Contractor to support all existing utilities as construction of new water line crosses these utilities. No separate pay item.
- All new water services shall be AWWA C901, 1" minimum DR-9 (250 psi) HDPE poly pipe with PE4710 as specified in ASTM F714, from the service tap to the curb stop, 1-inch minimum compression fitting angle stop, and meter box, unless otherwise indicated on the plans. Curb stops will be located within the meter box and facing toward the lot.
- All water service lines shall shall be embedded with 6-inch sand below and around the pipe and 1-ft of sand over the top of the pipe; from the water main to the meter. Water service lines within roadway right-of-way shall be compacted to a minimum of the 95% Standard Proctor density with a +/- 3% wet of optimum moisture content.
- Bolts and nuts for mechanical joints will be of a high-strength low-alloy corrosion resistant steel conforming to ASTM A325 (Type 3).
- Assembly of pipe to be performed as required by pipe manufacturer. Gaskets shall be clean and lubricated. Do not swing or stab the joint. Align the spigot to the bell, insert spigot into bell and contact gasket. The spigot end is marked with insertion mark. Insert pipe to the mark, do not over-insert.
- All valve stacks shall be set at finished grade.
- All straps shall be stainless steel.
- Polywrap meeting AWWA C105 shall be minimum 8 mil., sealing tape shall be minimum 10 mil.
- Contractor shall field locate pipelines at connection points prior to ordering or fabricating proposed pipe. Contractor shall verify pipe size, type, elevation and horizontal location. Contractor shall make all necessary adjustments to connect to existing line after approval from the engineer.
- The Contractor shall email City Inspector, Testing Laboratory and Birkhoff, Hendricks & Carter, LLP each week the description of work for the preceding week in the format below:

Owner: _____ Today's Date: _____

Project: _____ By: _____

Bid Item Description	Location	Description of Work Limits of Work

- Construction Staking. The construction staking and survey shall be completed by the contractor. Survey control has been provided. Contractor shall complete all construction staking. Cut sheets shall be provided to the city inspector daily.
- Shop Drawings and Record Drawings**

The CONTRACTOR shall submit shop or design drawings to the ENGINEER for all proposed materials in PDF electronic file format via email to fm2551@bhcllp.com. All submittals shall have a maximum page size of 11" x 17". All submittals shall be from originals and be legible. Contractor shall include the description and numbering system of shop drawings listed in the Shop Drawing Schedule.

Checking of shop drawings by Birkhoff, Hendricks & Carter, L.L.P. is only for general conformance with the design concept of the project and general compliance with the information given in the contract documents. Any action shown is subject to the requirements of the plans and specifications. Contractor is responsible for dimensions which shall be confirmed and correlated at the job site; fabrication processes and techniques of construction, coordination of his work with that of all other trades; and performing his work in a safe and satisfactory manner. At the start and during the progress of the job, CONTRACTOR shall keep one (1) separate set of prints for making construction notes and mark-ups for submittal of as-built drawings.

Record all deviations from the Contract Documents.

Contractor to allow in their schedule 14-calendar days from receipt for shop drawing review.

	Description			
C1	Monthly Construction Schedule Update			
C2	Water Line			
C3	Encasement Pipe			
C4	Gate Valve			
C5	Fire Hydrants			

BACKFILL NOTE

- All trench backfill shall be placed in maximum 8-inch loose lifts and be mechanically compacted. Density testing shall be in accordance with NCTCOG as a minimum and as directed by the City. The NCTCOG minimum for density testing is once per 300-feet per 1-foot of compacted depth. (NCTCOG Item 504.5.3.2)

EROSION CONTROL & VEGETATION NOTES

Erosion Control is covered by the overall TxDot F.M. 2551 contract.

APPROVED MATERIAL LIST

Gate Valves: Pratt/Mueller, Clow, American Flow Control, J&S

Butterfly Valves: Pratt/Mueller, Clow, American Flow Control, J&S

Fire Hydrants: Mueller, Clow

CONCRETE STRENGTH (28-DAY COMPRESSIVE)

Item	NCTCOG Concrete Class Item 303.3.4.2(2)		
Paving:	Class	P-1	4000 psi
Driveways:	Class	A	3000 psi
Sidewalks:	Class	A	3000 psi
Curb & Gutter:	Class	C	3000 psi

PHASING NOTES

- The water line crossing along Parker Road No.1 and water line crossing at existing F.M. 2551 No. 4, can not be under construction at the same time.
- Water line crossing No. 2 (Raventhrope) requires temporary 4-inch HDPE line above ground.
- Water line crossing No.'s 1,2 and 4, construction of each must be continuous to completion including testing and disinfection.
- Water line from water line crossing No. 4 to Kara Lane requires:

A 4 inch RSGV to be cut into the 4 inch PVC water line located along Elisa Lane to be completed.

The 8 inch x 8 inch cross, 3 - 8 inch RSGV, one 8 inch x 4 inch reducer and connection to 4 inch PVC water line in Kara Lane to be completed.

BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
TBPE Firm No. 526; TBPLS Firm No. 10031800
11910 Greenville Ave., Suite 600
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CRAIG M. KERKHOFF
TEXAS P.E. NO. 106102
DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE

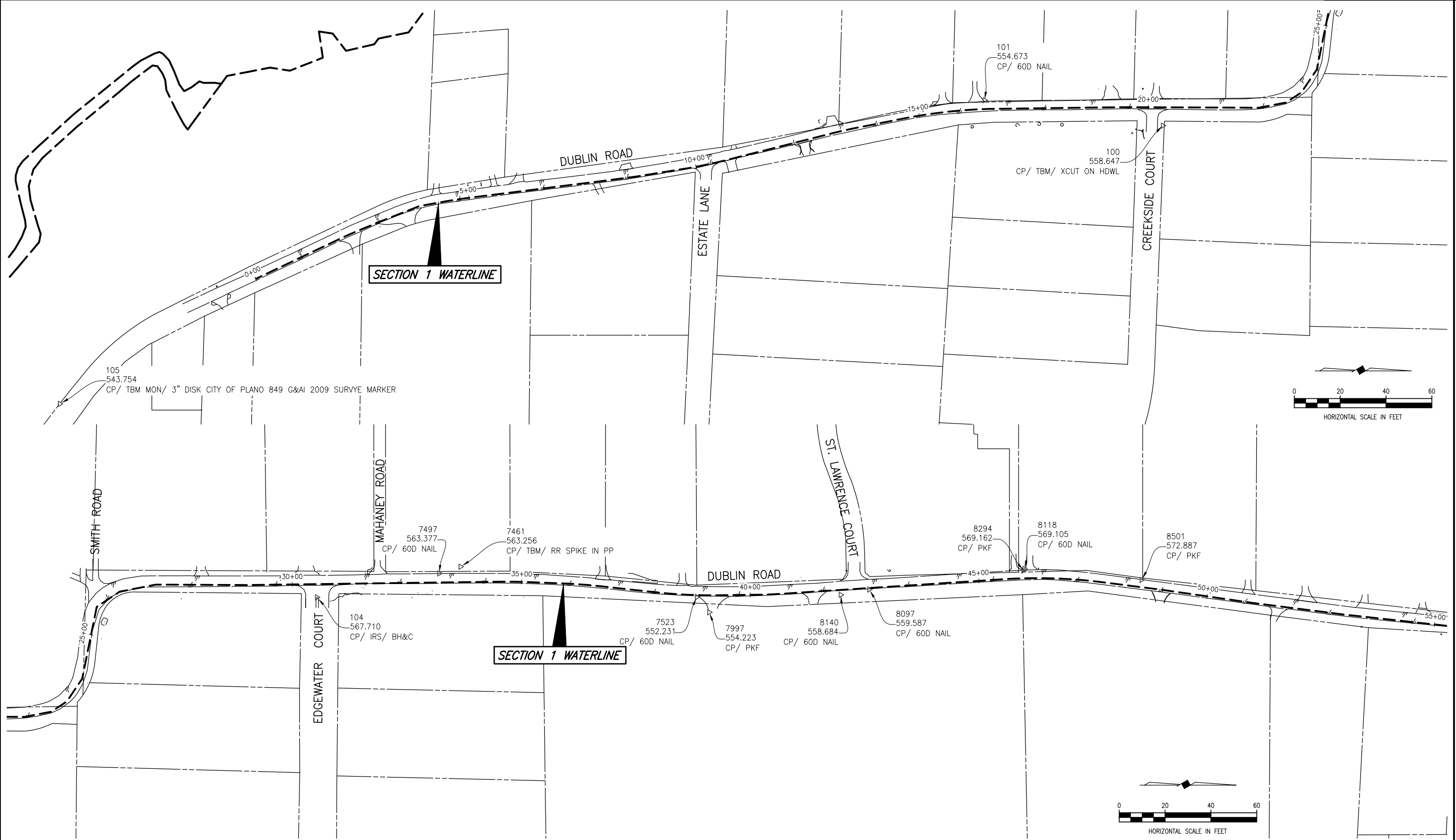
GENERAL NOTES

BHC
PROJECT NO.
2024116

September 2024

SHEET NO.

3



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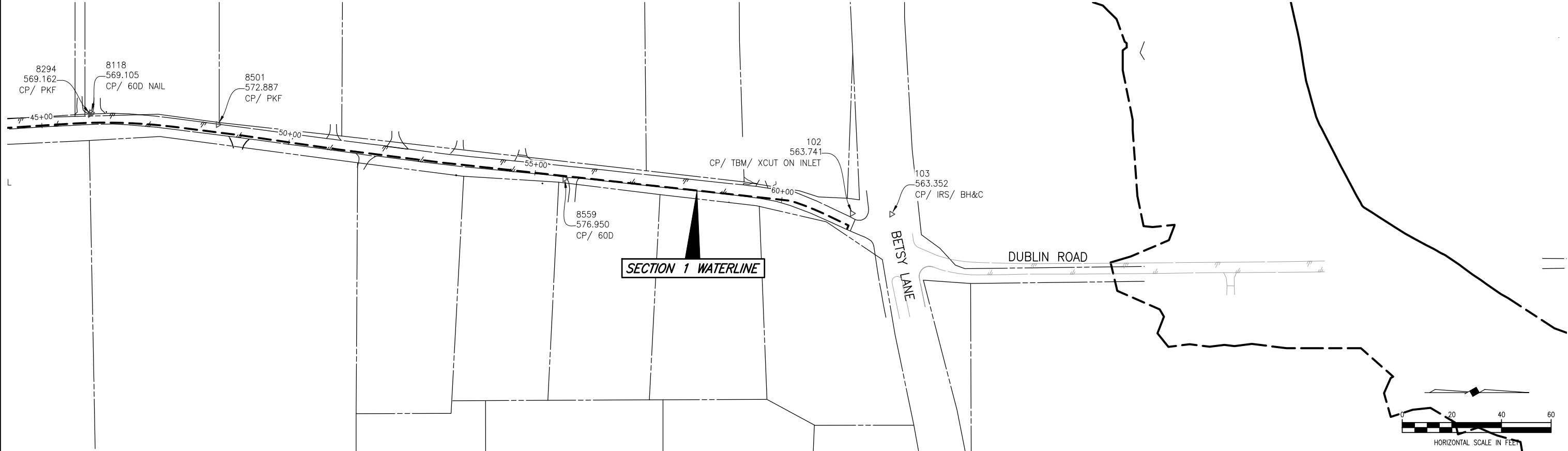
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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
CONTROL POINTS AND BENCHMARKS

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
4



POINT TABLE				
Point #	Elevation	Northing	Easting	Description
100	558.65	7060259.82	2539828.92	CP/ TBM/ XCUT ON HDWL
101	554.67	7059870.93	2539773.46	CP/ 60D NAIL
7461	563.26	7061421.03	2539462.23	CP/ TBM/ RR SPIKE IN PP
102	563.74	7064184.31	2539670.05	CP/ TBM/ XCUT ON INLET
8294	569.16	7062649.10	2539470.71	CP/ PKF
103	563.35	7064263.64	2539671.56	CP/ IRS/ BH&C
104	567.71	7061107.97	2539529.16	CP/ IRS/ BH&C
7497	563.38	7061374.50	2539476.85	CP/ 60D NAIL
105	543.75	7057853.60	2540435.78	CP/ TBM MON/ 3" DISK CITY OF PLANO 849 G&AI 2009 SURVYE MARKER
7523	552.23	7061936.82	2539528.35	CP/ 60D NAIL
7997	554.22	7061963.54	2539561.69	CP/ PKF
8097	559.59	7062312.68	2539511.80	CP/ 60D NAIL
8118	569.10	7062651.24	2539467.11	CP/ 60D NAIL
8140	558.68	7062250.42	2539523.60	CP/ 60D NAIL
8501	572.89	7062906.67	2539491.08	CP/ PKF
8559	576.95	7063605.20	2539600.44	CP/ 60D

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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
CONTROL POINTS AND BENCHMARKS

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
5



- NOTES:
- EXISTING WATER VALVE STACKS SHALL BE REMOVED AND HOLE FILLED WITH 300 P.S.I. FLOWABLE FILL. TOP 6-INCHES TO BE FILLED WITH TOPSOIL.
 - EXISTING FIRE HYDRANTS SHALL BE REMOVED AND DISPOSED OF OFFSITE OR RETURNED TO THE CITY.
 - CONTRACTOR SHALL REMOVE AND RESET ALL DISTURBED MAILBOXES, SIGNS AND POSTS. POSTS SHALL BE SET IN NEW CONCRETE.

- CONTRACTOR SHALL REESTABLISH SLOPE OF CHANNEL AND FURNISH, PLACE AND PIN SOLID SOD IN PLACE.
- CONTRACTOR SHALL PLACE MATS OVER DRIVEWAYS AND STREETS TO PROTECT SURFACE FROM TRACK EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN A MINIMUM 10-FOOT LANE OPEN FOR TRAFFIC AT ALL TIMES.

N 7058281.5244
E 2540162.9755
STA. 0+00.00
FURNISH & INSTALL:
1-90° BEND
1-8"x6" REDUCER
1-6" R.S. GATE VALVE
1-STD FIRE HYDRANT
20 L.F. 6" W.L.

N 7058290.5532
E 2540158.6766
STA. 0+10.00
FURNISH & INSTALL:
8"x4" TEE
4" R.S. GATE VALVE
1-4" 90° BEND
157 L.F. 4" W.L. (SOUTH)
6-2" HDPE DR9 WATER SERVICES
CONNECT TO EXIST.
6-W.M.'s (SOUTH)

N 7058466.9615
E 2540074.6818
P.I. STA. 2+05.38
Δ = 1'00'00" RT.
(PULL PIPE AS REQ'D.)

N 7058485.1664
E 2540066.4004
P.I. STA. 2+25.38
Δ = 1'00'00" RT.
(PULL PIPE AS REQ'D.)

N 7058503.5130
E 2540058.4379
P.I. STA. 2+45.38
Δ = 1'00'00" RT.
(PULL PIPE AS REQ'D.)

N 7058555.6670
E 2540036.8767
P.I. STA. 3+01.82
Δ = 1'00'00" RT.
(PULL PIPE AS REQ'D.)

N 7058638.4964
E 2540004.3146
P.I. STA. 3+90.82
Δ = 1'15'00" RT.
FURNISH & INSTALL:
1-8" 11.25° BEND

MATCH LINE STA. 4+00
N 7058647.5316, E 2540002.6871

FURNISH & INSTALL:
4" AWWA C900 DR18
WATERLINE

FURNISH & INSTALL:
8" AWWA C900 DR 18
WATERLINE

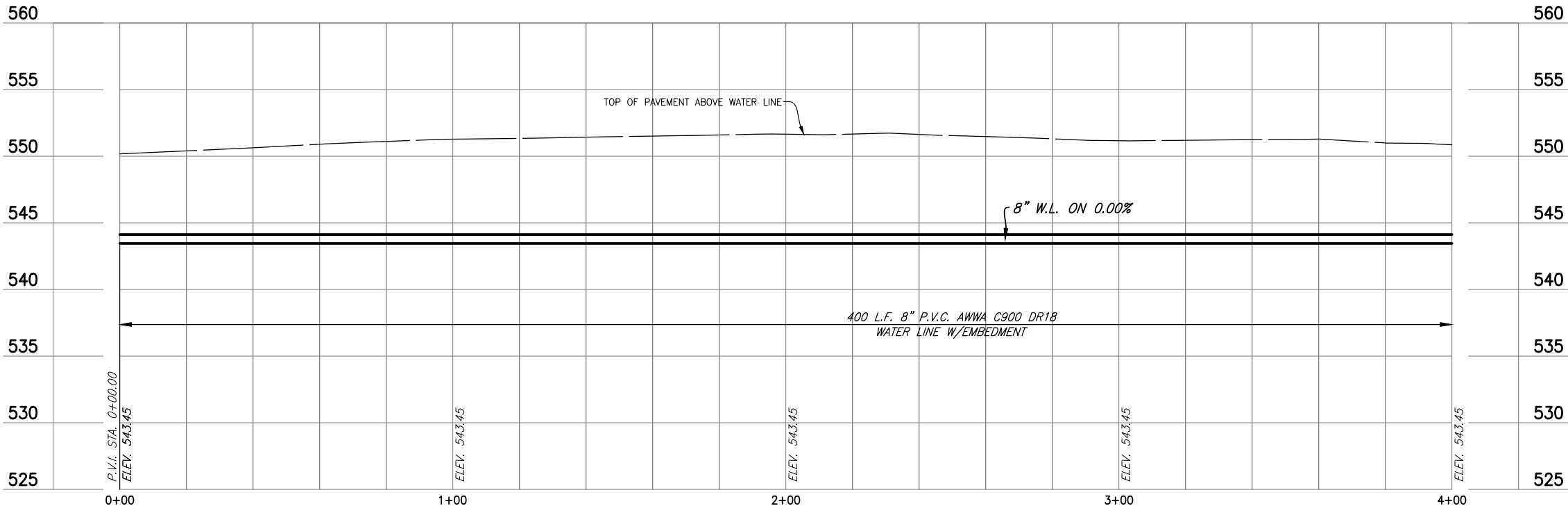
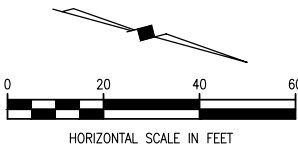
REMOVE, SALVAGE AND RETURN
EXISTING FIRE HYDRANT TO CITY

NOTE: CONTRACTOR SHALL
CLEAN EDGE OF EXPOSED
CONCRETE DRIVEWAY AND
PLACE TACK COAT ON
SURFACE PRIOR TO PLACING
ASPHALT PAVEMENT

PAVEMENT REMOVAL & REPLACEMENT

523 S.Y. ASPHALT PVMT.
(THIS SHEET)

WATER LINE SERVICE CONNECTIONS	
STATION	PIPE LENGTH (L.F.) & DIRECTION
2+39.49	31' RT.
2+54.38	24' RT.
2" HDPE DR9 WATER SERVICES	
DISTANCE	LENGTH & DIRECTION
27' (S)	9' RT.
33' (S)	9' RT.
139' (S)	10' RT.
141' (S)	11' RT.
143' (S)	15' RT.
145' (S)	14' RT.



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CRAIG M. KERKHOFF
TEXAS P.E. NO. 106102
DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE

SECTION 1
PLAN - PROFILE
STA. 0+00 TO STA. 4+00

BHC
PROJECT NO.
2024116

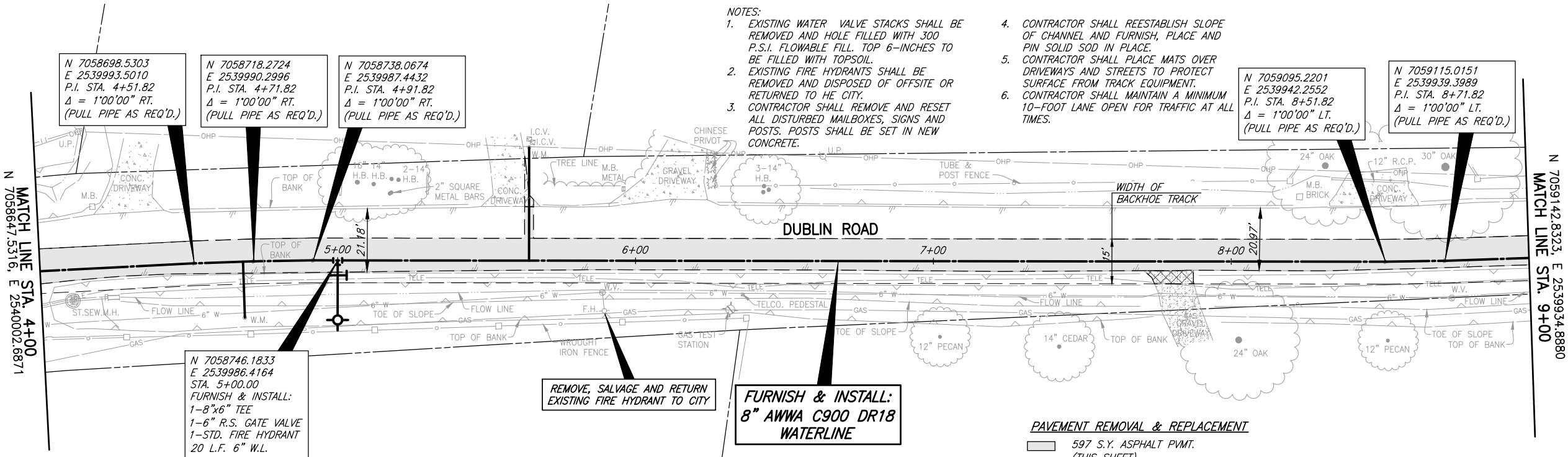
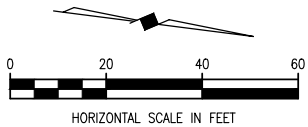
September 2024

SHEET NO.

6



WATER LINE SERVICE CONNECTIONS	
STATION	PIPE LENGTH (L.F.) & DIRECTION
4+68.19	19' RT.
5+64.23	38' LT.

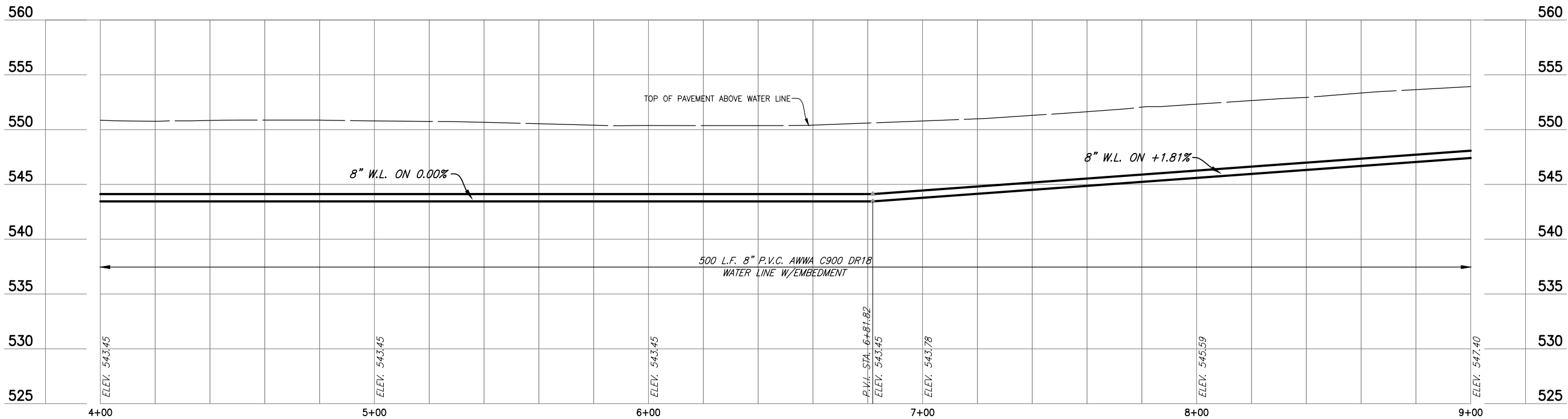


NOTES:

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- CONTRACTOR SHALL MAINTAIN A MINIMUM 10-FOOT LANE OPEN FOR TRAFFIC AT ALL TIMES.

PAVEMENT REMOVAL & REPLACEMENT

- 597 S.Y. ASPHALT PVMT. (THIS SHEET)
- 7 S.Y. GRAVEL PVMT. (THIS SHEET)



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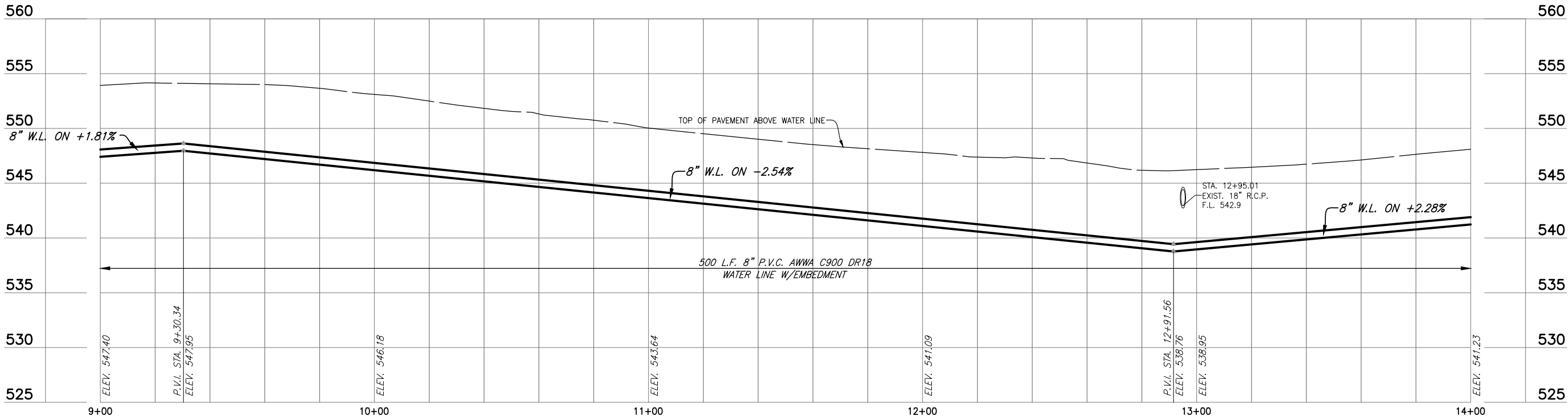
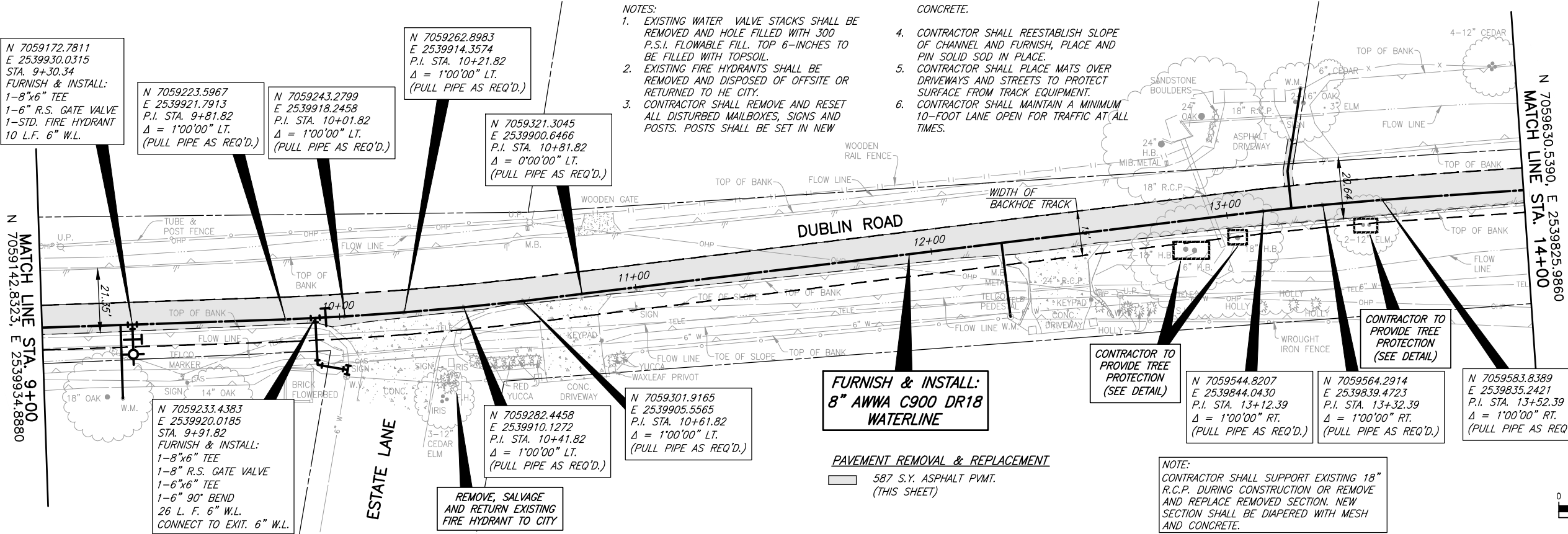
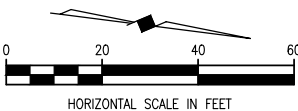
CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
PLAN - PROFILE
STA. 4+00 TO STA. 9+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
7



WATER LINE SERVICE CONNECTIONS		
STATION	PIPE LENGTH (L.F.) & DIRECTION	
9+26.36	25' RT.	
12+23.75	25' RT.	
13+21.80	41' LT.	



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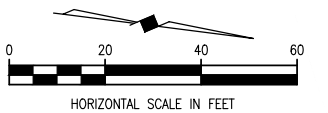
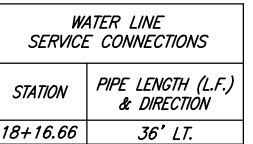
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DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
PLAN - PROFILE
STA. 9+00 TO STA. 14+00

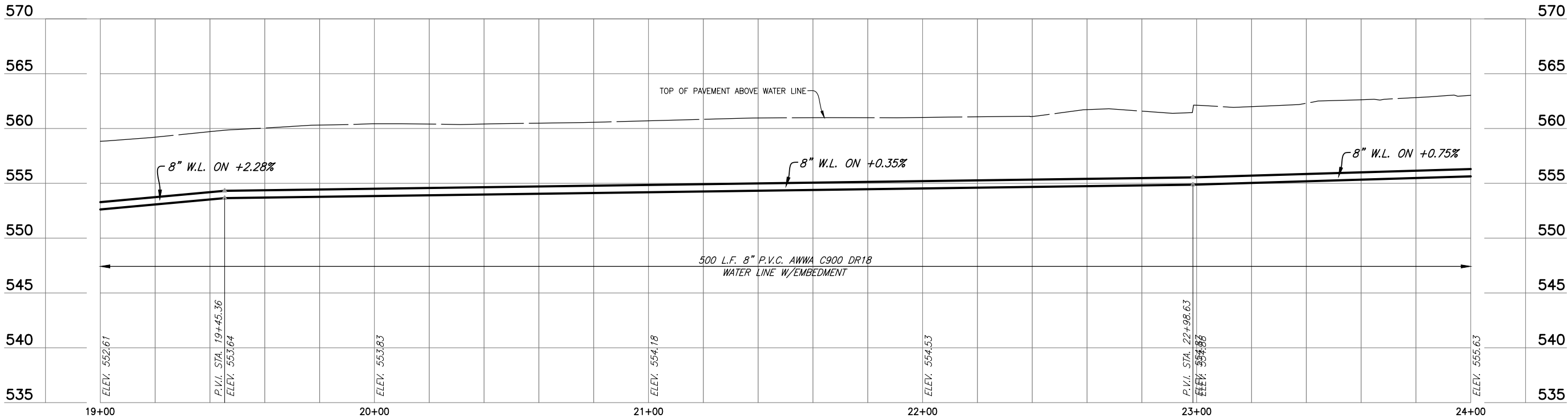
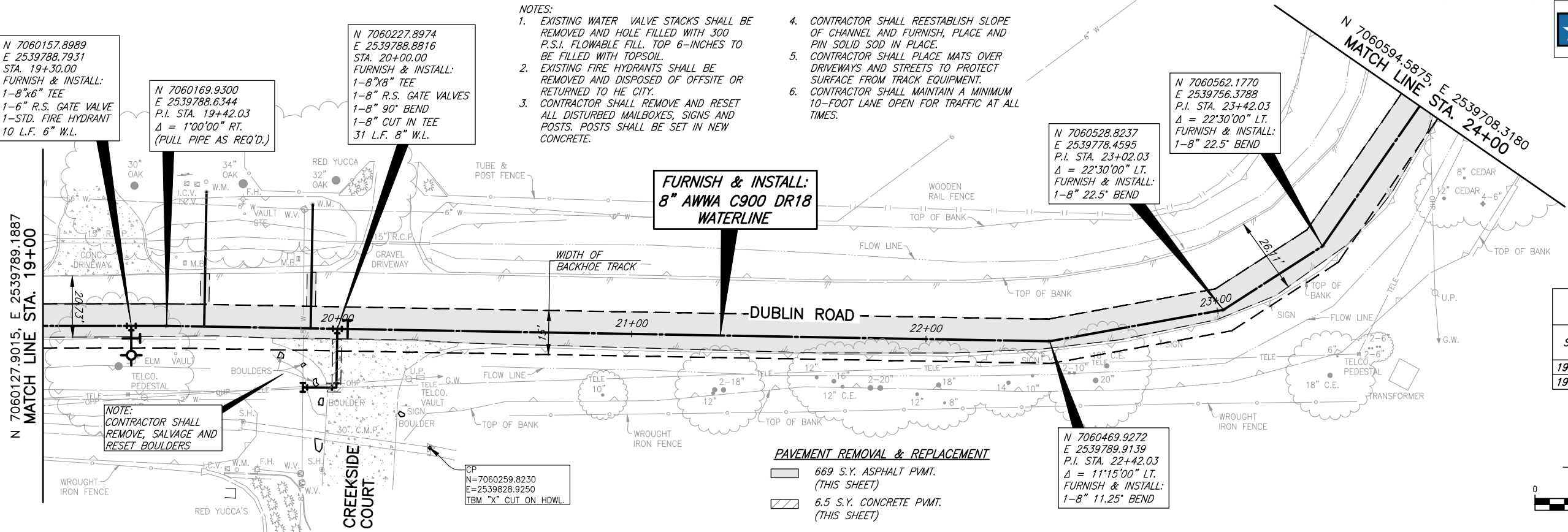
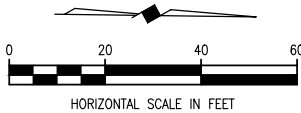
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PROJECT NO.
2024116
September 2024

SHEET NO.
8





WATER LINE SERVICE CONNECTIONS	
STATION	PIPE LENGTH (L.F.) & DIRECTION
19+54.75	46' LT.
19+90.93	42' LT.



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DUBLIN ROAD WATERLINE

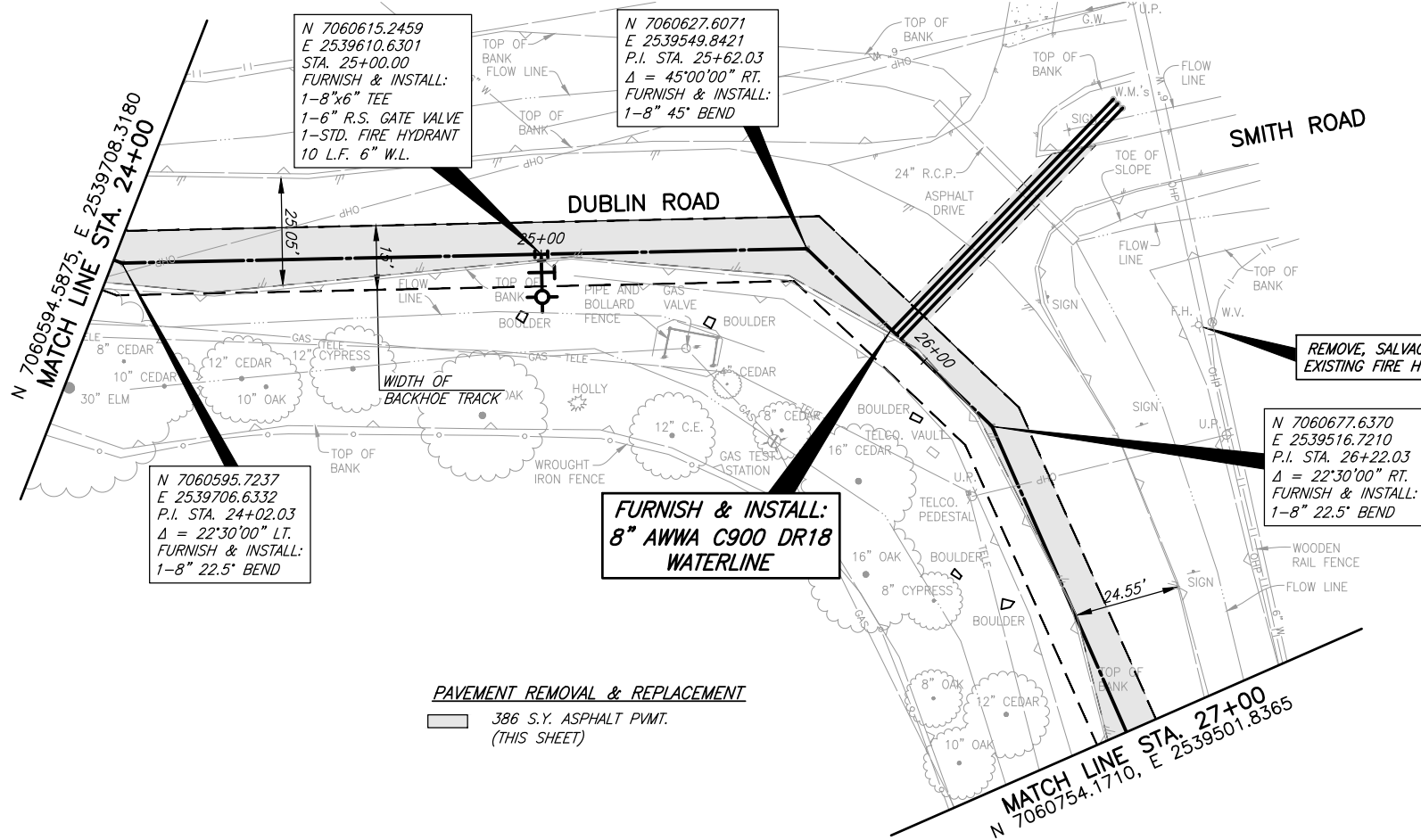
SECTION 1
PLAN - PROFILE
STA. 19+00 TO STA. 24+00

BHC
PROJECT NO.
2024116

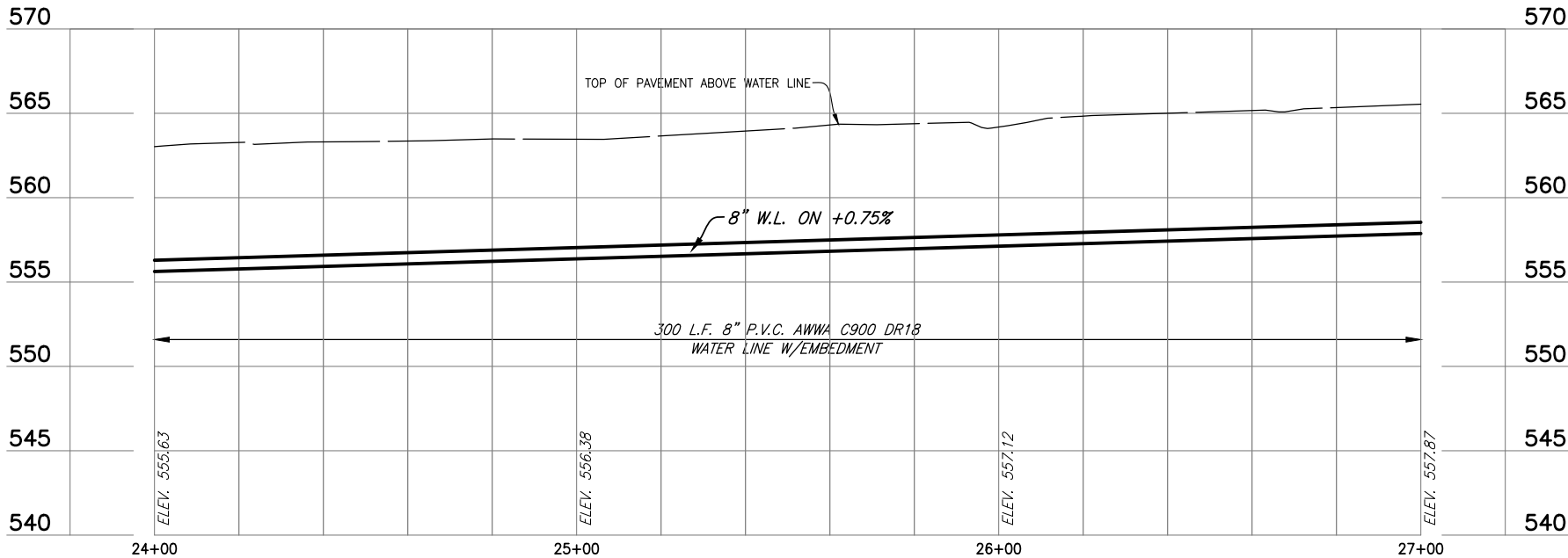
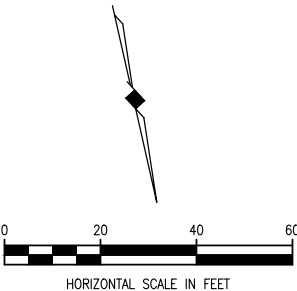
September 2024

SHEET NO.

10



WATER LINE SERVICE CONNECTIONS	
STATION	PIPE LENGTH (L.F.) & DIRECTION
25+91.04	75' LT.
25+91.04	75' LT.
25+91.04	75' LT.



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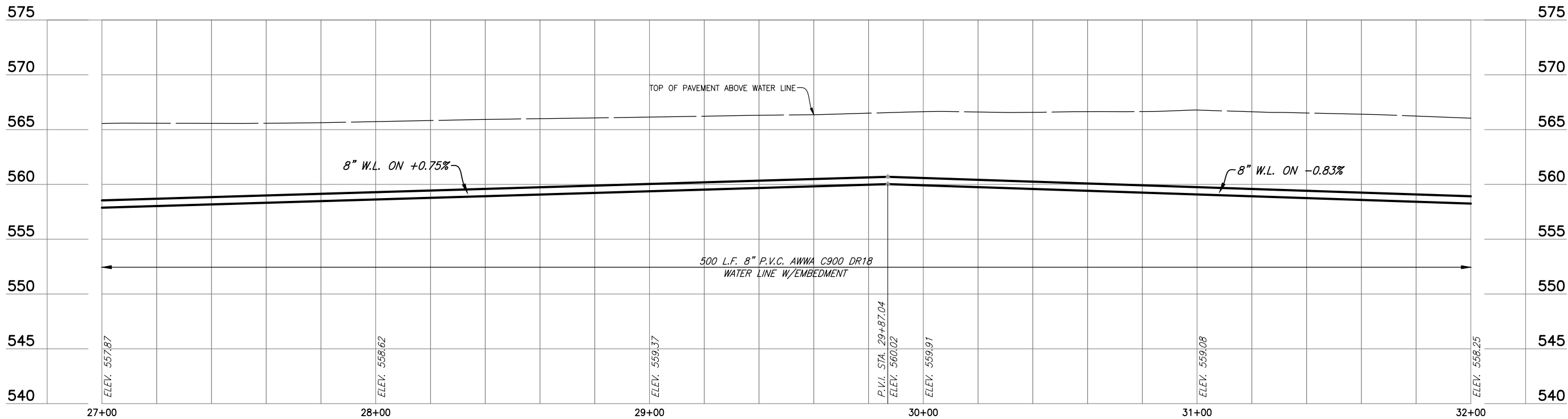
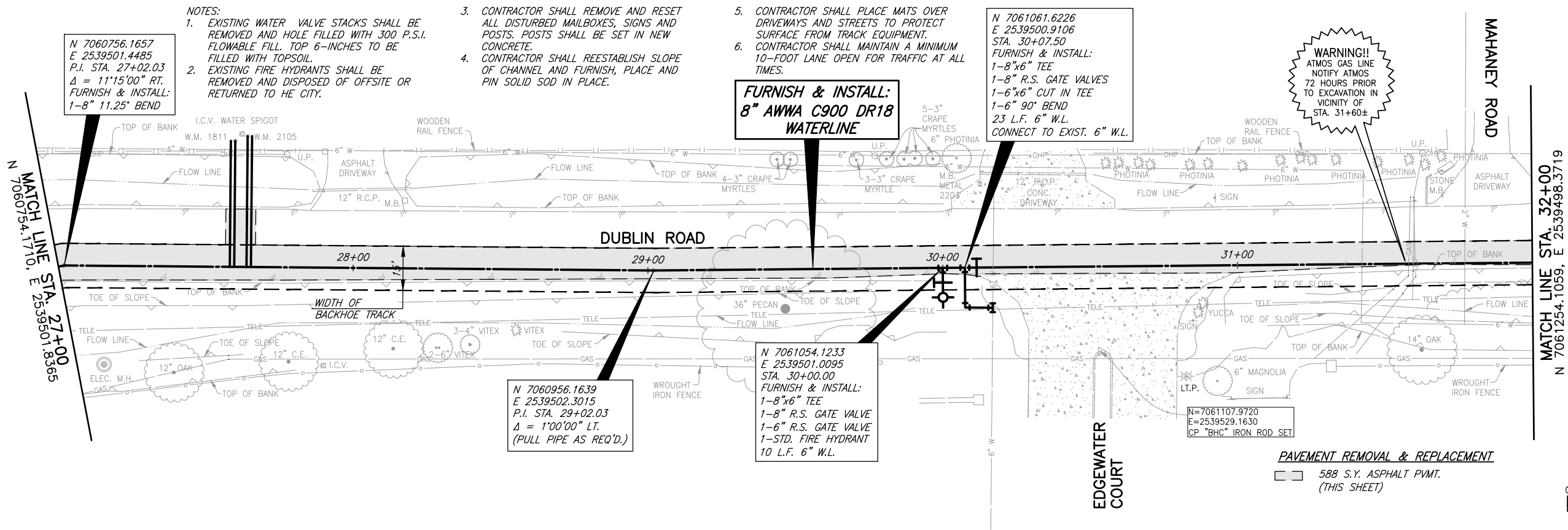
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DUBLIN ROAD WATERLINE
SECTION 1
PLAN - PROFILE
STA. 24+00 TO STA. 27+00

BHC
PROJECT NO.
2024116
September 2024

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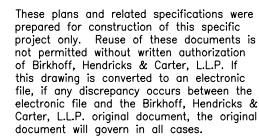
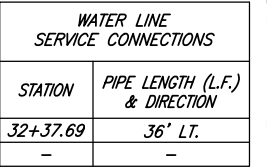
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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
PLAN - PROFILE
STA. 27+00 TO STA. 32+00

BHC
PROJECT NO.
2024116
September 2024

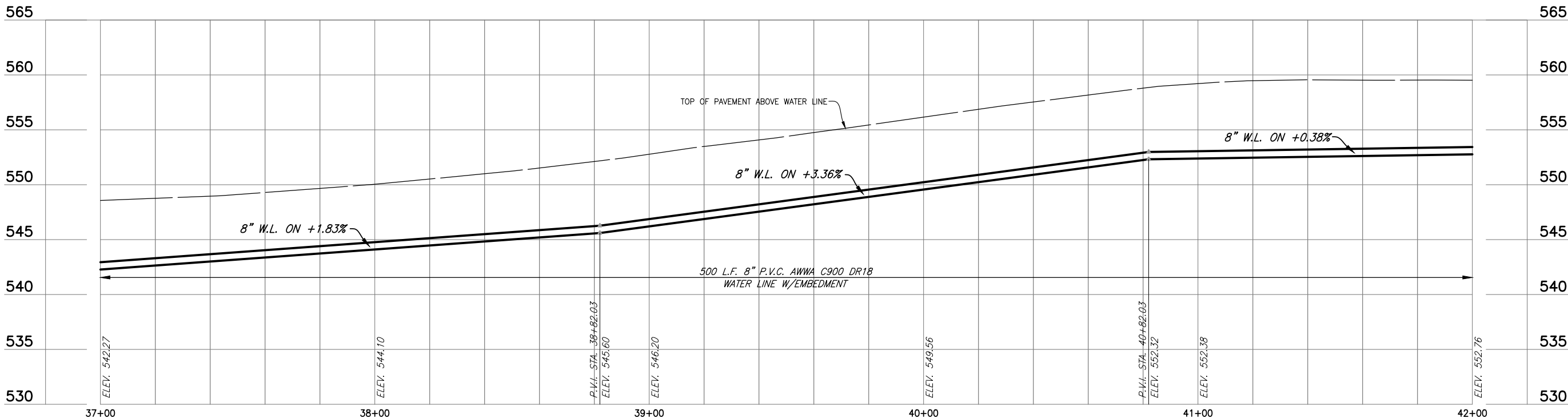
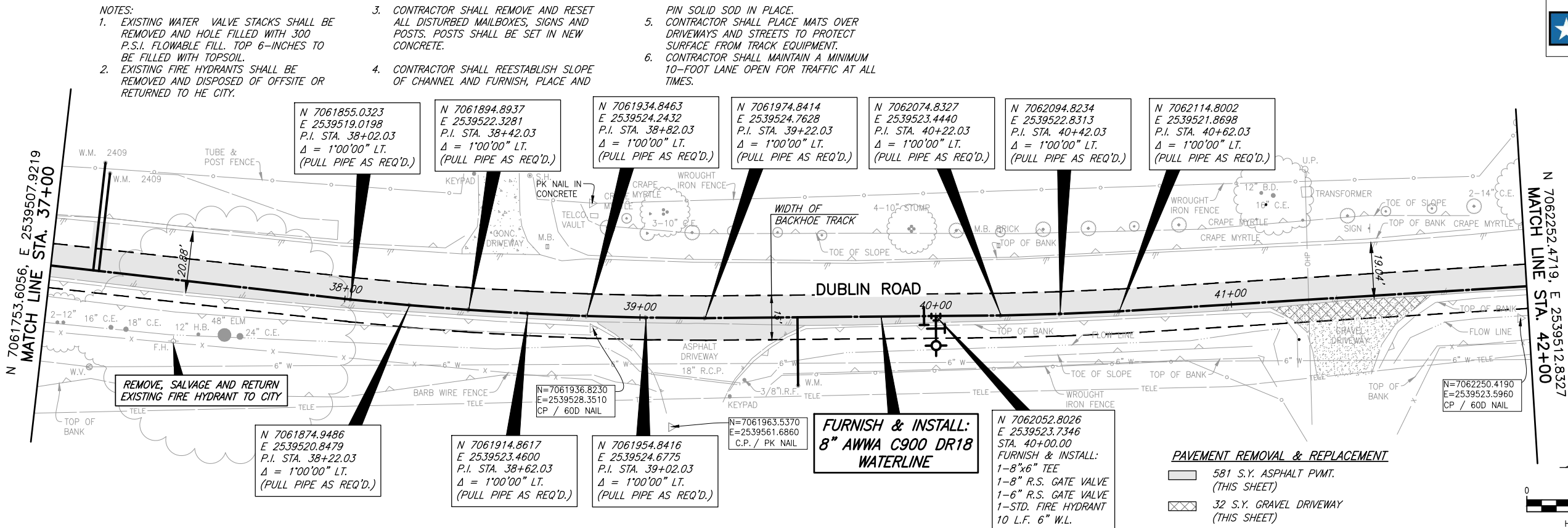
SHEET NO.
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BHC PROJECT NO. 2024116	SHEET NO. 13
September 2024	



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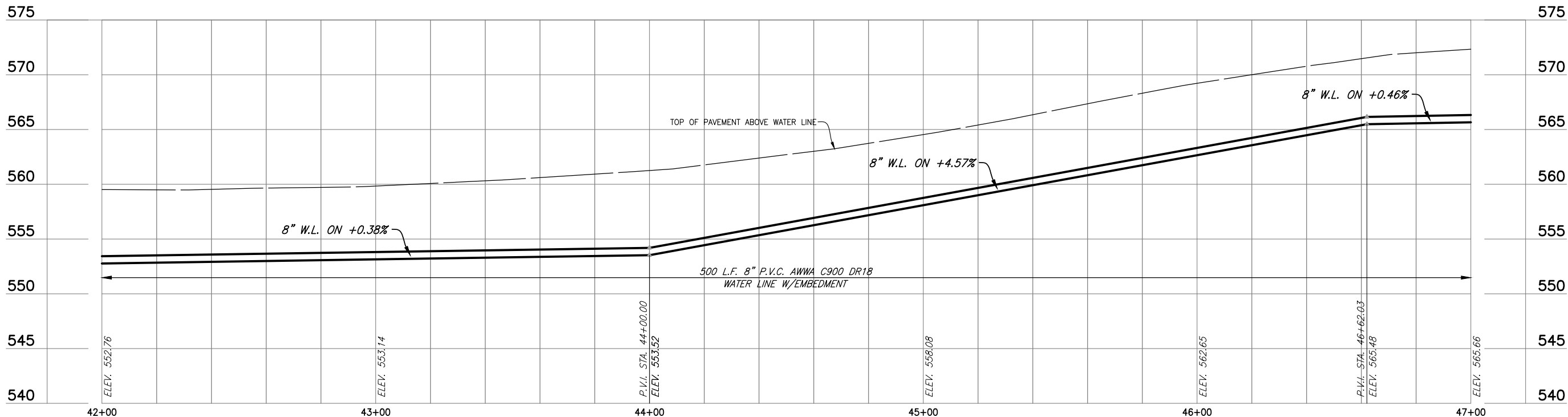
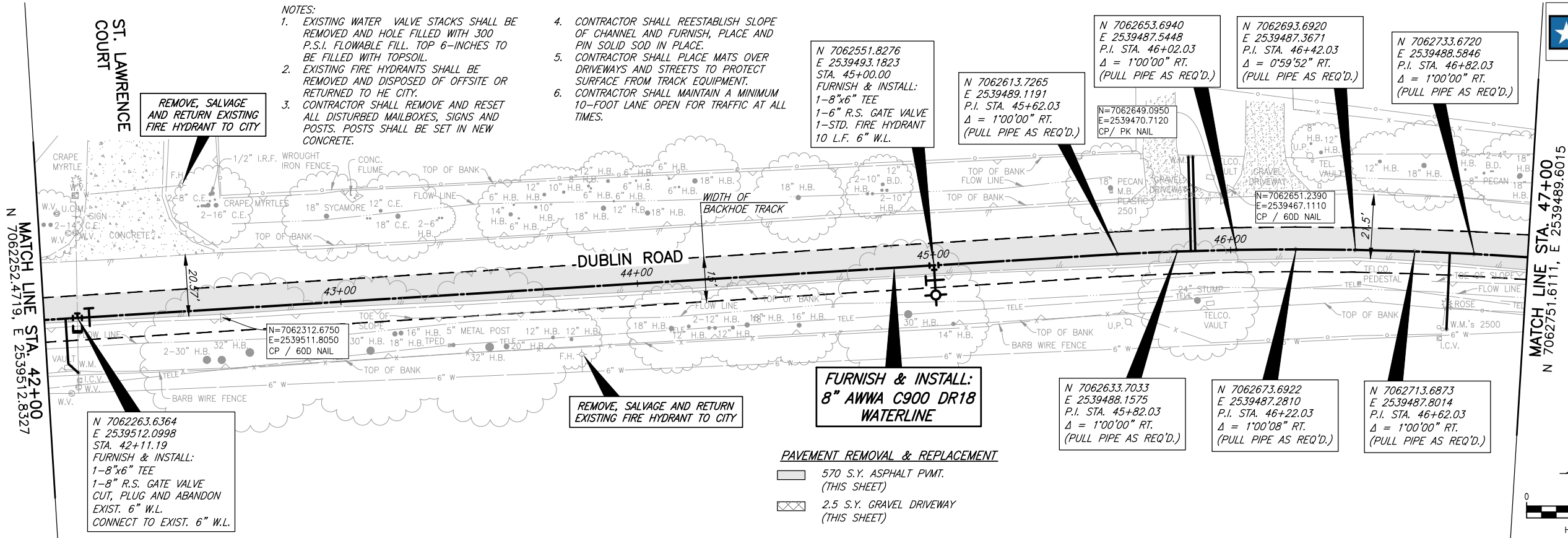
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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
PLAN - PROFILE
STA. 37+00 TO STA. 42+00

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PROJECT NO.
2024116
September 2024

SHEET NO.
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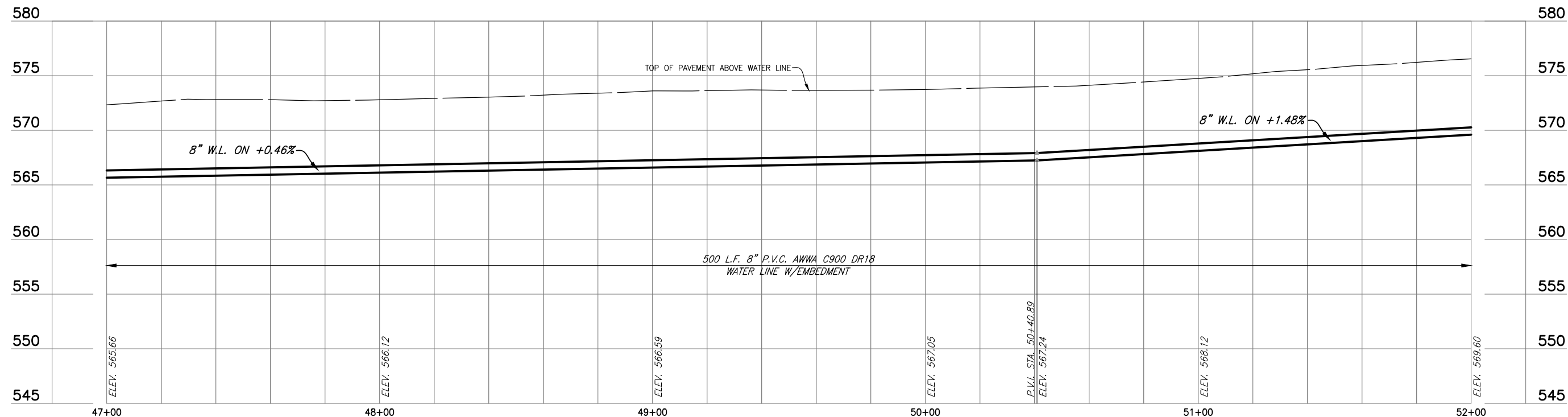
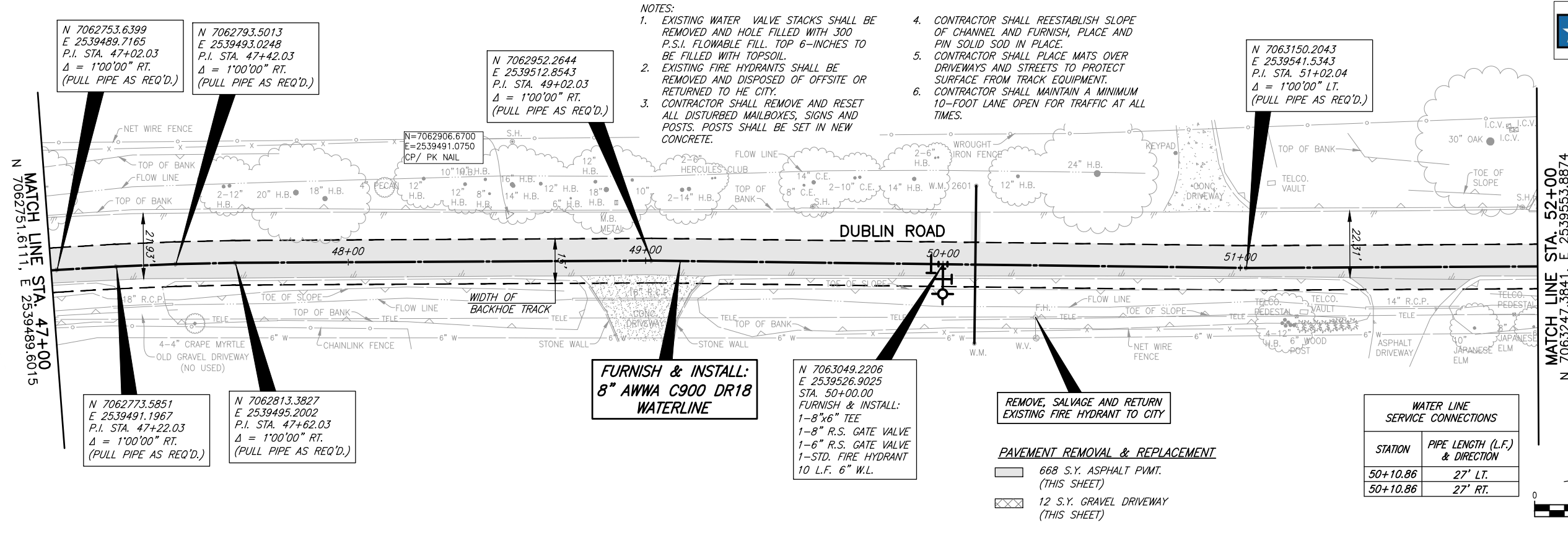
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CRAIG M. KERKHOFF
TEXAS P.E. NO. 106102
DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
PLAN - PROFILE
STA. 42+00 TO STA. 47+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
15



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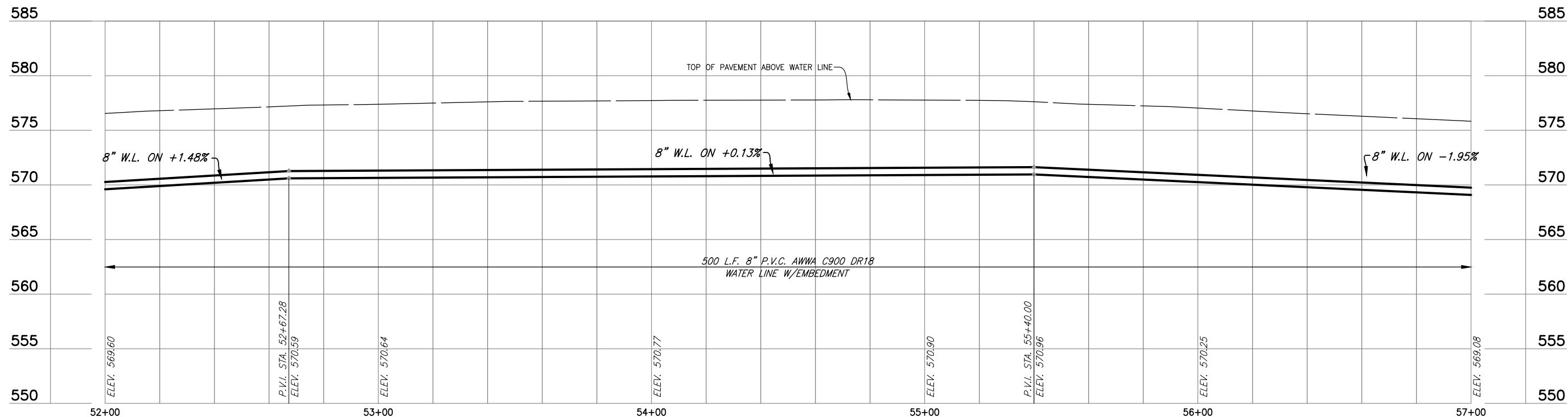
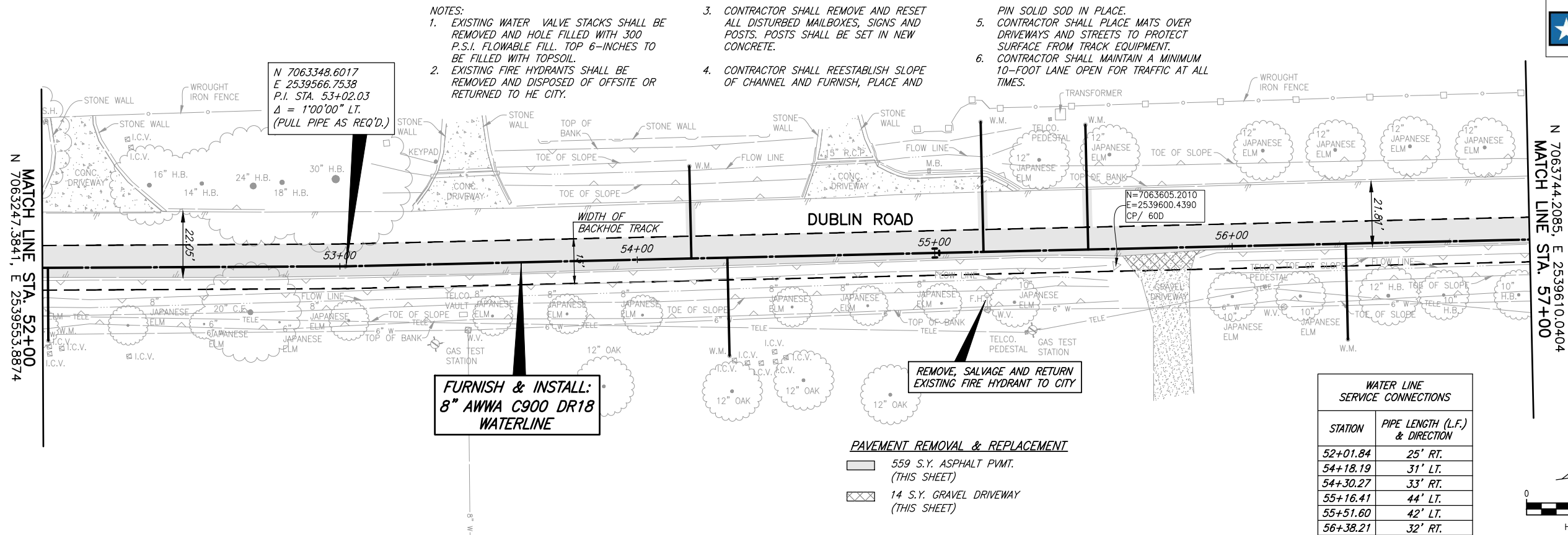
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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
PLAN - PROFILE
STA. 47+00 TO STA. 52+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
16



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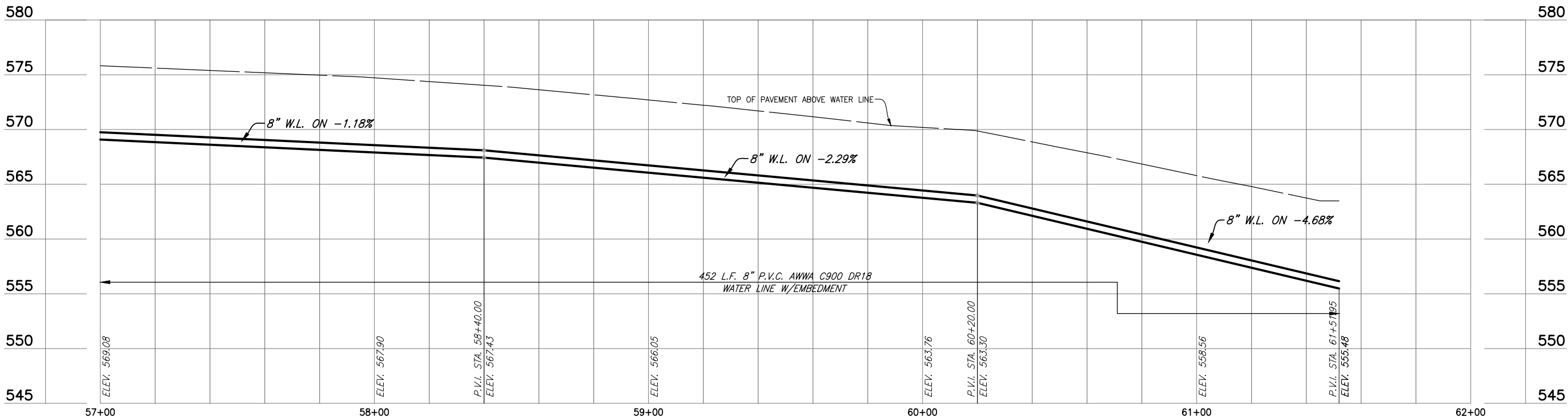
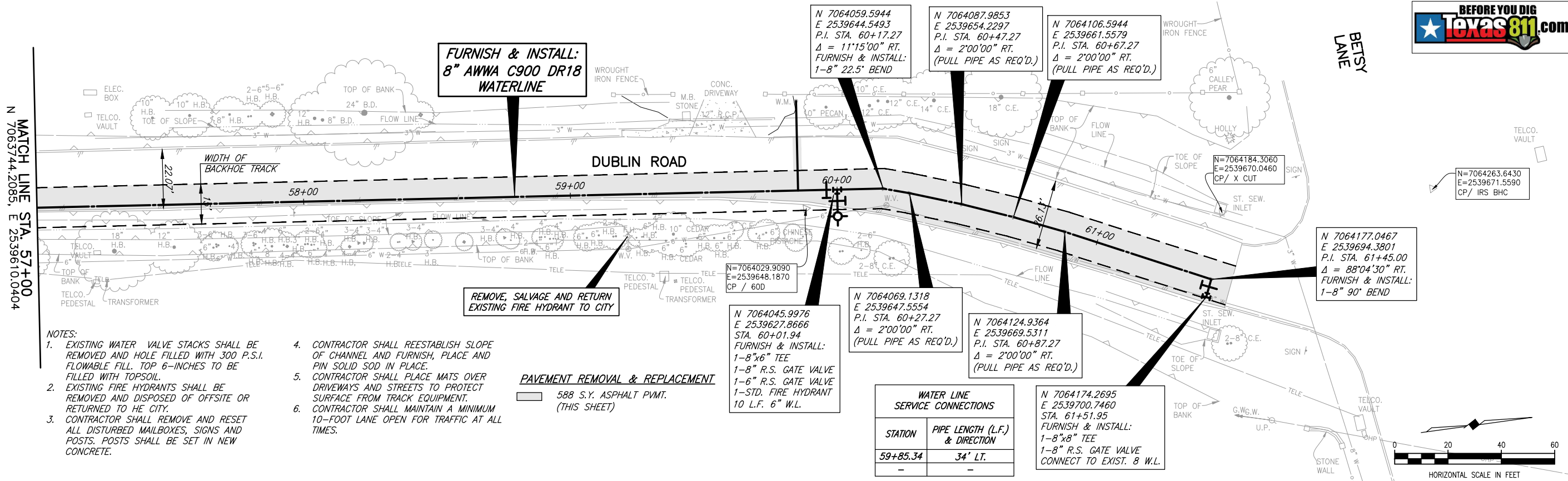
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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
PLAN - PROFILE
STA. 52+00 TO STA. 57+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
17



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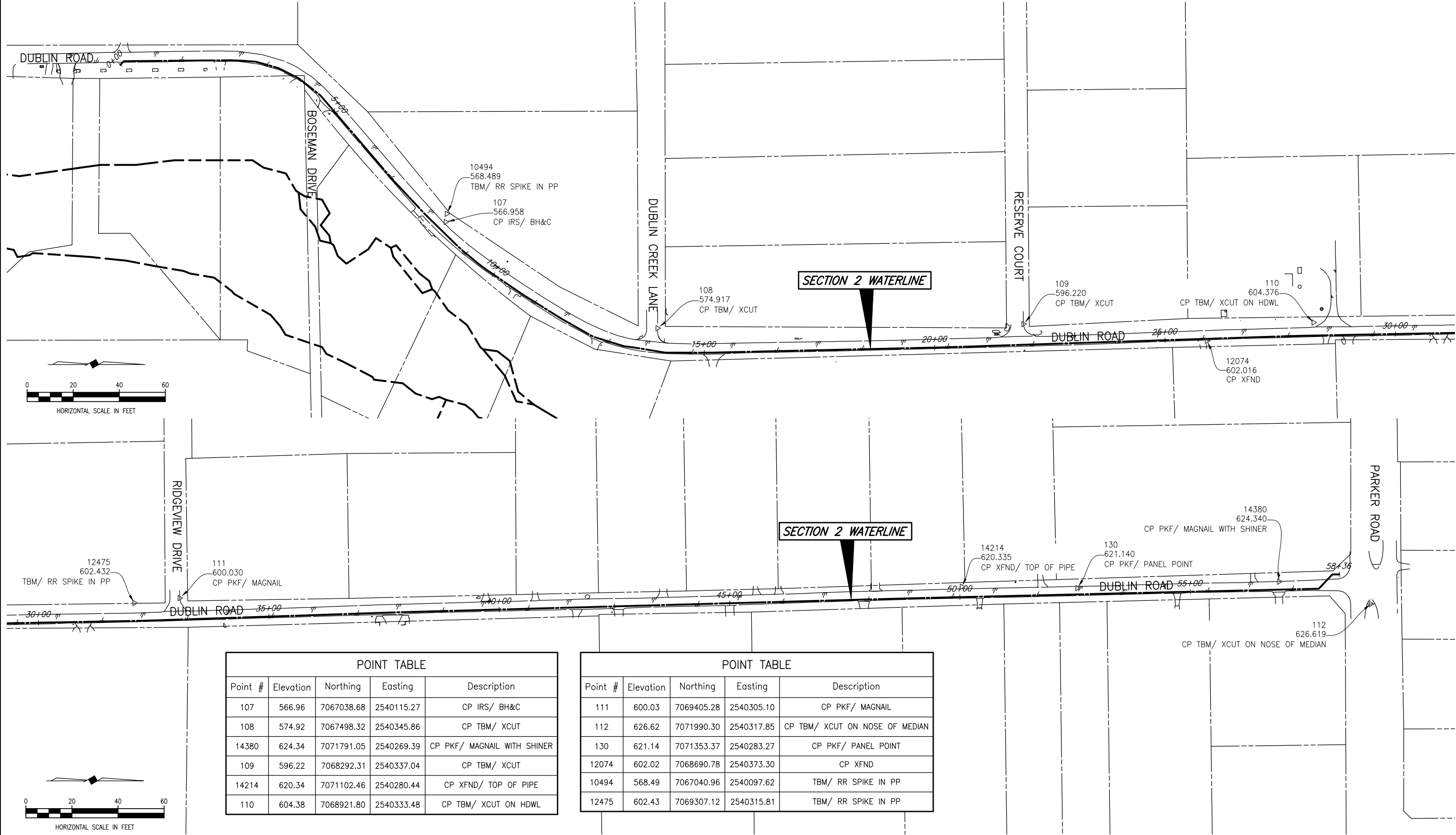
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DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 1
PLAN - PROFILE
STA. 57+00 TO STA. 62+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
18



POINT TABLE				
Point #	Elevation	Northing	Easting	Description
107	566.96	7067038.68	2540115.27	CP IRS/ BH&C
108	574.92	7067498.32	2540345.86	CP TBM/ XCUT
14380	624.34	7071791.05	2540269.39	CP PKF/ MAGNAIL WITH SHINER
109	596.22	7068292.31	2540337.04	CP TBM/ XCUT
14214	620.34	7071102.46	2540280.44	CP XFND/ TOP OF PIPE
110	604.38	7068921.80	2540333.48	CP TBM/ XCUT ON HDWL

POINT TABLE				
Point #	Elevation	Northing	Easting	Description
111	600.03	7069405.28	2540305.10	CP PKF/ MAGNAIL
112	626.62	7071990.30	2540317.85	CP TBM/ XCUT ON NOSE OF MEDIAN
130	621.14	7071353.37	2540283.27	CP PKF/ PANEL POINT
12074	602.02	7068690.78	2540373.30	CP XFND
10494	568.49	7067040.96	2540097.62	TBM/ RR SPIKE IN PP
12475	602.43	7069307.12	2540315.81	TBM/ RR SPIKE IN PP

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DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 2
CONTROL POINTS AND BENCHMARKS

BHC
PROJECT NO.
2024116

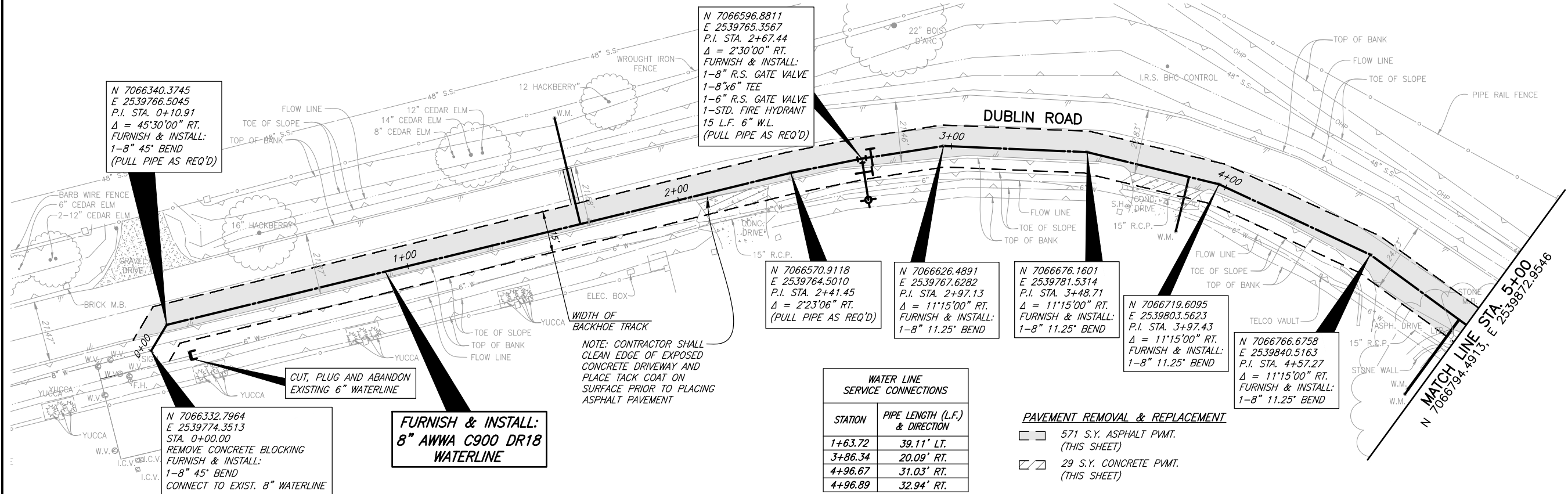
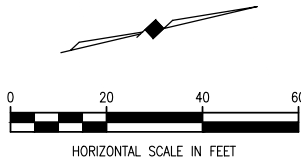
September 2024

SHEET NO.

19

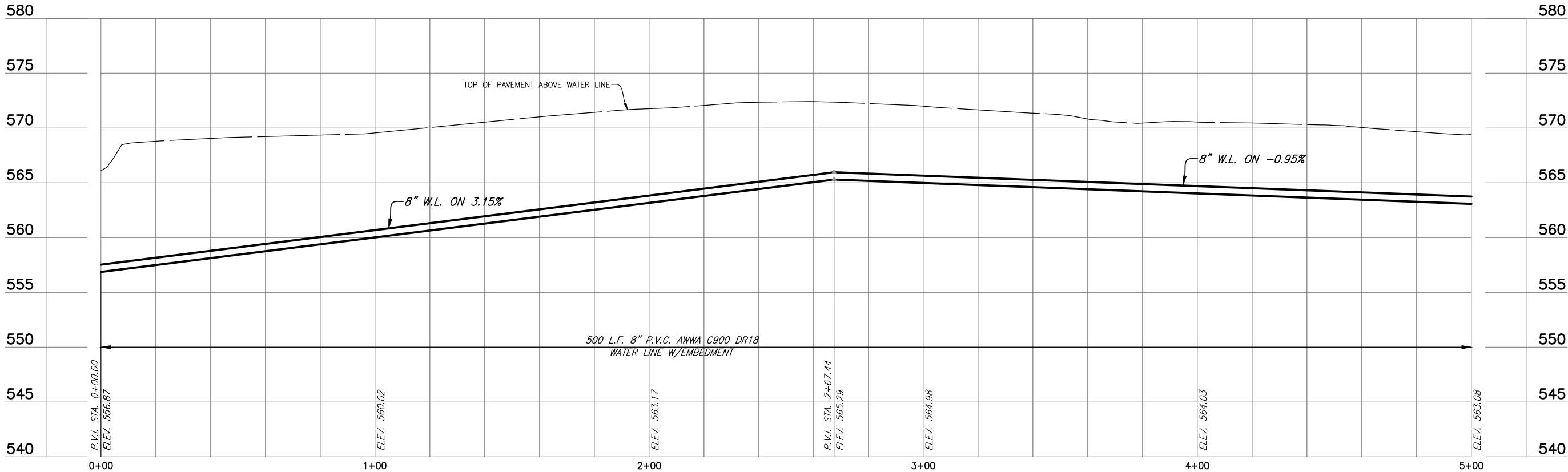


- NOTES:
- EXISTING WATER VALVE STACKS SHALL BE REMOVED AND HOLE FILLED WITH 300 P.S.I. FLOWABLE FILL. TOP 6-INCHES TO BE FILLED WITH TOPSOIL.
 - EXISTING FIRE HYDRANTS SHALL BE REMOVED AND DISPOSED OF OFFSITE OR RETURNED TO HE CITY.
 - CONTRACTOR SHALL REMOVE AND RESET ALL DISTURBED MAILBOXES, SIGNS AND POSTS. POSTS SHALL BE SET IN NEW CONCRETE.
 - CONTRACTOR SHALL REESTABLISH SLOPE OF CHANNEL AND FURNISH, PLACE AND PIN SOLID SOD IN PLACE.
 - CONTRACTOR SHALL PLACE MATS OVER DRIVEWAYS AND STREETS TO PROTECT SURFACE FROM TRACK EQUIPMENT.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 10-FOOT LANE OPEN FOR TRAFFIC AT ALL TIMES.



WATER LINE SERVICE CONNECTIONS		
STATION	PIPE LENGTH (L.F.) & DIRECTION	
1+63.72	39.11' LT.	
3+86.34	20.09' RT.	
4+96.67	31.03' RT.	
4+96.89	32.94' RT.	

- PAVEMENT REMOVAL & REPLACEMENT**
- 571 S.Y. ASPHALT PVMT. (THIS SHEET)
 - 29 S.Y. CONCRETE PVMT. (THIS SHEET)



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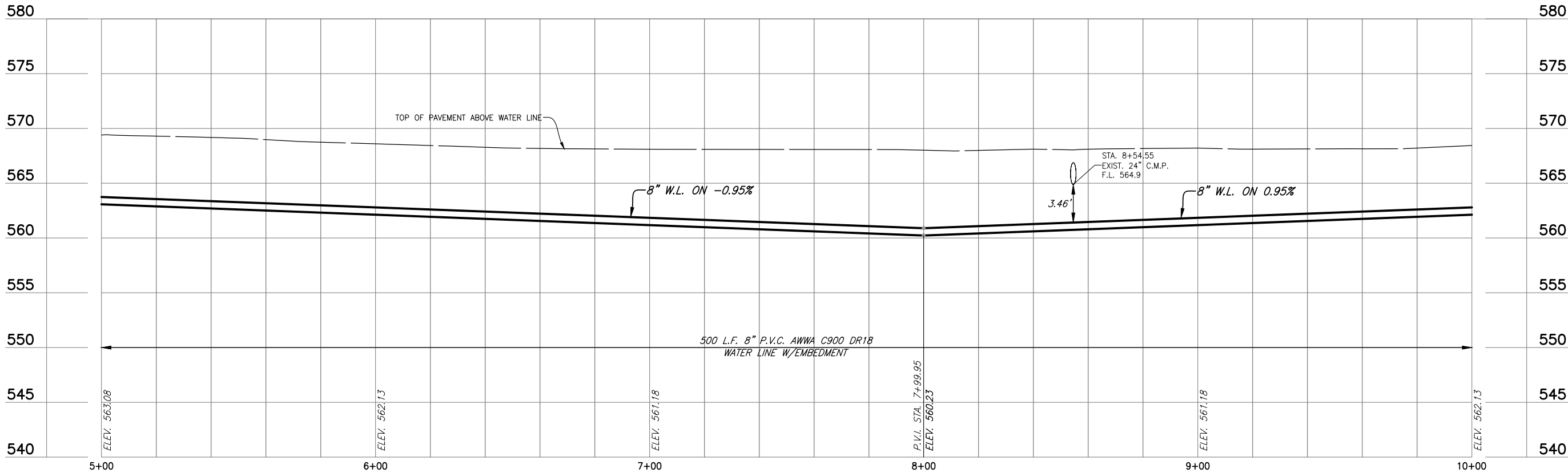
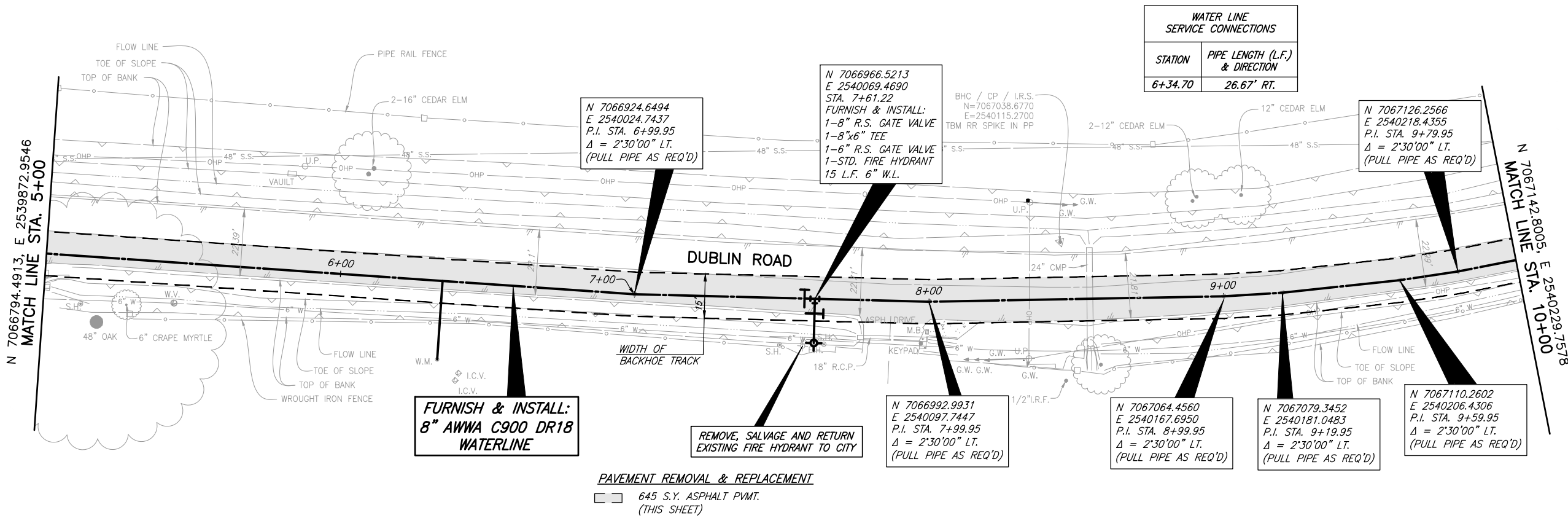
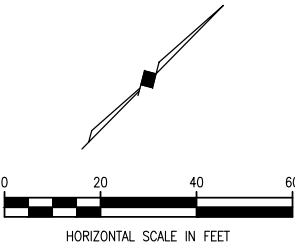
CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 2
PLAN - PROFILE
STA. 0+00 TO STA. 5+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
20



- NOTES:
- EXISTING WATER VALVE STACKS SHALL BE REMOVED AND HOLE FILLED WITH 300 P.S.I. FLOWABLE FILL. TOP 6-INCHES TO BE FILLED WITH TOPSOIL.
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 - CONTRACTOR SHALL MAINTAIN A MINIMUM 10-FOOT LANE OPEN FOR TRAFFIC AT ALL TIMES.



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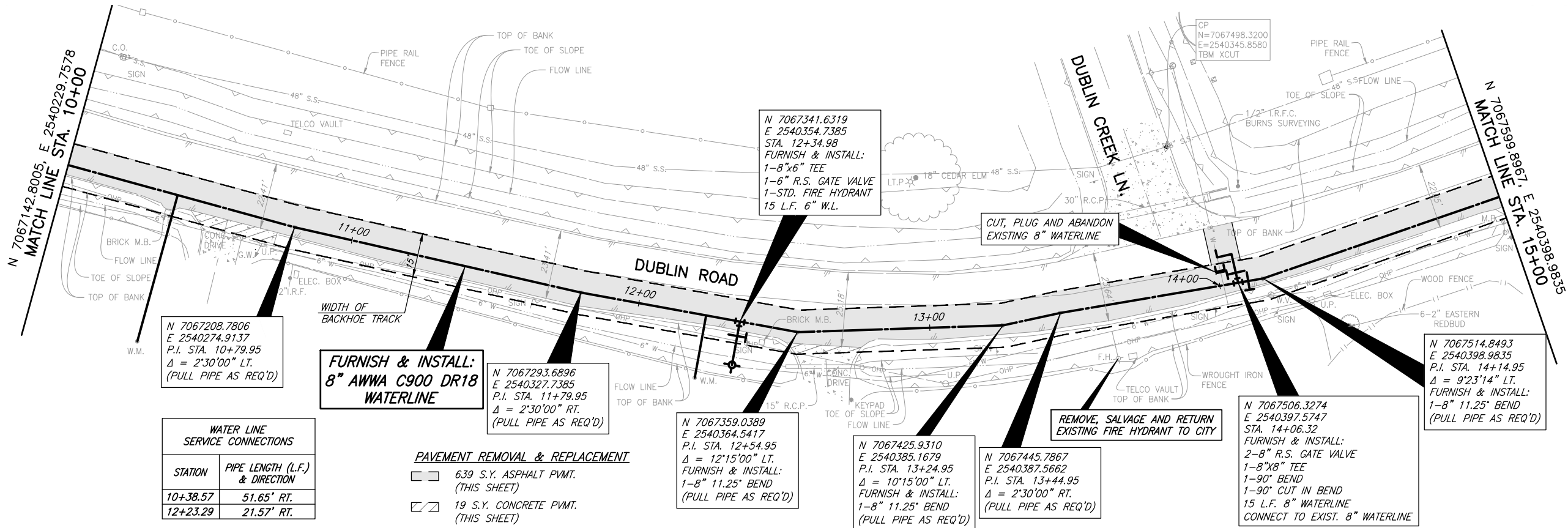
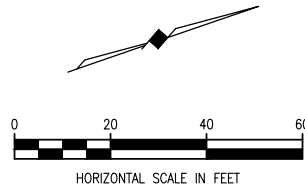
CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 2
PLAN - PROFILE
STA. 5+00 TO STA. 10+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
21

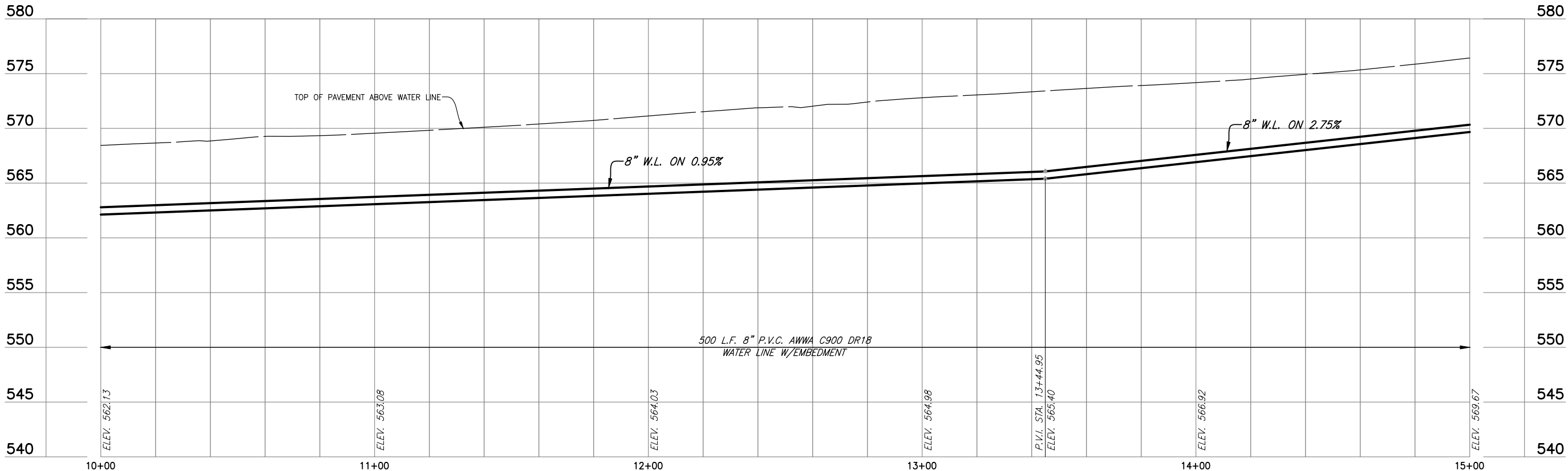


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WATER LINE SERVICE CONNECTIONS	
STATION	PIPE LENGTH (L.F.) & DIRECTION
10+38.57	51.65' RT.
12+23.29	21.57' RT.

- PAVEMENT REMOVAL & REPLACEMENT
- 639 S.Y. ASPHALT PVMT. (THIS SHEET)
 - 19 S.Y. CONCRETE PVMT. (THIS SHEET)



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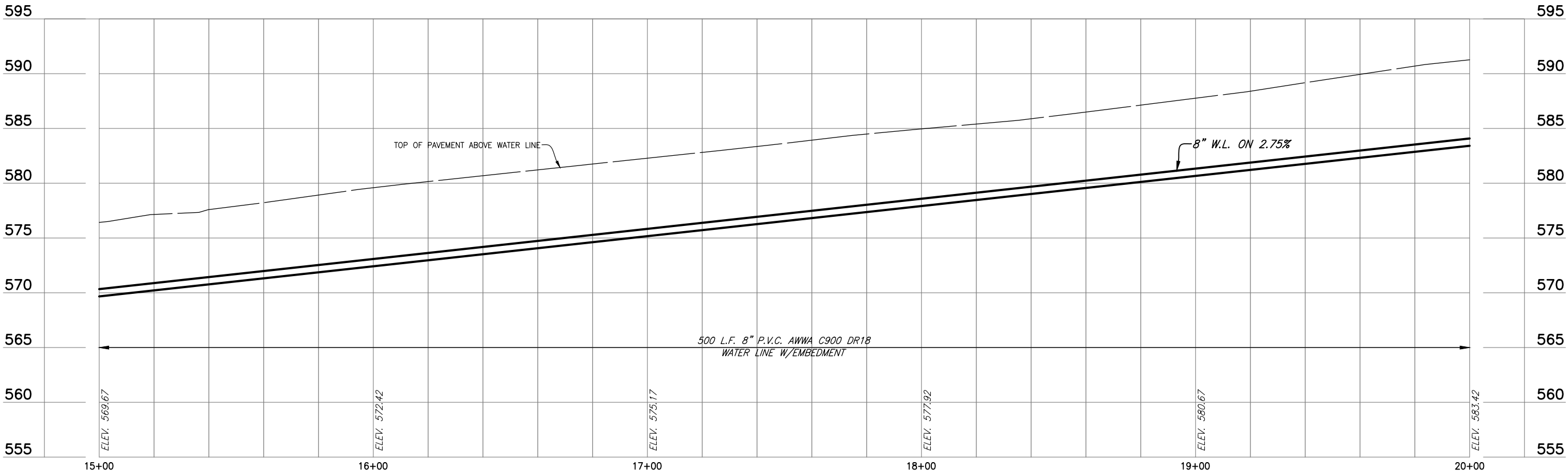
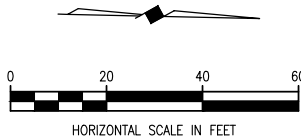
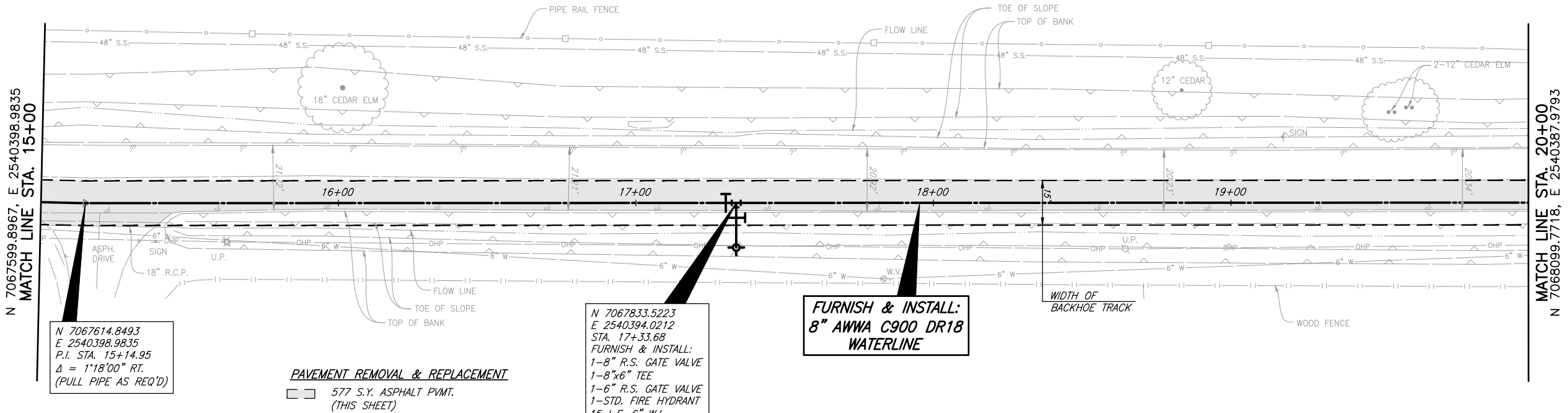
CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 2
PLAN - PROFILE
STA. 10+00 TO STA. 15+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
22



- NOTES:
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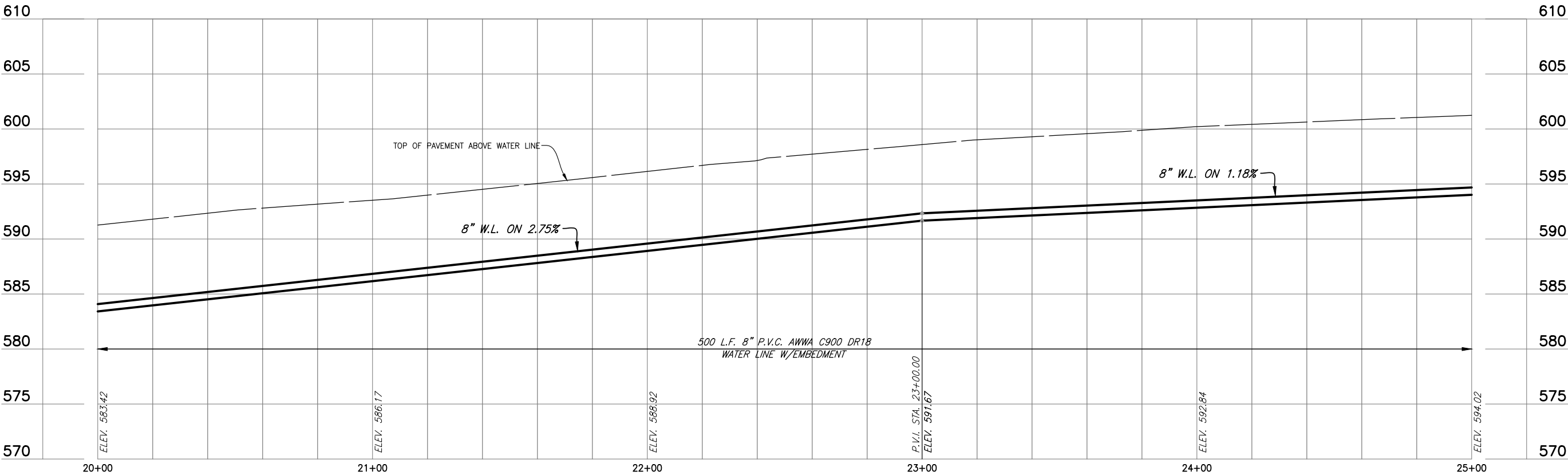
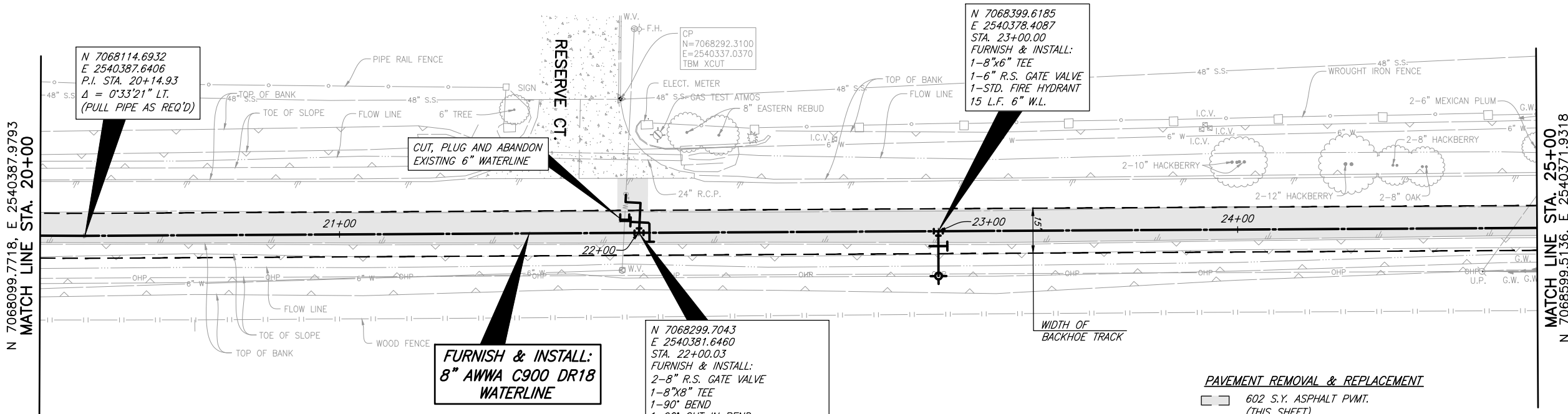
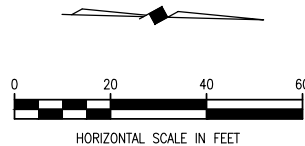
CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 2
PLAN - PROFILE
STA. 15+00 TO STA. 20+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
23



- NOTES:
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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE

SECTION 2
PLAN - PROFILE
STA. 20+00 TO STA. 25+00

BHC
PROJECT NO.
2024116

September 2024

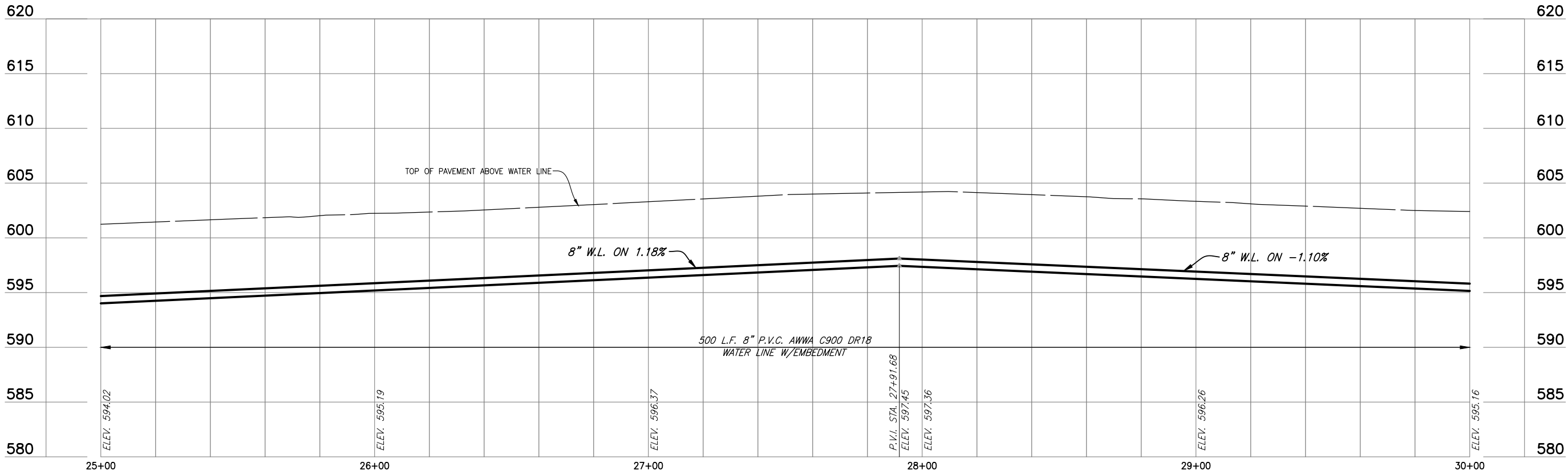
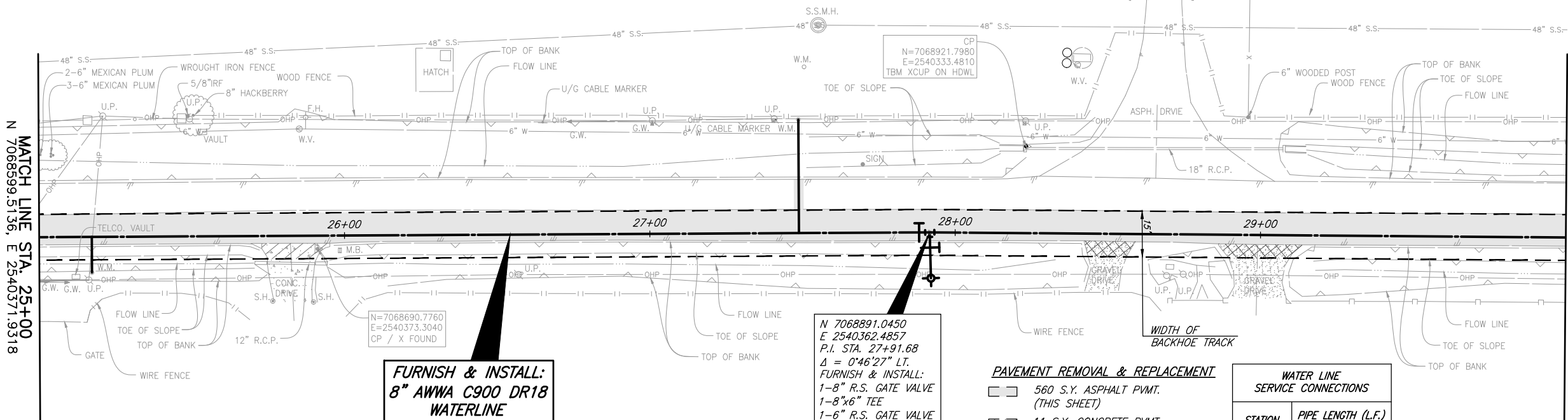
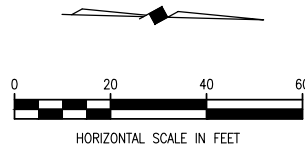
SHEET NO.

24



- NOTES:
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MATCH LINE STA. 30+00
N 7069099.3234, E 2540358.5528



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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE

SECTION 2
PLAN - PROFILE
STA. 25+00 TO STA. 30+00

BHC
PROJECT NO.
2024116

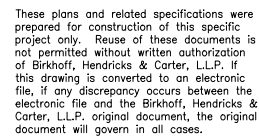
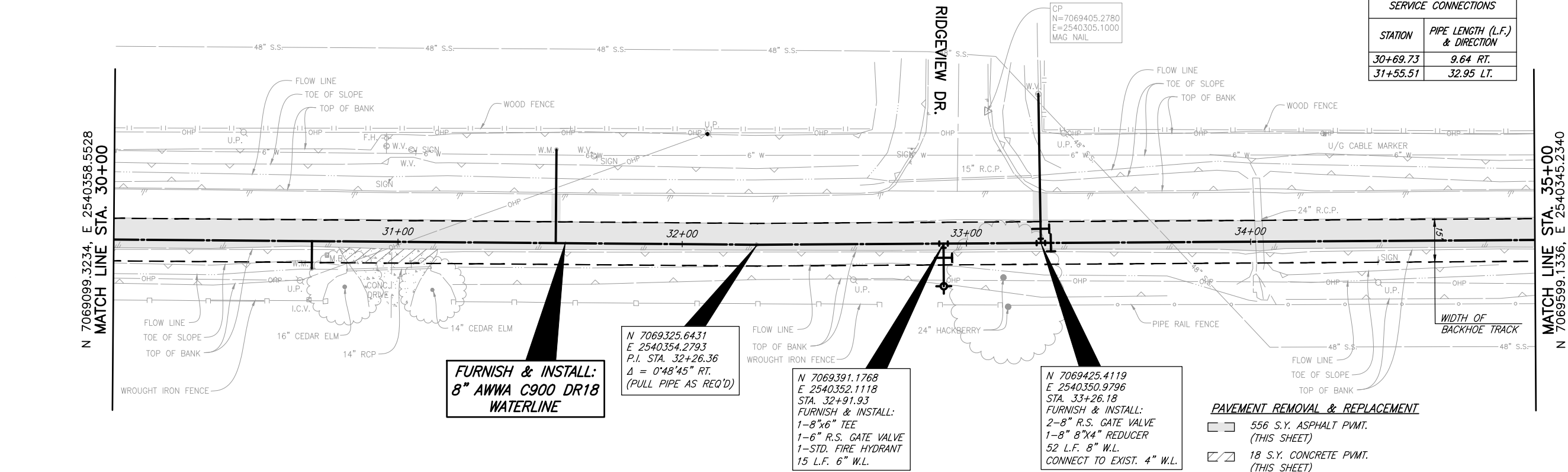
September 2024

SHEET NO.

25

NOTES:

1. EXISTING WATER VALVE STACKS SHALL BE REMOVED AND HOLE FILLED WITH 300 P.S.I. FLOWABLE FILL. TOP 6-INCHES TO BE FILLED WITH TOPSOIL.
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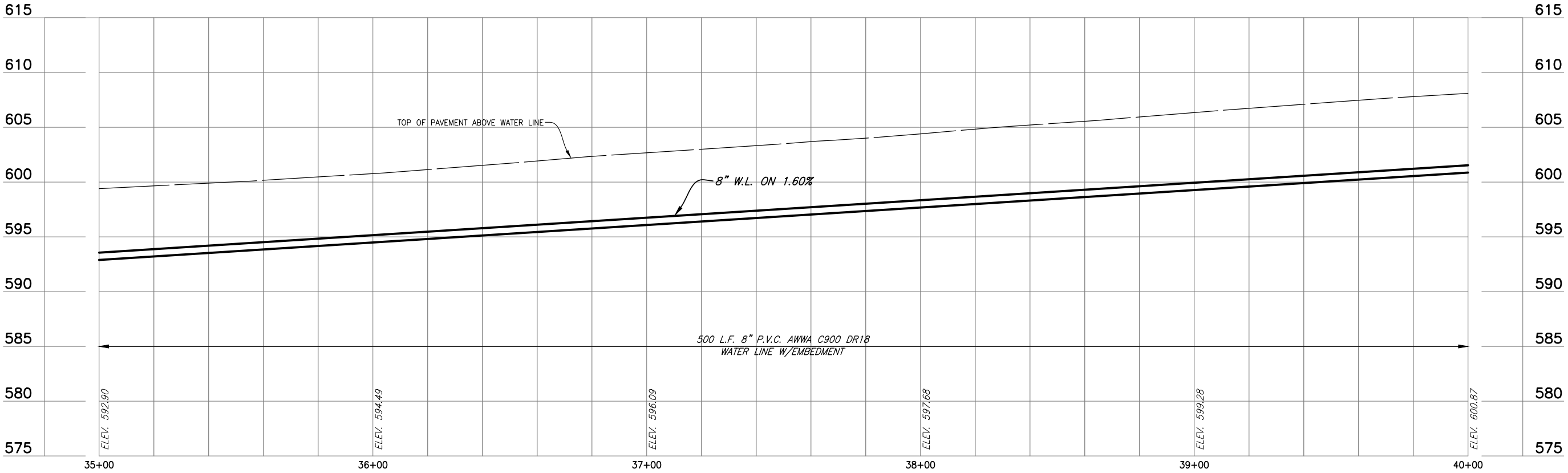
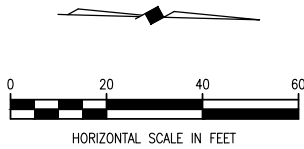
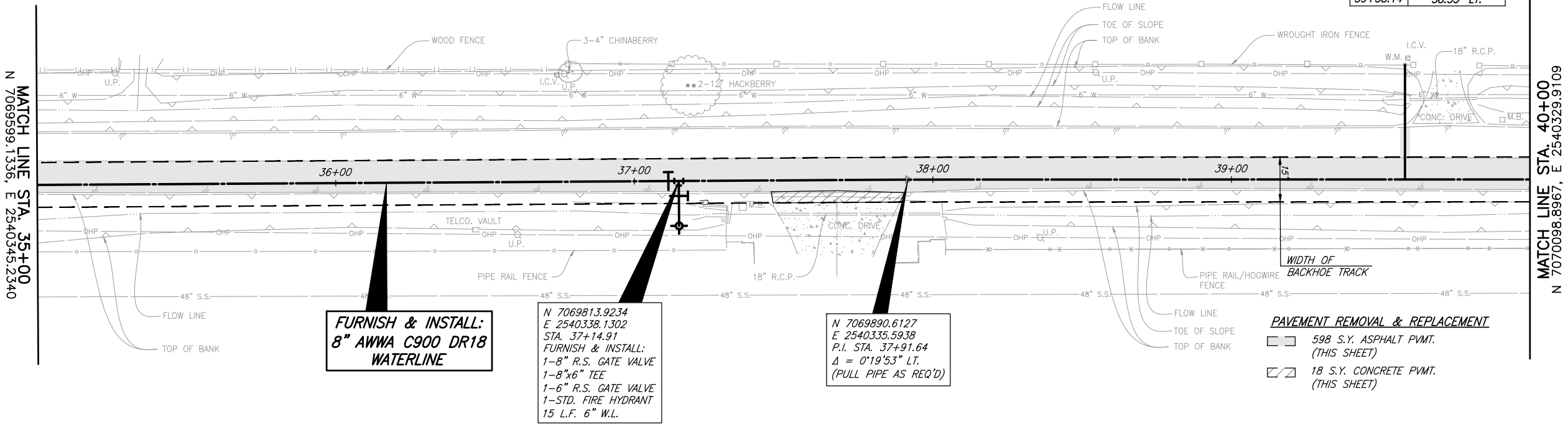
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DATE: September 2024

<p>BHC PROJECT NO. 2024116</p> <p>September 2024</p>	<p>SHEET NO.</p> <p>26</p>
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- NOTES:
- EXISTING WATER VALVE STACKS SHALL BE REMOVED AND HOLE FILLED WITH 300 P.S.I. FLOWABLE FILL. TOP 6-INCHES TO BE FILLED WITH TOPSOIL.
 - EXISTING FIRE HYDRANTS SHALL BE REMOVED AND DISPOSED OF OFFSITE OR RETURNED TO HE CITY.
 - CONTRACTOR SHALL REMOVE AND RESET ALL DISTURBED MAILBOXES, SIGNS AND POSTS. POSTS SHALL BE SET IN NEW CONCRETE.
 - CONTRACTOR SHALL REESTABLISH SLOPE OF CHANNEL AND FURNISH, PLACE AND PIN SOLID SOD IN PLACE.
 - CONTRACTOR SHALL PLACE MATS OVER DRIVEWAYS AND STREETS TO PROTECT SURFACE FROM TRACK EQUIPMENT.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 10-FOOT LANE OPEN FOR TRAFFIC AT ALL TIMES.

WATER LINE SERVICE CONNECTIONS	
STATION	PIPE LENGTH (L.F.) & DIRECTION
39+58.14	38.35' LT.



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PROFESSIONAL ENGINEERS
TBPE Firm No. 526; TBPLS Firm No. 10031800
11910 Greenville Ave., Suite 600
Dallas, Texas 75243 (214) 361-7900

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CRAIG M. KERKHOFF
TEXAS P.E. NO. 106102
DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE

SECTION 2
PLAN - PROFILE
STA. 35+00 TO STA. 40+00

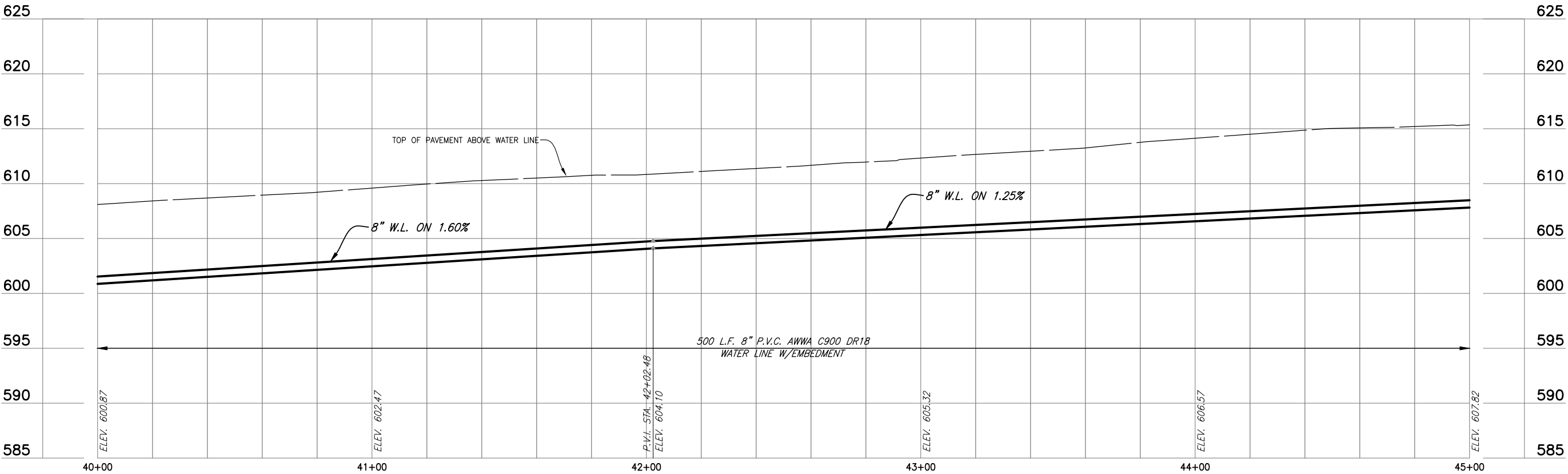
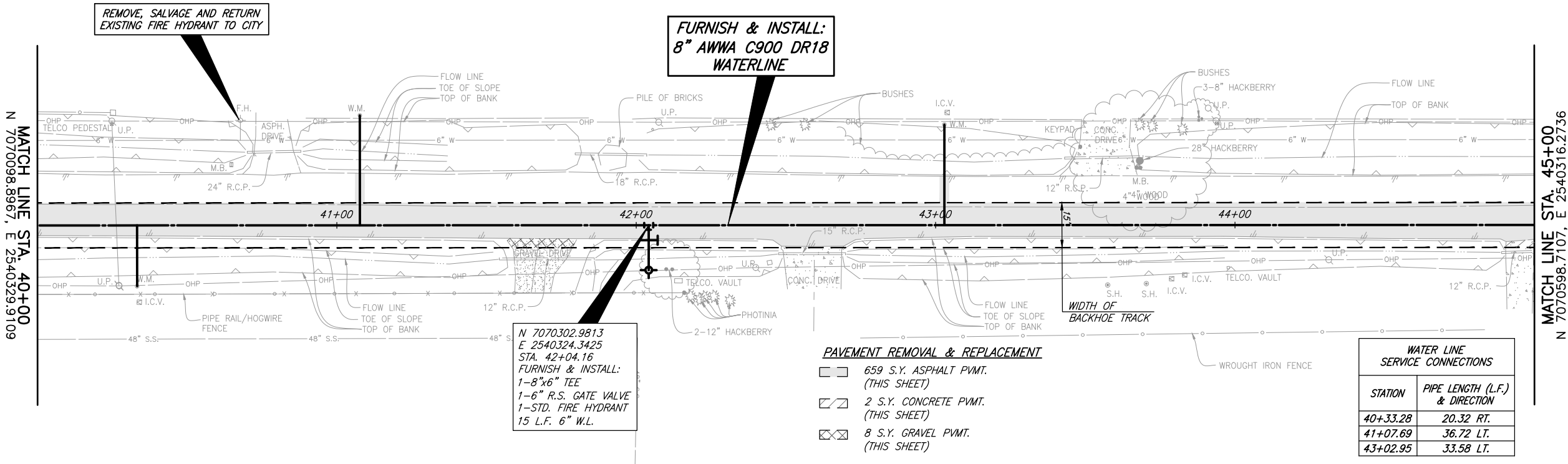
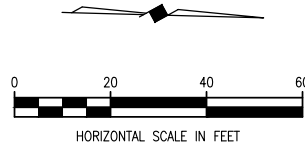
BHC
PROJECT NO.
2024116

September 2024

SHEET NO.
27



- NOTES:
- EXISTING WATER VALVE STACKS SHALL BE REMOVED AND HOLE FILLED WITH 300 P.S.I. FLOWABLE FILL. TOP 6-INCHES TO BE FILLED WITH TOPSOIL.
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TEXAS P.E. NO. 106102
DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE

SECTION 2
PLAN - PROFILE
STA. 40+00 TO STA. 45+00

BHC
PROJECT NO.
2024116

September 2024

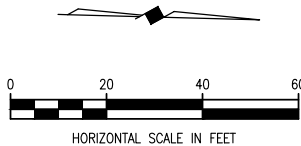
SHEET NO.

28

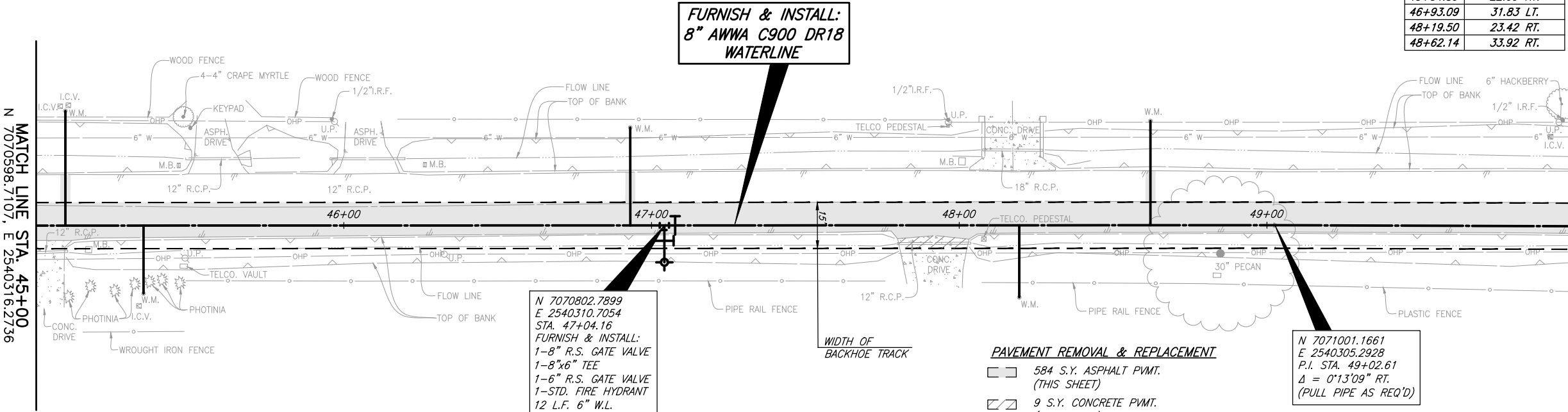


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MATCH LINE STA. 50+00
N 7071098.5341, E 2540303.0087



WATER LINE SERVICE CONNECTIONS	
STATION	PIPE LENGTH (L.F.) & DIRECTION
45+09.50	37.30 LT.
45+34.89	22.09 RT.
46+93.09	31.83 LT.
48+19.50	23.42 RT.
48+62.14	33.92 RT.



FURNISH & INSTALL:
8" AWWA C900 DR18
WATERLINE

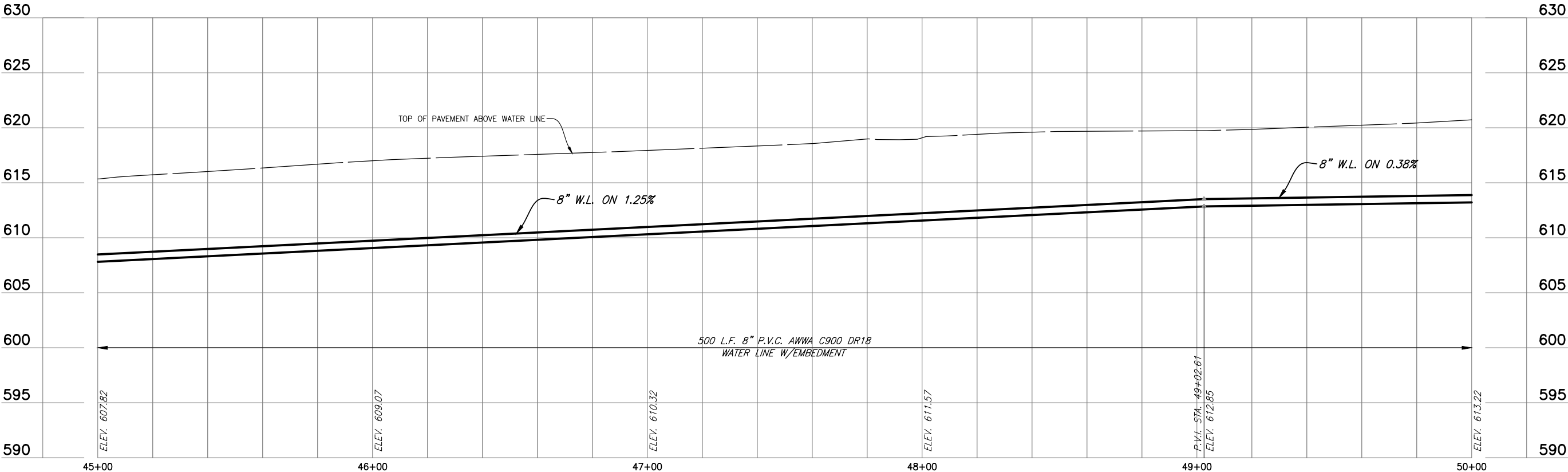
N 7070802.7899
E 2540310.7054
STA. 47+04.16
FURNISH & INSTALL:
1-8" R.S. GATE VALVE
1-8"x6" TEE
1-6" R.S. GATE VALVE
1-STD. FIRE HYDRANT
12 L.F. 6" W.L.

PAVEMENT REMOVAL & REPLACEMENT

584 S.Y. ASPHALT PVMT.
(THIS SHEET)

9 S.Y. CONCRETE PVMT.
(THIS SHEET)

N 7071001.1661
E 2540305.2928
P.I. STA. 49+02.61
 $\Delta = 0^{\circ}13'09''$ RT.
(PULL PIPE AS REQ'D)



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CRAIG M. KERKHOFF
TEXAS P.E. NO. 106102
DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE

SECTION 2
PLAN - PROFILE
STA. 45+00 TO STA. 50+00

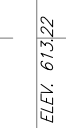
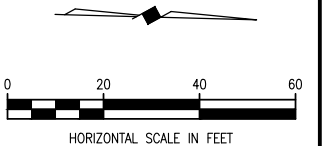
BHC
PROJECT NO.
2024116

September 2024

SHEET NO.

29

1. EXISTING WATER VALVE STACKS SHALL BE REMOVED AND HOLE FILLED WITH 300 P.S.I. FLOWABLE FILL. TOP 6-INCHES TO BE FILLED WITH TOPSOIL.
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6. CONTRACTOR SHALL MAINTAIN A MINIMUM 10-FOOT LANE OPEN FOR TRAFFIC AT ALL TIMES.



WATER LINE SERVICE CONNECTIONS	
STATION	PIPE LENGTH (L.F.) & DIRECTION
50+32.93	32.17 RT.
50+83.90	31.15 LT.
54+56.89	24.05 RT.

REMOVE, SALVAGE AND RETURN
EXISTING FIRE HYDRANT TO CITY

**FURNISH & INSTALL:
8" AWWA C900 DR18
WATERLINE**

N 7071302.6875
E 2540298.2198
STA. 52+04.21
FURNISH & INSTALL:
1-8"x6" TEE
1-6" R.S. GATE VALVE
1-STD. FIRE HYDRANT
15 L.F. 6" W.L.

PAVEMENT REMOVAL & REPLACEMENT

566 S.Y. ASPHALT PVMT.
(THIS SHEET)

 12 S.Y. GRAVEL PVMT.
(THIS SHEET)

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CRAIG M. KERKHOFF
TEXAS P.E. NO. 106102
DATE: September 2024

DUBLIN ROAD WATERLINE

SECTION 2
PLAN - PROFILE
STA. 50+00 TO STA. 55+00

BHC
PROJECT NO.
2024116

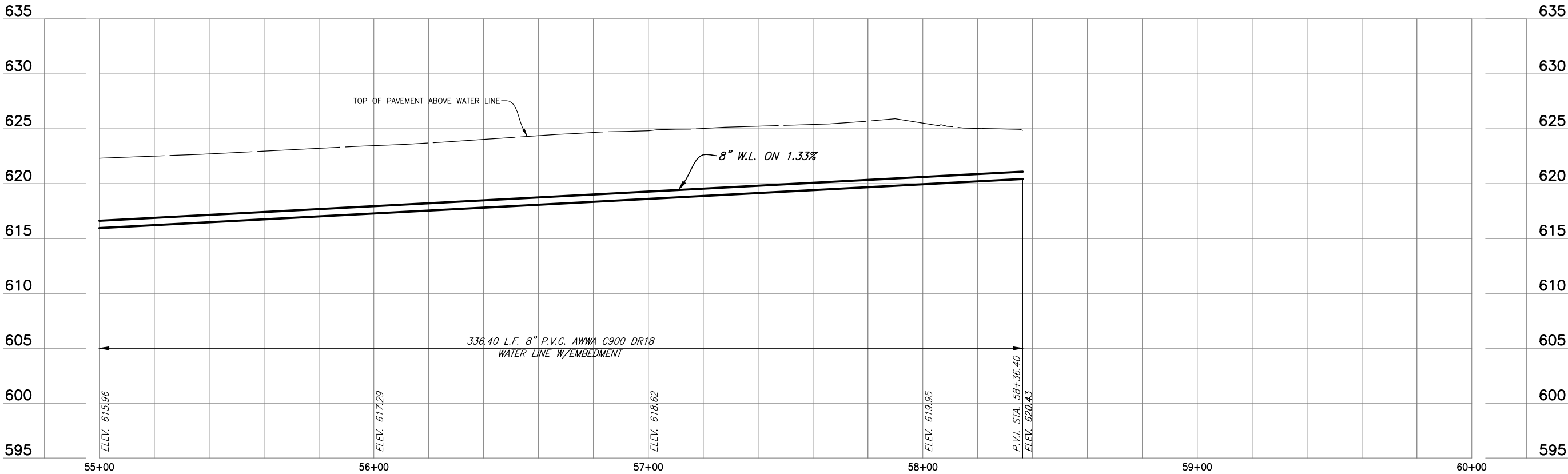
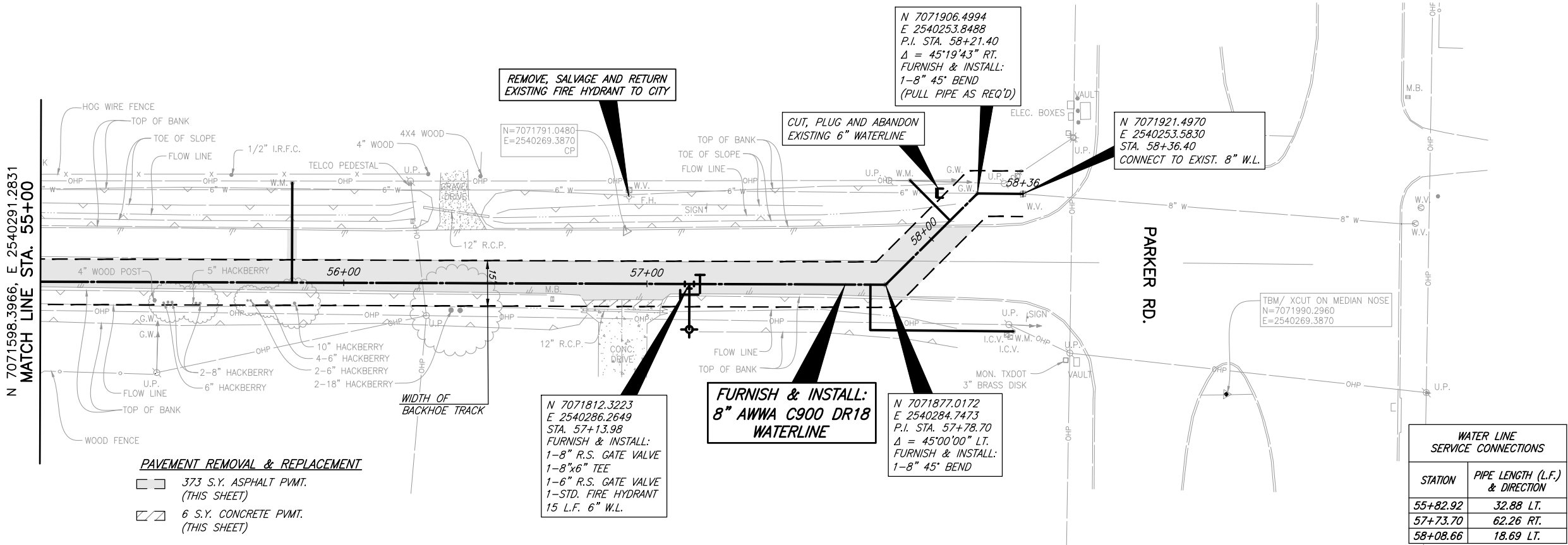
September 2024

SHEET NO.

30



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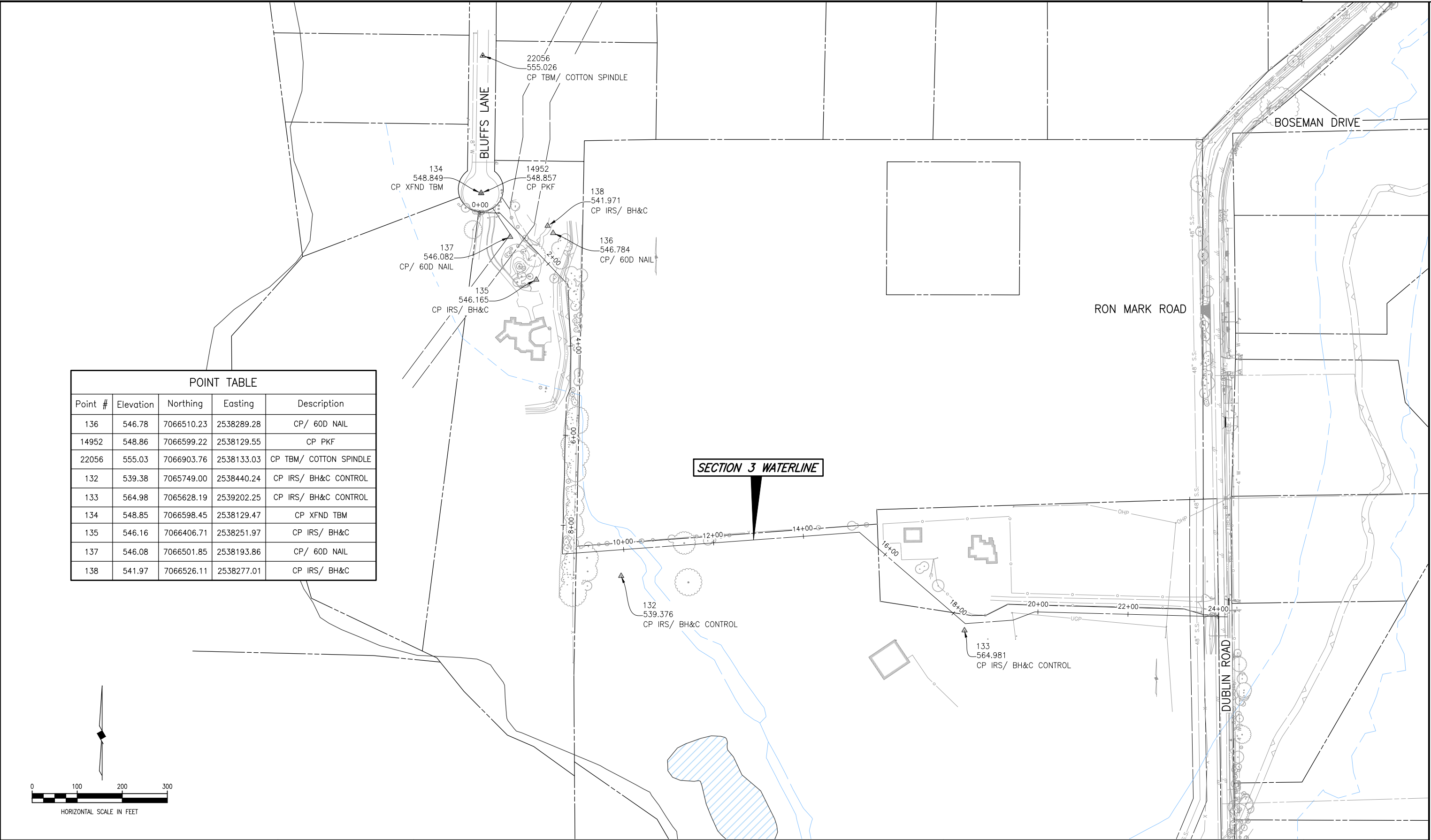
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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 2
PLAN - PROFILE
STA. 55+00 TO STA. 58+36

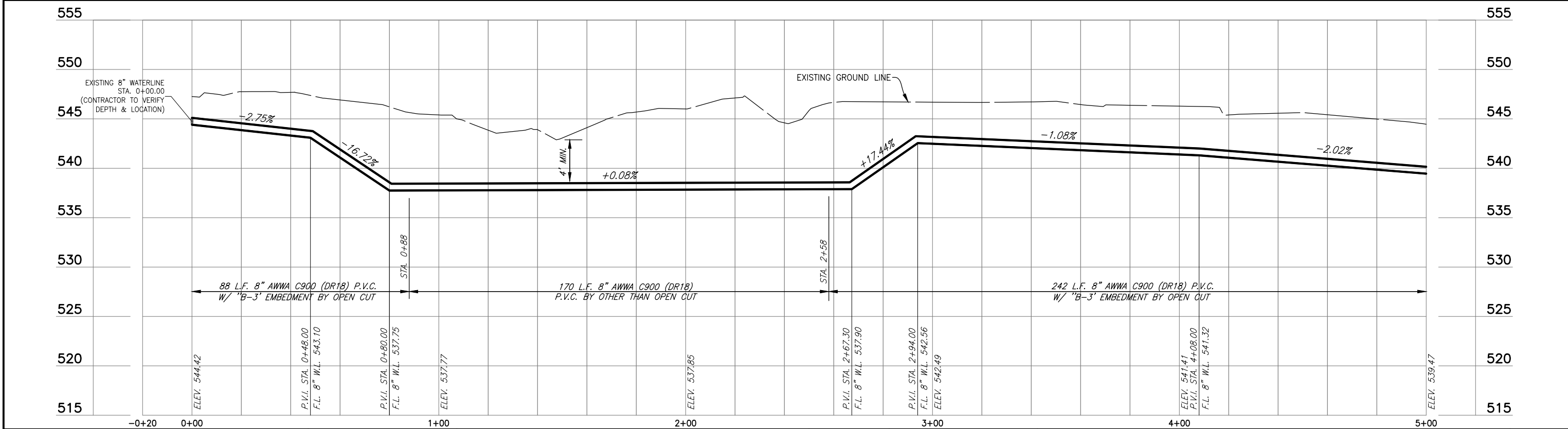
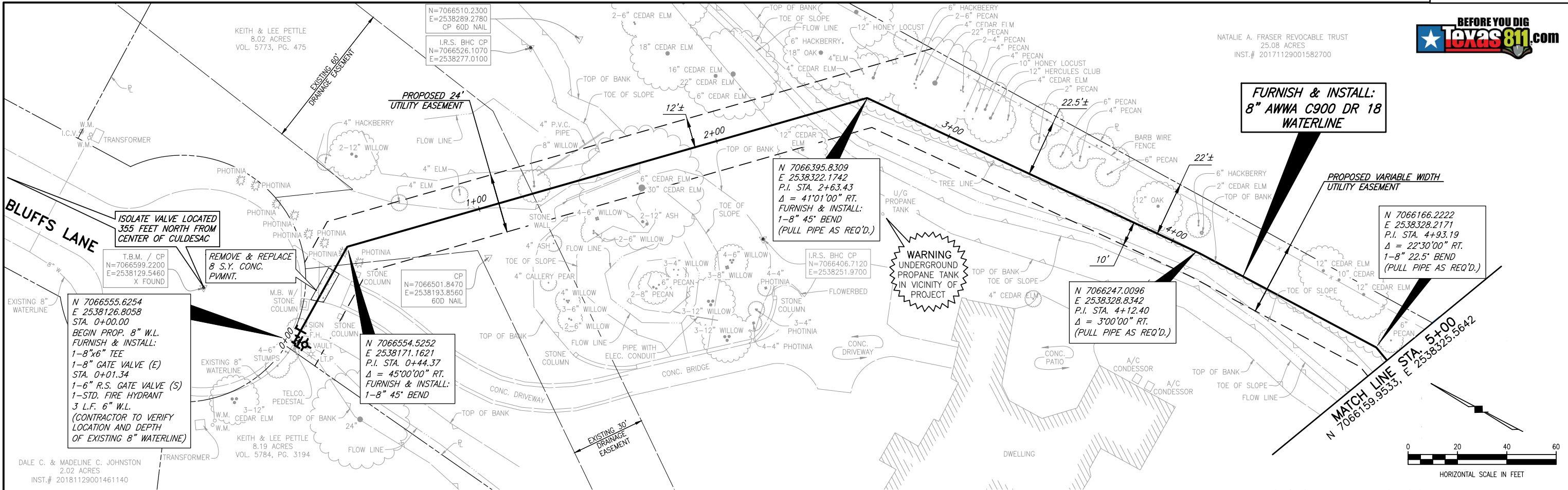
BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
31

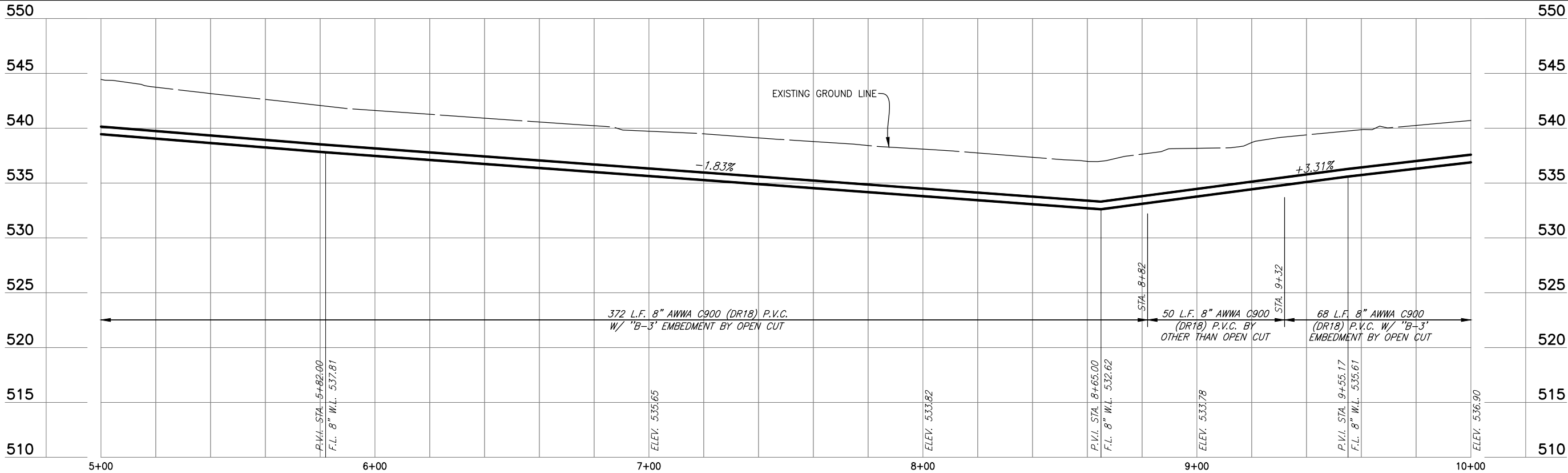
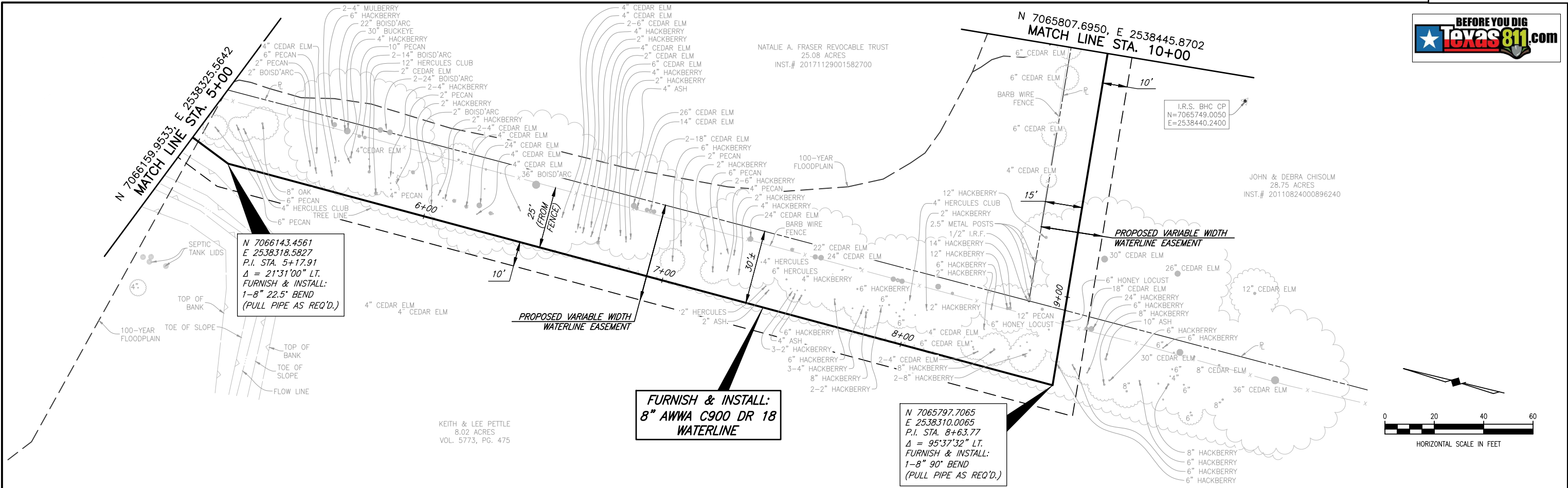


POINT TABLE				
Point #	Elevation	Northing	Easting	Description
136	546.78	7066510.23	2538289.28	CP/ 60D NAIL
14952	548.86	7066599.22	2538129.55	CP PKF
22056	555.03	7066903.76	2538133.03	CP TBM/ COTTON SPINDLE
132	539.38	7065749.00	2538440.24	CP IRS/ BH&C CONTROL
133	564.98	7065628.19	2539202.25	CP IRS/ BH&C CONTROL
134	548.85	7066598.45	2538129.47	CP XFND TBM
135	546.16	7066406.71	2538251.97	CP IRS/ BH&C
137	546.08	7066501.85	2538193.86	CP/ 60D NAIL
138	541.97	7066526.11	2538277.01	CP IRS/ BH&C

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				SECTION 3 CONTROL POINTS AND BENCHMARKS			



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			<div>SECTION 3 - WEST - 8" WATERLINE PLAN - PROFILE STA. 0+00 TO STA. 5+00</div>	<div>September 2024</div>	



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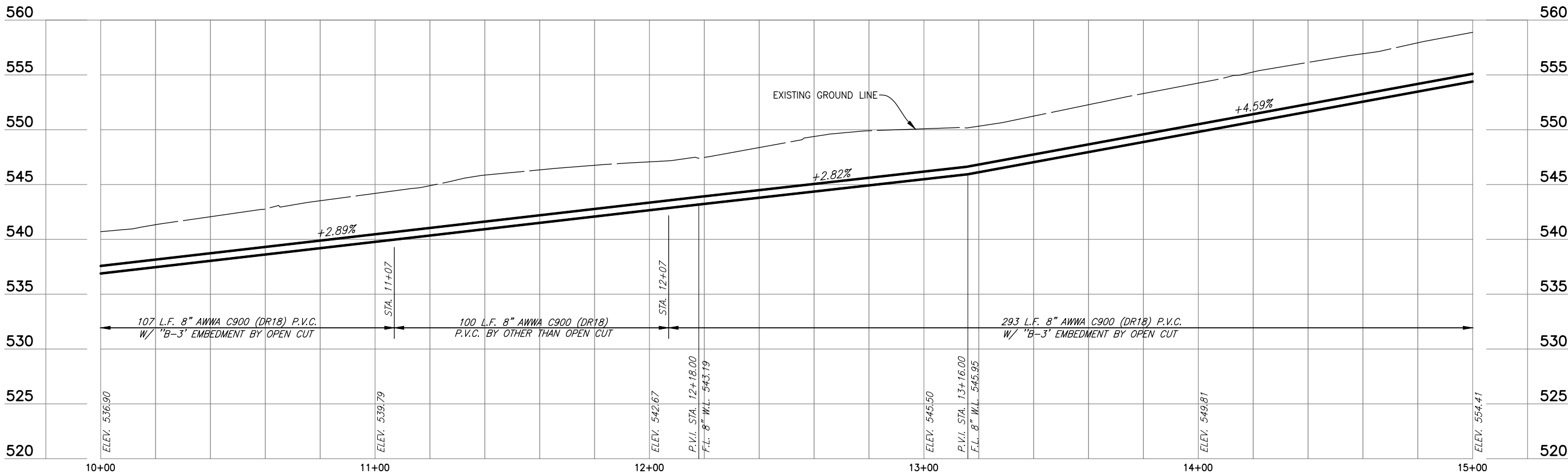
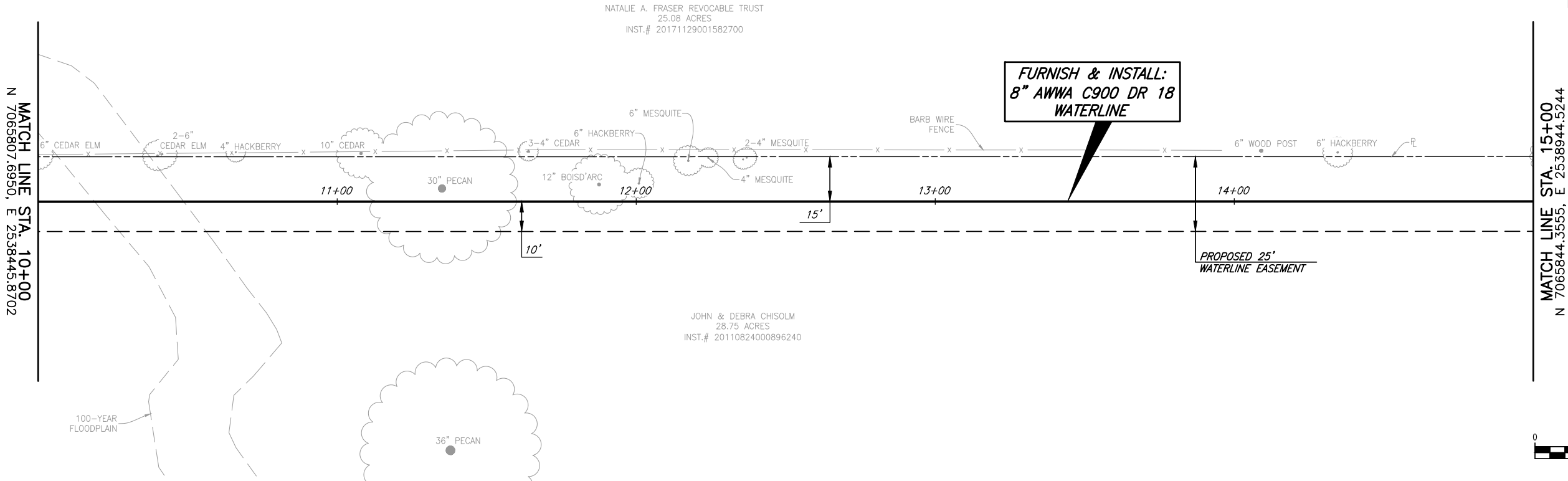
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TEXAS P.E. NO. 106102
DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 3 - WEST - 8" WATERLINE
PLAN - PROFILE
STA. 5+00 TO STA.10+00

BHC
PROJECT NO.
2024116
September 2024

SHEET NO.
34



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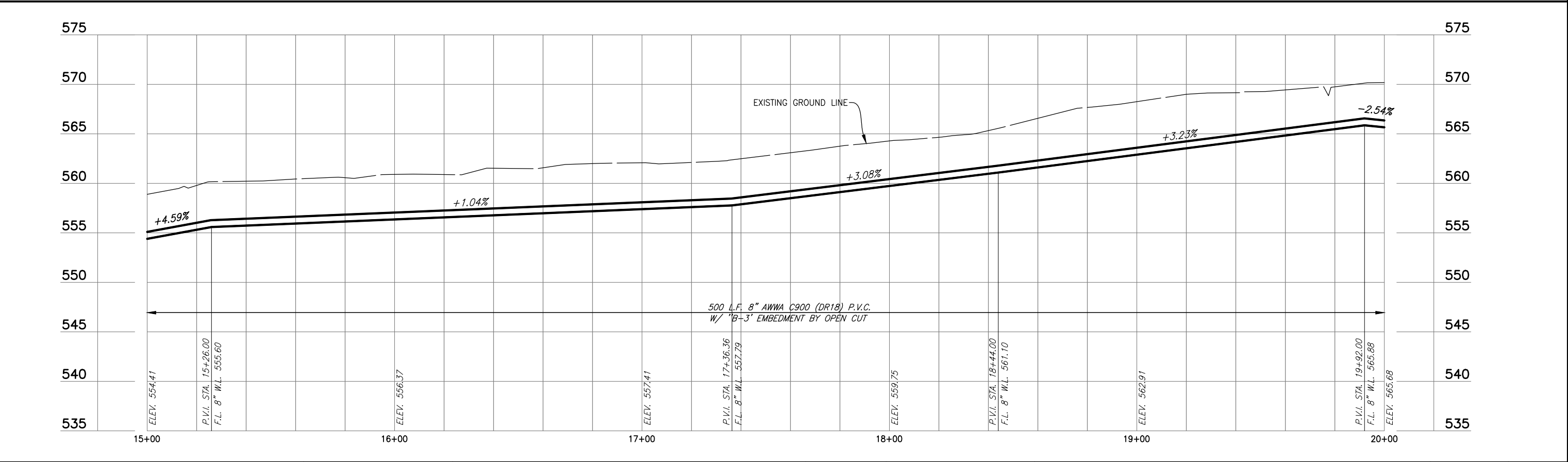
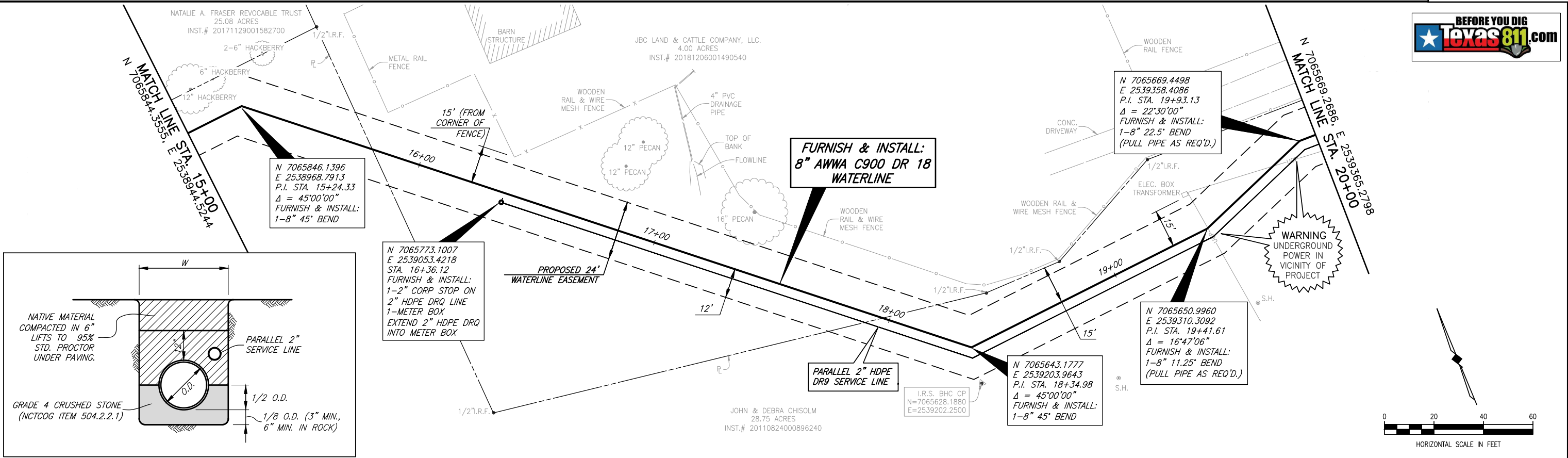
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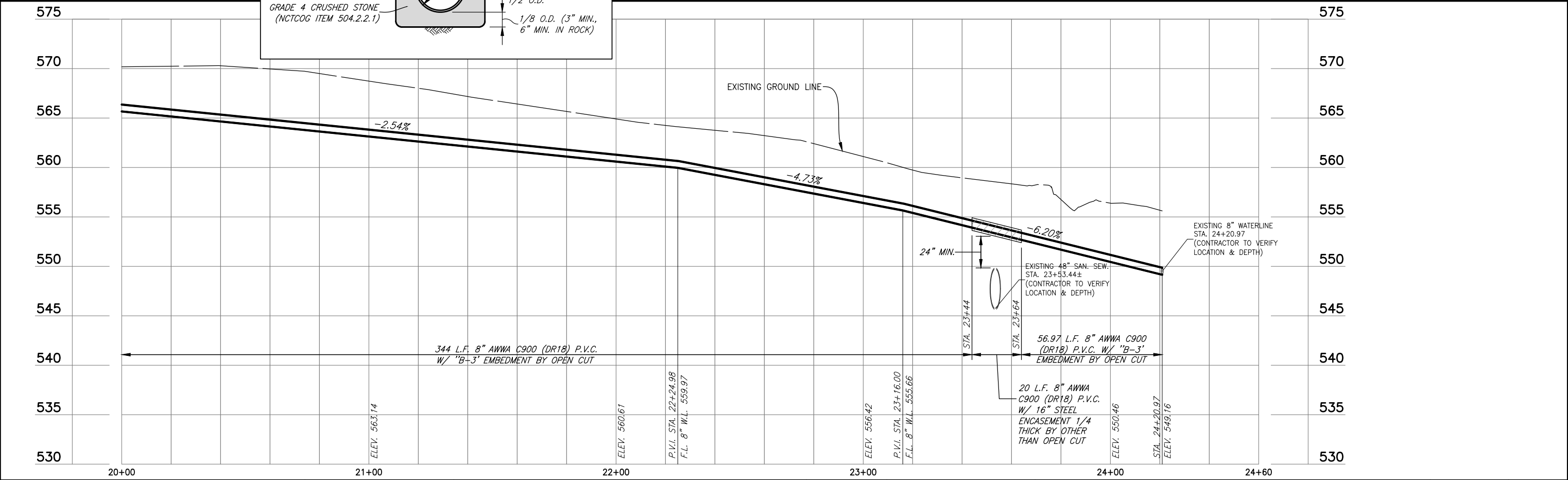
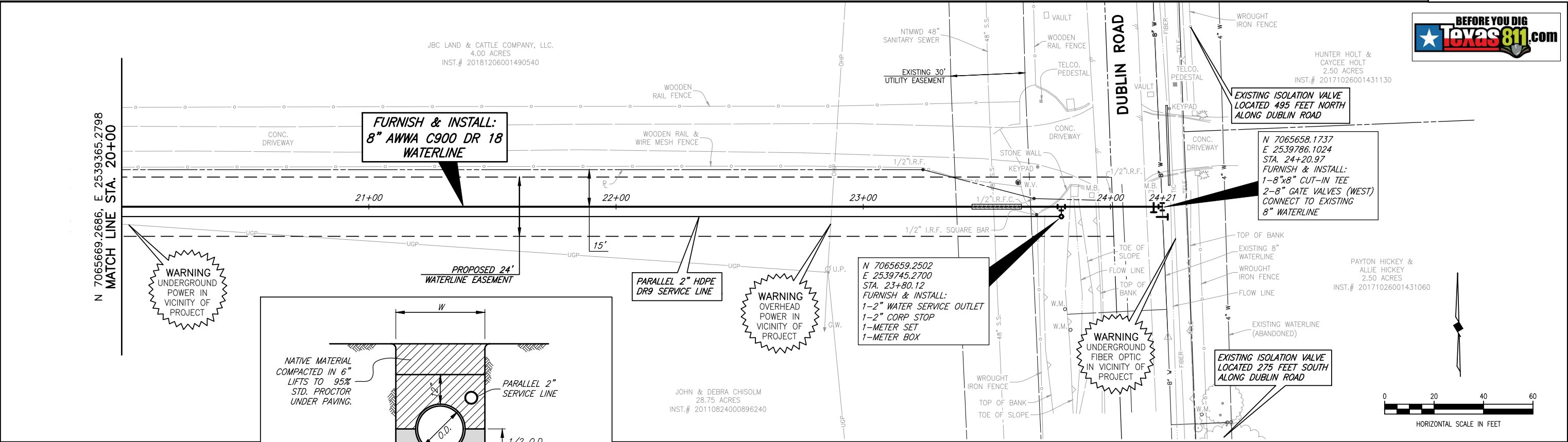
CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
SECTION 3 - WEST - 8" WATERLINE
PLAN - PROFILE
STA. 10+00 TO STA. 15+00

BHC
PROJECT NO.
2024116
September 2024

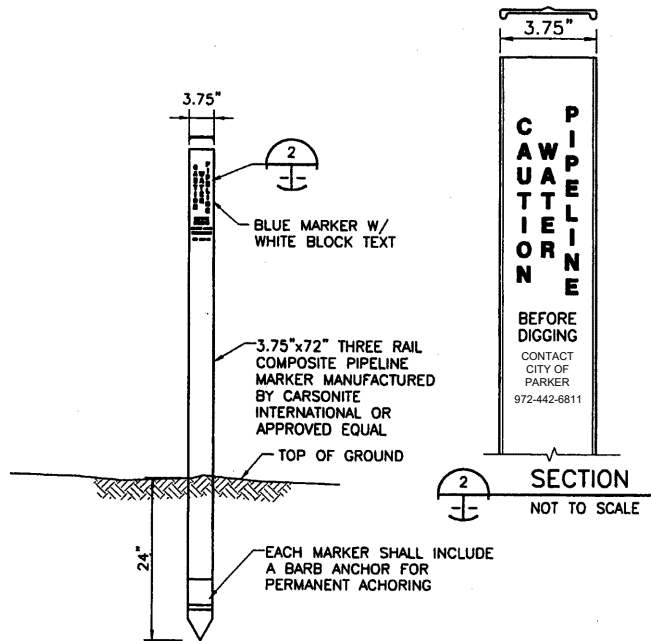
SHEET NO.
35



<div></div> <div></div> <div></div> <div></div> <div></div>	These plans and related specifications were prepared for construction of this specific project only. Reuse of these documents is not permitted without written authorization of Birkhoff, Hendricks & Carter, L.L.P. If this drawing is converted to an electronic file, if any discrepancy occurs between the electronic file and the Birkhoff, Hendricks & Carter, L.L.P. original document, the original document will govern in all cases.	BIRKHOFF, HENDRICKS & CARTER, L.L.P. PROFESSIONAL ENGINEERS TBPE Firm No. 526; TBPLS Firm No. 10031800 11910 Greenville Ave., Suite 600 Dallas, Texas 75243 (214) 361-7900	THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. CRAIG M. KERKHOFF TEXAS P.E. NO. 106102 DATE: September 2024	CITY OF PARKER, TEXAS DUBLIN ROAD WATERLINE	BHC PROJECT NO. 2024116 September 2024	SHEET NO. 36
				SECTION 3 - WEST - 8" WATERLINE		
				PLAN - PROFILE		
				STA. 15+00 TO STA. 20+00		

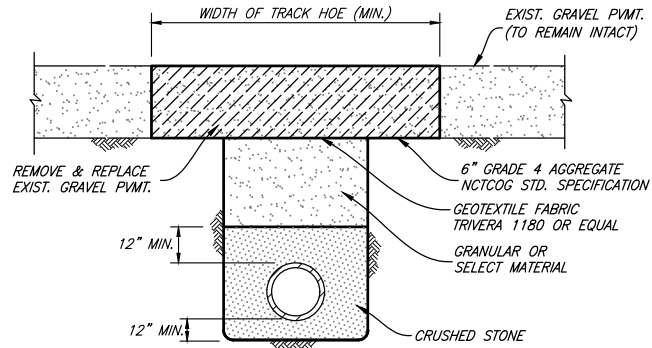


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			<div>SECTION 3 - WEST - 8" WATERLINE PLAN - PROFILE STA. 20+00 TO STA. 24+20.97</div>	<div>September 2024</div>	



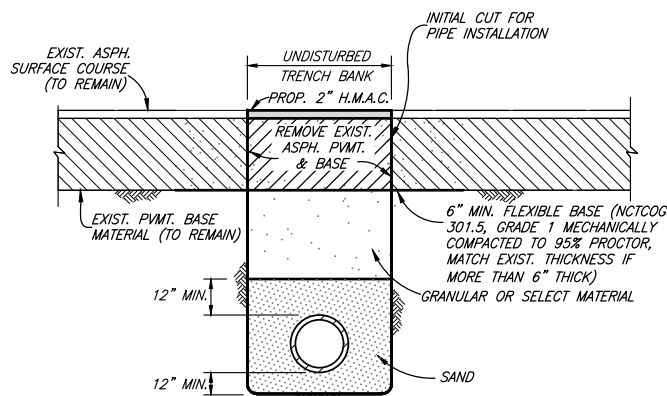
PIPELINE MARKER
NTS

- NOTES:
1. MARKER SHALL BE LOCATED ON BOTH SIDES OF CULVERTS AND AT ALL MAINLINE VALVES, AIR VALVES, AND BLOWOFF VALVES.
 2. MARKER SHALL ALSO BE PLACED AT ALL HORIZONTAL BENDS AT CREEK CROSSINGS.
 3. EACH MARKER SHALL HAVE A STICKER WITH THE FOLLOWING INFORMATION
"CAUTION WATER PIPELINE CONTACT CITY OF PARKER (972) 442-6811"
 4. CONTRACTOR SHALL PROVIDE THE OWNER A POST DRIVER (PART #PDR1), A POST PULLER, AND 5 ADDITIONAL PIPELINE MARKERS.



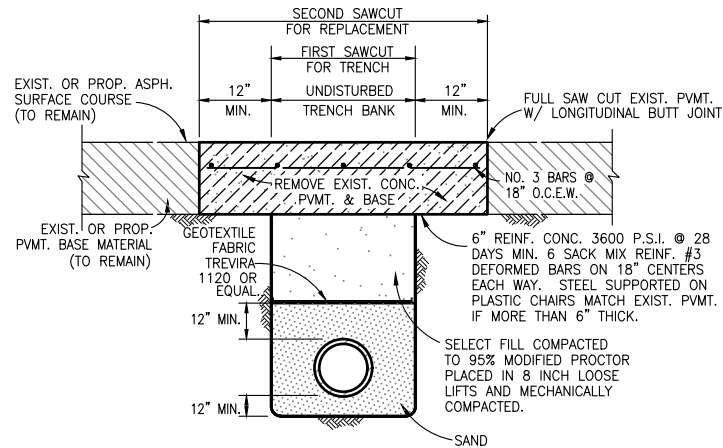
GRAVEL STREET REPAIR

NO SCALE
AT PARKER ROAD



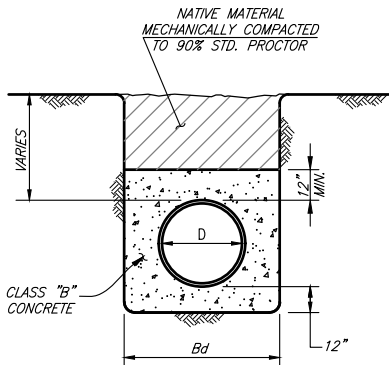
ASPHALT STREET

NO SCALE
AT KARA LANE



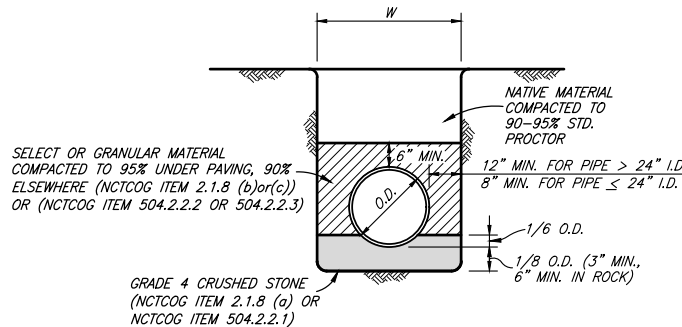
**CONCRETE STREET
OR DRIVEWAY REPAIR**

PIPE LINE CROSSING



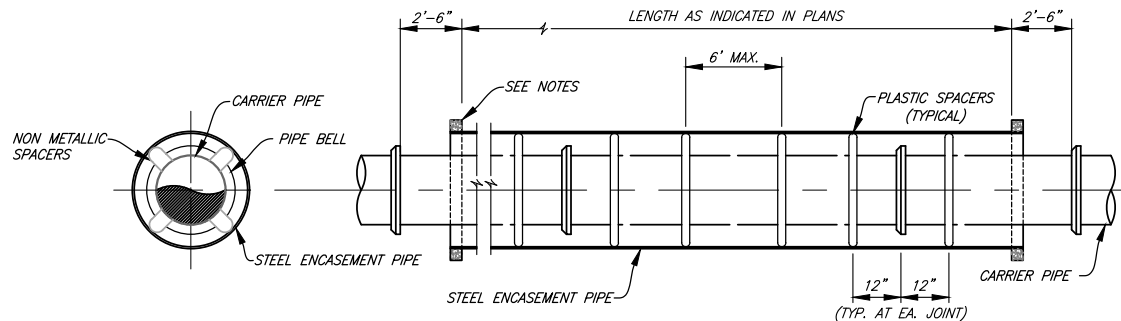
CLASS "G"

NO SCALE



**CLASS C EMBEDMENT
(NCTCOG CLASS "C")**

NO SCALE



SECTION

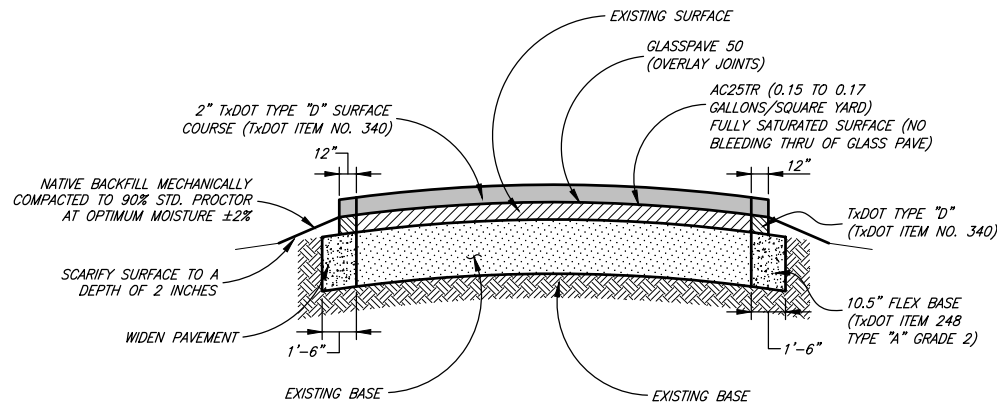
ELEVATION

ENCASED ROAD BORE

NO SCALE

SPACER SPACING SHALL BE SUBMITTED TO CITY FOR REVIEW
MAXIMUM SPACING WATER 10 FEET
MAXIMUM SPACING SEWER 7 FEET

- NOTES:
1. PREFABRICATED NON METALLIC PIPE SPACERS SHALL BE AS MANUFACTURED BY PSI, RACI OR APPROVED EQUAL.
 2. SPACERS SHALL BE CONTACTED AND RESTRAINED TYPE FOR WATER LINES AND FORCE MAINS.
 3. SPACER SHALL BE CENTERED TYPE FOR GRAVITY SANITARY SEWER LINES.
 4. MINIMUM FOUR SPACERS PER 18 FOOT OR 20 FOOT JOINT OF PIPE WITH SPACERS TWO FEET FROM JOINT.
 5. ENDS OF ENCASEMENT PIPE SHALL BE SEALED WITH MANUFACTURED SEAL PLUG OR LINK SEAL MODULAR SEALS.
 6. PRESSURE GROUT AREA BETWEEN ENCASEMENT PIPE AND OVERCUT BORE HOLE.
 7. ENCASEMENT PIPE SHALL BE WELDED STEEL, MIN YIELD STRENGTH 36,000 PSI.



OVERLAY WITH GLASSPAVE

GLASSPAVE 50

- NOTES:
1. NO RECYCLED ASPHALT (RAP) IS ALLOWED.
 2. PROVIDE IN-PLACE DENSITY TEST EVERY 500 FEET OF COMPACTED WORK.
 3. PLACE FABRIC WITH MECHANICAL LAYDOWN MACHINE.
 4. SURFACE SHALL BE CLEANED PRIOR TO PLACING TACK COAT.
 5. FABRIC SHALL LAY FLAT WITH NO WRINKLES. WRINKLES SHALL BE REMOVED BY LIFTING AND PLACING OR CUT WITH OVERLAPPING DIRECTION OF PAVING EQUIPMENT. EXCESSIVE WRINKLES AS DETERMINED BY THE CITY WILL REQUIRE COMPLETE REMOVAL AND REPLACEMENT.

These plans and related specifications were prepared for construction of this specific project only. Reuse of these documents is not permitted without written authorization of Birkhoff, Hendricks & Carter, L.L.P. If this drawing is converted to an electronic file, if any discrepancy occurs between the electronic file and the Birkhoff, Hendricks & Carter, L.L.P. original document, the original document will govern in all cases.

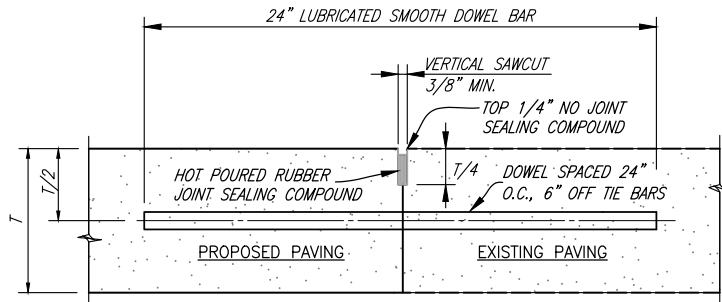
BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
TBPE Firm No. 526; TBPLS Firm No. 10031800
11910 Greenville Ave., Suite 600
Dallas, Texas 75243 (214) 361-7900

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CRAIG M. KERKHOFF
TEXAS P.E. NO. 106102
DATE: September 2024

CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
DETAILS

BHC
PROJECT NO.
2024116
September 2024

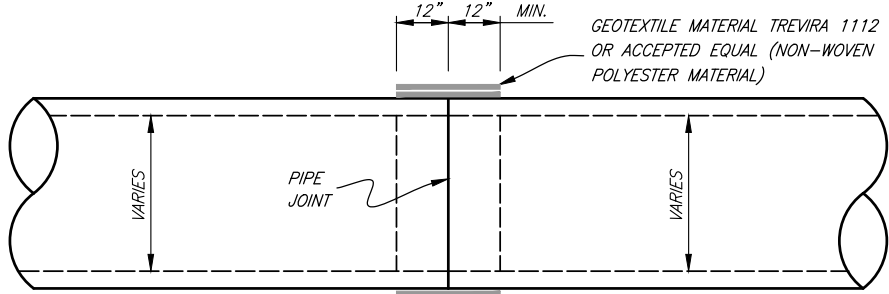
SHEET NO.
38



- NOTE:
1. T-8" AND GREATER NO. 6 BAR, T-6" AND LESS NO. 5 BAR.
 2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG. HAND DRILLING NOT ACCEPTABLE. DAMAGE TO EXISTING PAVEMENT SHALL BE REMOVED BY CONTRACTOR AND JOINT CONSTRUCTED AT CONTRACTORS EXPENSE.
 4. DOWEL BAR SHOWN IS IN ADDITION TO TIE BARS (12" O.C.-6" OFF DOWELS).
 5. TIE BARS SHALL BE NO. 5 BAR DEFORMED. TIE BAR SHALL HAVE A LENGTH OF 24 INCHES.

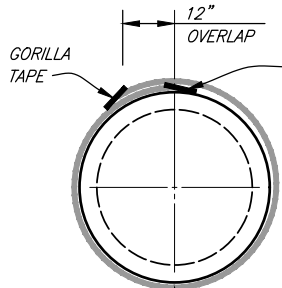
LONGITUDINAL BUTT JOINT

NO SCALE



- NOTES:
1. CONTRACTOR TO WRAP ALL JOINTS WITH GEOTEXTILE FABRIC.
 2. FABRIC SHALL BE PLACED AT BOTTOM OF TRENCH AND PULLED TIGHT UP AND OVER THE JOINT.
 3. ANCHOR FABRIC ON PIPE AND OVERLAY FABRIC WITH 12 INCH MIN. LAP. ANCHOR OVERLAP.
 4. BACKFILL PIPE.

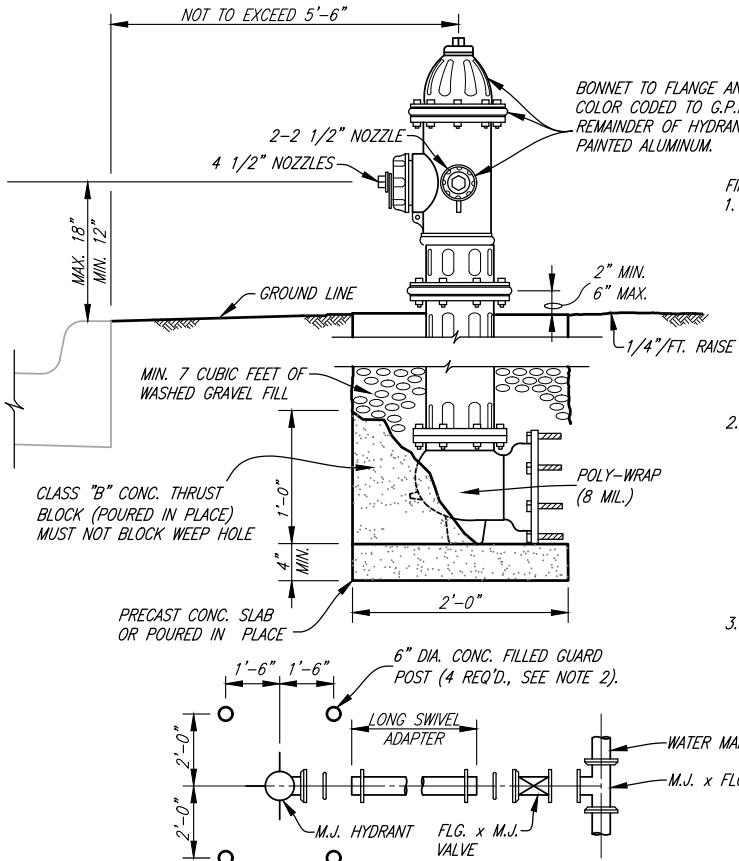
GEOTEXTILE MATERIAL TREVIRA 1112 OR ACCEPTED EQUAL (NON-WOVEN POLYESTER MATERIAL)



GORILLA TAPE
MIN. 2 PIECES OF 1.88 INCH WIDE GORILLA TAPE OR ENGINEER APPROVED EQUAL FOR ANCHOR MATERIAL

DETAIL OF CONCRETE PIPE JOINT WRAP FOR R.C.P. OR R.C.A.P. CONNECTIONS

NOT TO SCALE



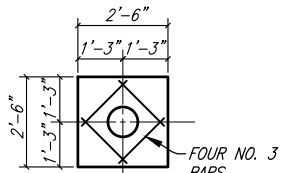
BONNET TO FLANGE AND NOZZLE CAPS COLOR CODED TO G.P.M. PER N.F.P.A. REMAINDER OF HYDRANT ABOVE GROUND PAINTED ALUMINUM.

- FIRE HYDRANT NOTES:
1. IN GENERAL ALL FIRE HYDRANTS SHALL CONFORM TO AWWA STANDARDS SPECIFICATIONS FOR FIRE HYDRANTS FOR ORDINARY WATER WORKS SERVICE FOR WATER AND SANITARY SEWER IMPROVEMENTS. FIRE HYDRANTS SHALL HAVE A 5-1/4" MINIMUM VALVE OPENING AND WITH A BARREL APPROXIMATELY 7" INSIDE DIAMETER. ALL HYDRANTS SHALL BE EQUIPPED WITH A BREAKAWAY FLANGE. ALL HYDRANTS SHALL BE APPROVED BY THE CITY.
 2. GUARD POSTS SHALL BE 6 L.F. OF 6" DIA. STEEL PIPE (3' ABOVE & BELOW GROUND LEVEL). POST SHALL BE ENCASED IN 16" DIA. CONC. PIER TO A DEPTH OF 12" BELOW POST BOTTOM. REINF. CONC. PIER WITH 2 NO. 6 BARS (12" LONG) THRU POST INTO PIER. POST ABOVE GROUND LEVEL SHALL BE PAINTED ALUMINUM WITH 2-2 INCH BANDS OF RED AND WHITE REFLECTIVE TAPE.
 3. BONNET COLOR
WATER MAIN CAP
LESS THAN 500 G.P.M. 500-999 G.P.M. 1,000-1,499 G.P.M. 1,500 & GREATER G.P.M.

COLOR
RED
ORANGE
GREEN
BLUE

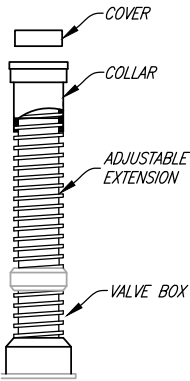
TYPICAL FIRE HYDRANT INSTALLATION

NO SCALE



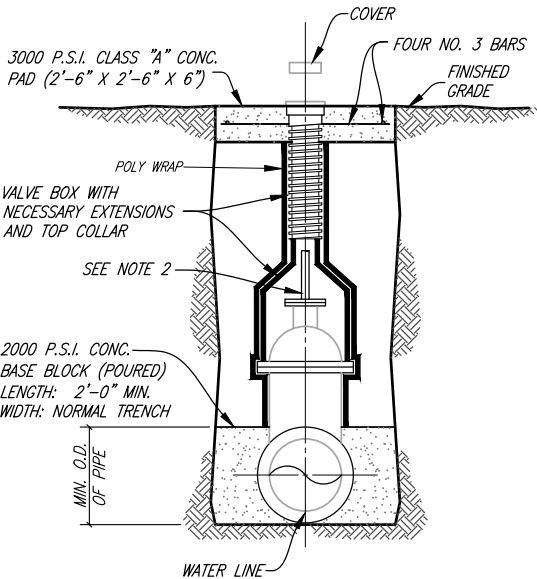
VALVE BOX PAD PLAN

NO SCALE



VALVE BOX WITH EXTENSION

NO SCALE



VALVE SETTING & BOX

NO SCALE

- WATER VALVE NOTES:
1. 4" TO 12" GATE VALVE SHALL BE RESILIENT SEATED WEDGE GATE VALVES ACCORDANCE WITH AWWA STANDARD C-509.
 2. A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE WHOSE OPERATING NUT IS LOCATED IN EXCESS OF 4 FEET BELOW THE TOP OF VALVE BOX. THIS EXTENSION SHALL BE OF SUFFICIENT LENGTH TO INSURE THAT ITS TOP IS WITHIN 4" OF THE VALVE BOX COVER.
 3. DUCTILE IRON PIPE SHALL BE USED FOR VALVE STACKS WITH TWO-PIECE ADJUSTABLE (SHORTY) VALVE BOXES.
 4. A "V" SHALL BE PLACED ON THE NEAREST CURB WHERE VALVE IS IN FRONT OF THE CURB, AND AN "X" SHALL BE PLACED ON THE NEAREST CURB FOR INSTALLATIONS BEHIND THE CURB. SYMBOLS SHALL BE SAWCUT INTO THE CURB AND PAINTED BLUE.
 5. VALVE SHALL BE WRAPPED IN POLY WRAP.
 6. ALL VALVES NOT LOCATED UNDER PAVING SHALL HAVE CONCRETE PADS.

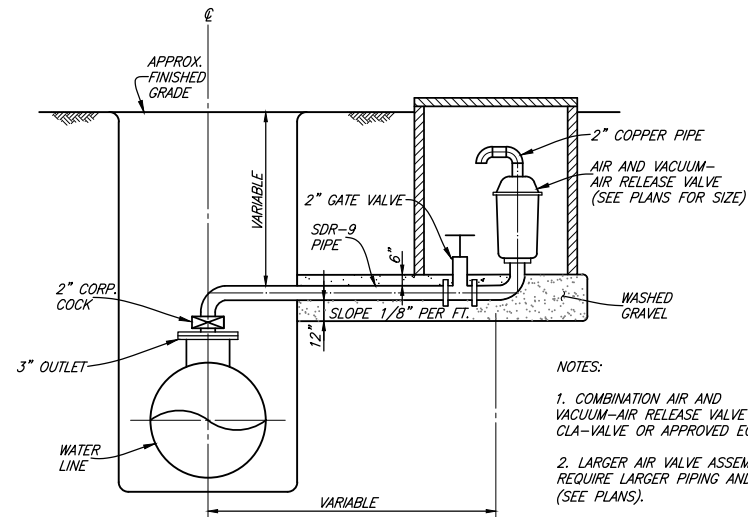
BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
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Dallas, Texas 75243 (214) 361-7900

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TEXAS P.E. NO. 106102
DATE: September 2024

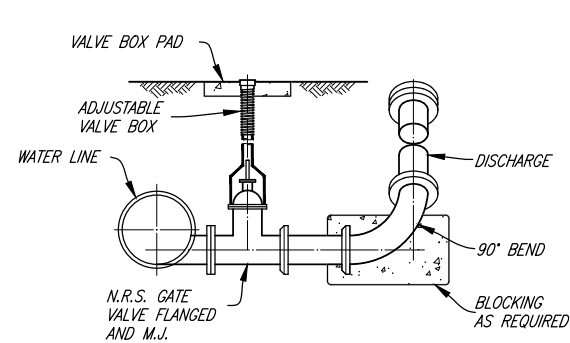
CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
DETAILS

BHC
PROJECT NO.
2024116
September 2024

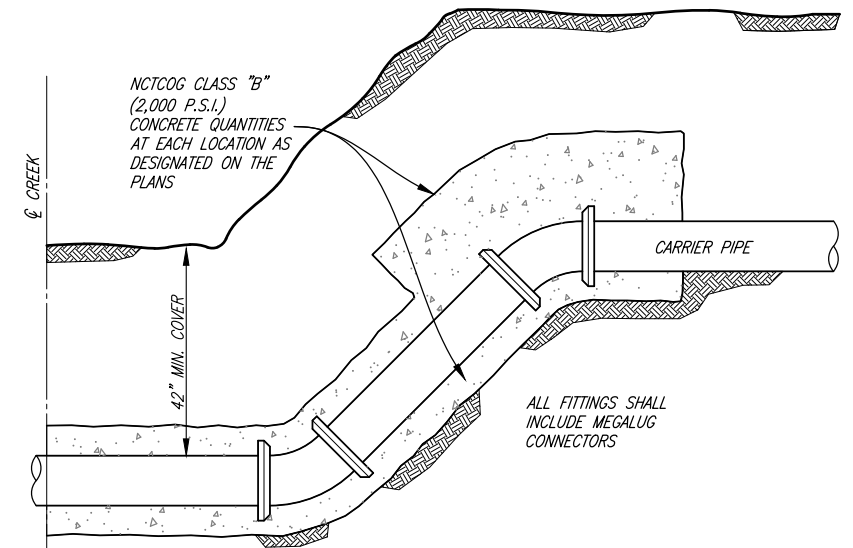
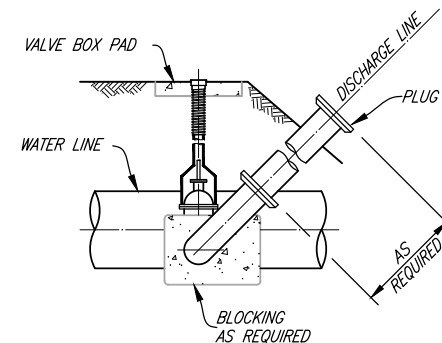
SHEET NO.
39



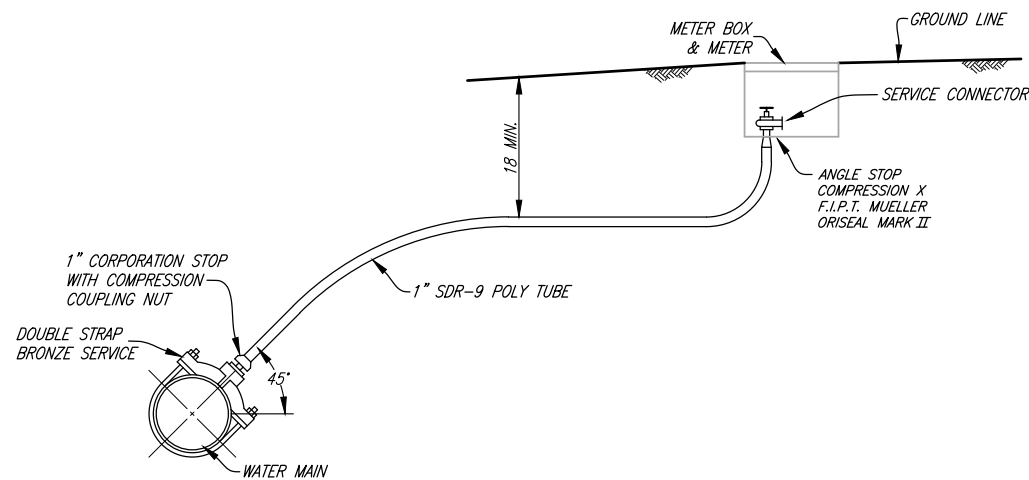
**AIR AND VACUUM – AIR RELEASE
VALVE INSTALLATION**



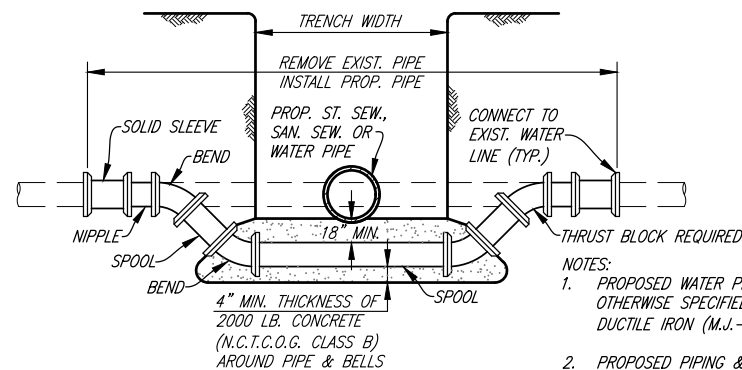
BLOW OFF VALVE
(BLOWOFF_VLV)



**HALF-SECTION
TYPICAL CREEK CROSSING**
NO SCALE



TYPICAL SERVICE CONNECTION WITH METER BOX
NO SCALE



WATER MAIN LOWERING
NO SCALE

- NOTES:
1. PROPOSED WATER PIPE SHALL BE DUCTILE IRON UNLESS OTHERWISE SPECIFIED IN PLANS. ALL FITTINGS SHALL BE DUCTILE IRON (M.J.-P.E.) MEGALUG.
 2. PROPOSED PIPING & FITTINGS ARE SYMMETRIC ABOUT CENTER OF PROP. SAN. SEW. OR ST. SEW. PIPE AND SHALL RETAIN TEST PRESSURES.
 3. ALL THRUST BLOCKING SHALL BE SUBSIDIARY TO UNIT PRICE.
 4. CROSSING OF SANITARY SEWER SHALL BE IN ACCORDANCE WITH T.N.R.C.C. REQUIREMENTS.

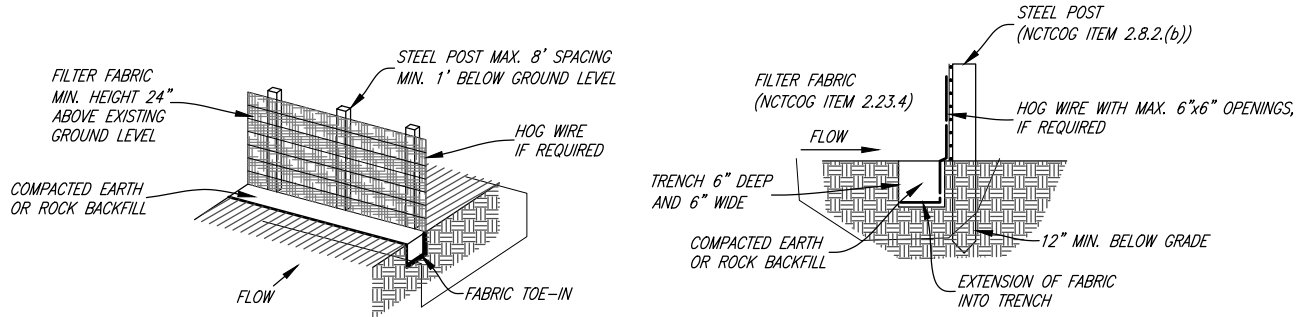
BIRKHOFF, HENDRICKS & CARTER, L.L.P.
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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE
DETAILS

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PROJECT NO.
2024116
September 2024

SHEET NO.
40



ISOMETRIC VIEW

SECTION VIEW

SILT EROSION CONTROL FENCE

TO BE PLACED AROUND STAGING AREA, ALONG CURB LINES, AT BORE PITS AND ALONG OPEN CUT SECTIONS OF PROJECT.

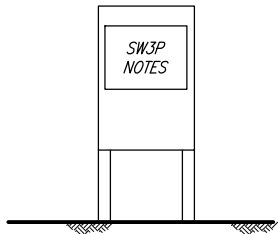
NO SCALE

SILT FENCE NOTES

1. THE CONTRACTOR SHALL INSPECT SILT FENCE WEEKLY AND AFTER MAJOR RAIN EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY.
2. THE CONTRACTOR SHALL REMOVE SEDIMENT FROM BEHIND FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE.
3. THE CONTRACTOR SHALL INSPECT THE BASE OF THE FENCE TO ENSURE THAT NO GAPS HAVE DEVELOPED AND RETRENCH AS NECESSARY.
4. THE CONTRACTOR SHALL INSPECT FENCE POSTS TO ENSURE THAT THEY ARE PROPERLY SUPPORTING THE FENCE. IF NECESSARY, THE CONTRACTOR SHALL RESET AND ADD POSTS.
5. IF FILTER FABRIC IS RIPPED, DAMAGED OR DETERIORATED, THE CONTRACTOR SHALL REPLACE IT IN ACCORDANCE WITH T.C.E.Q. APPROVED SWPPP.

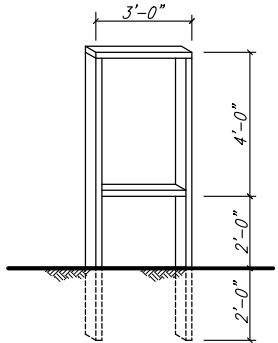
STORM WATER POLLUTION PREVENTION NOTES

1. CONTRACTOR SHALL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY A REGISTERED PROFESSIONAL ENGINEER, TO THE CITY.
2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FURNISH, INSTALL, MAINTAIN AND REMOVE ALL STORM WATER POLLUTION PREVENTION MEASURES IN COMPLIANCE WITH THEIR T.P.D.E.S. PERMIT AND ALL T.C.E.Q. REGULATIONS.



SIGN PANEL 3/4" EXTERIOR PLYWOOD PAINTED LIGHT BLUE
FRAME 2"x4" STOCK FRAME TO BE PAINTED WHITE

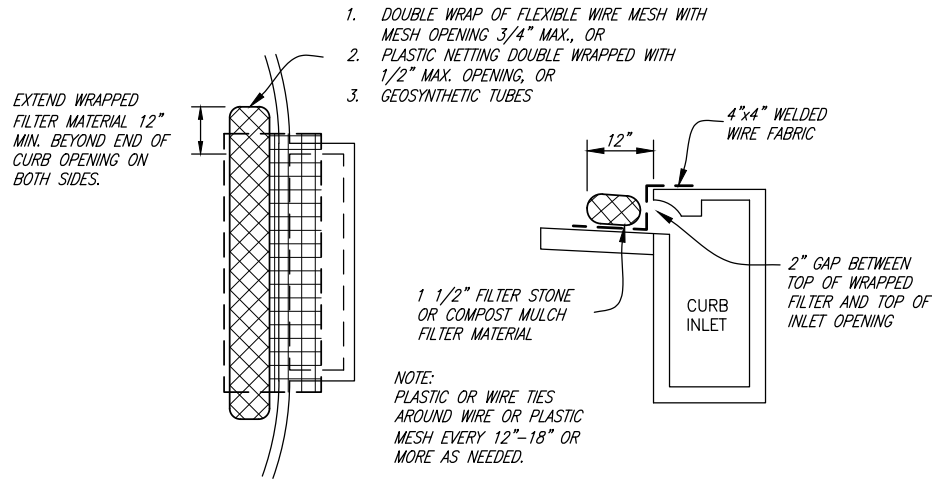
ALL PAINT TO BE "EXTERIOR GRADE"



SIGN FRAME

SW3P SIGN

NO SCALE

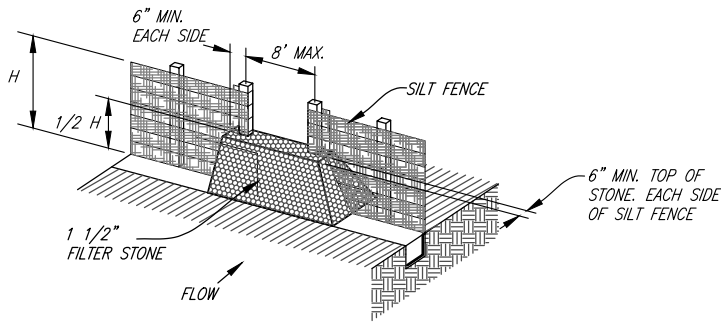


PLAN VIEW

PROFILE VIEW

CURB INLET PROTECTION

NO SCALE



STONE OVERFLOW STRUCTURE

NO SCALE

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DUBLIN ROAD WATERLINE

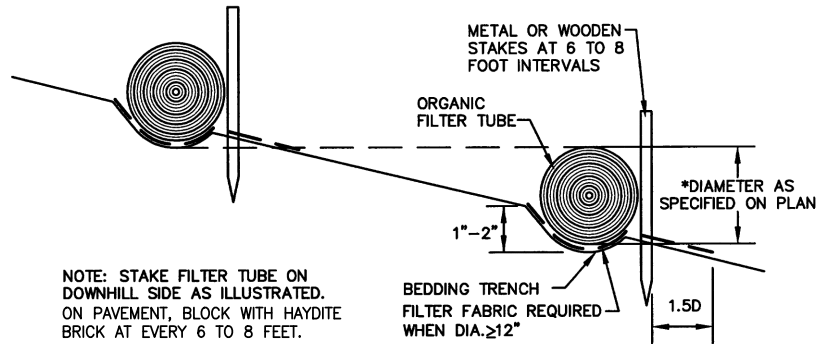
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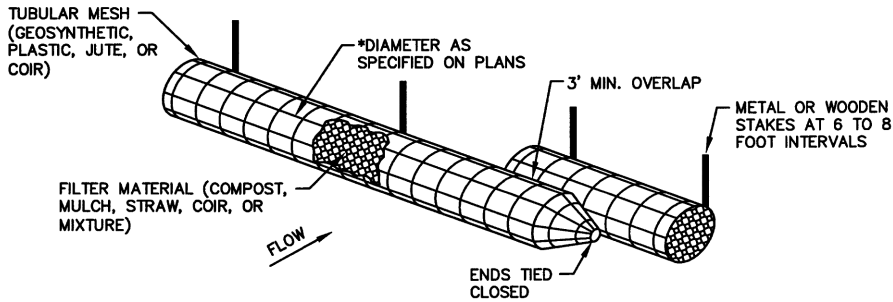
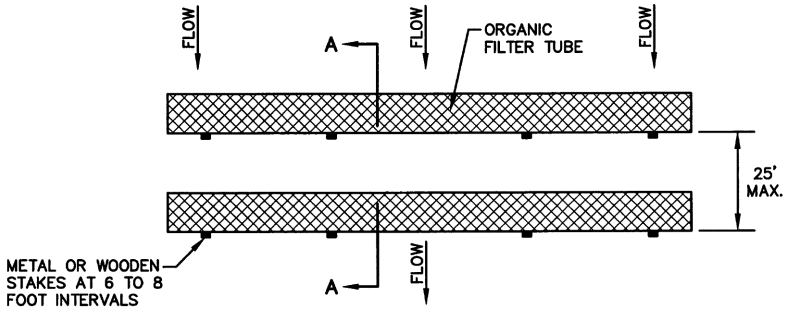
September 2024

SHEET NO.

41



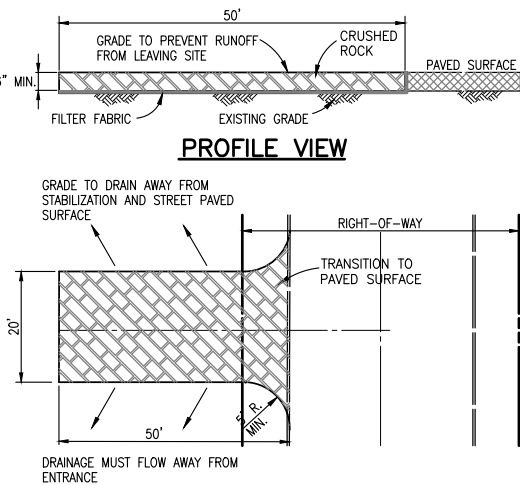
SECTION A-A



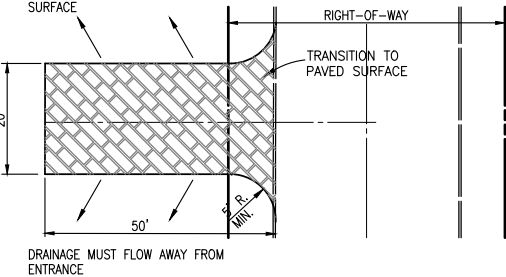
ORGANIC FILTER TUBE DETAIL

NOTES:

1. STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK.
2. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
4. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

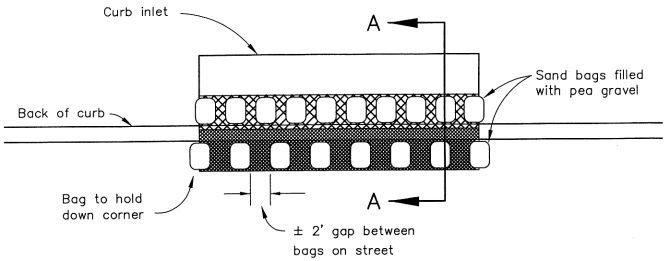


PROFILE VIEW



PLAN VIEW

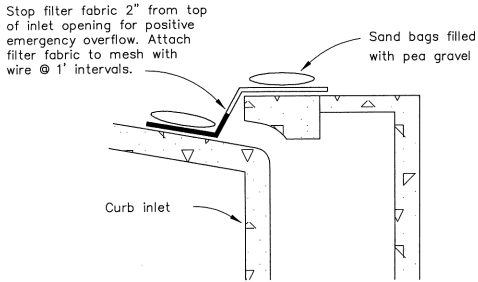
STABILIZED CONSTRUCTION ENTRANCE



INLET EROSION PROTECTION

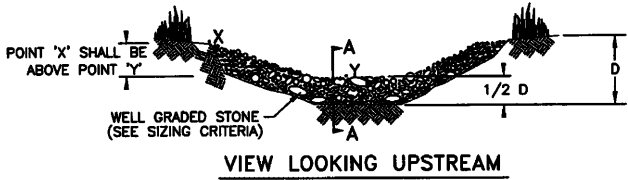
PLAN VIEW

NTS

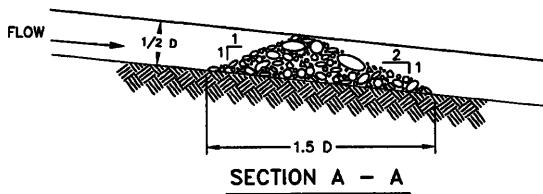


SECTION A-A

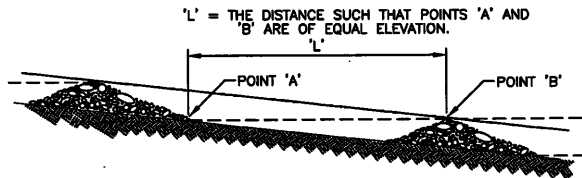
NTS



VIEW LOOKING UPSTREAM

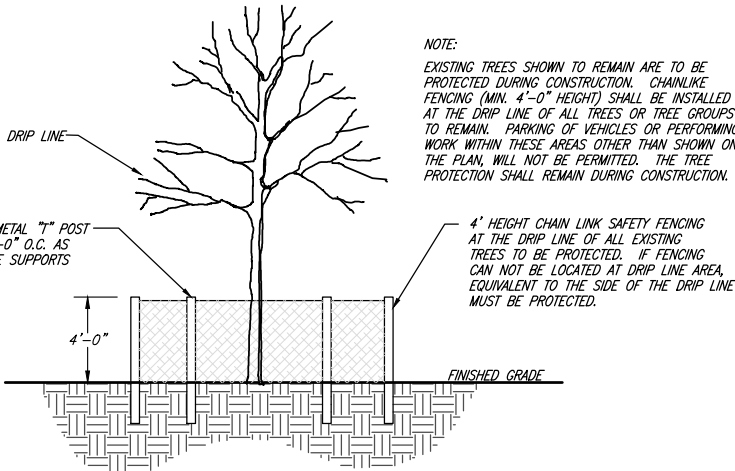


SECTION A - A



SPACING BETWEEN CHECK DAMS

ROCK CHECK DAM



TYPICAL SECTION – TREE PROTECTION

NO SCALE

ROCK CHECK DAM GENERAL NOTES:

1. STONE SHALL BE WELL GRADED WITH SIZE RANGE FROM 1½ TO 3½ INCHES IN DIAMETER DEPENDING ON EXPECTED FLOWS.
2. THE CHECK DAM SHALL BE INSPECTED AS SPECIFIED IN THE SWPPP AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
3. WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE CHECK DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
4. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

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CITY OF PARKER, TEXAS
DUBLIN ROAD WATERLINE

DETAILS

BHC
PROJECT NO.
2024116

September 2024

SHEET NO.

42

BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
Texas Firm F526

Project No. 2024-116

Client: CITY OF PARKER

Date: 15-Aug-24

Project: 8-Inch Dublin Water Line - Segment 1

(South City Limit to Betsy Lane)

By: CMK

ENGINEER'S OPINION OF CONSTRUCTION COST

Item No.	Description	Quantity	Unit	Price	Amount
1	Mobilization , Bonds and Insurance	1	L.S.	\$ 90,000.00	\$ 90,000.00
2	Furnish & Install 8-Inch P.V.C. AWWA C900 DR18 Water Line by Open Cut with Class 'B-1' Embedment and All Fittings	6,183	L.F.	\$ 90.00	\$ 556,470.00
3	Furnish & Install 6-Inch P.V.C. AWWA C900 DR18 Water Line by Open Cut with Class 'B-1' Embedment and All Fittings	219	L.F.	\$ 80.00	\$ 17,520.00
4	Furnish & Install 4-Inch P.V.C. AWWA C900 DR18 Water Line by Open Cut with Class 'B-1' Embedment and All Fittings	157	L.F.	\$ 70.00	\$ 10,990.00
5	Furnish & Install 8-inch Resilient Seated Gate Valve	6	Ea.	\$ 2,750.00	\$ 16,500.00
6	Furnish & Install 6-Inch Resilient Seated Gate Valve	12	Ea.	\$ 2,500.00	\$ 30,000.00
7	Furnish & Install 4-Inch Resilient Seated Gate Valve	1	Ea.	\$ 2,200.00	\$ 2,200.00
8	Cut, Plug & Abandon Exst. Water Line	5	Ea.	\$ 1,000.00	\$ 5,000.00
9	Connect to Existing 6-Inch Water Line	3	Ea.	\$ 4,500.00	\$ 13,500.00
10	Connect to Existing 8-Inch Water Line	2	Ea.	\$ 4,500.00	\$ 9,000.00
11	Furnish & Install Standard Fire Hydrant Assembly	12	Ea.	\$ 6,000.00	\$ 72,000.00
12	Remove & Salvage of Existing Fire Hydrant, including Valve and Piping	11	Ea.	\$ 1,200.00	\$ 13,200.00
13	Transfer water service	40	Ea.	\$ 1,250.00	\$ 50,000.00
14	Furnish & Install 2-inch Service Line (DR9)	68	L.F.	\$ 60.00	\$ 4,080.00
15	Remove & Replace Concrete Pavement, including Sawcut	7	S.Y.	\$ 250.00	\$ 1,625.00
16	Remove Asphalt Pavement, including Sawcut	7,536	S.Y.	\$ 30.00	\$ 226,080.00
17	Removal & Replace Gravel Driveway	68	S.Y.	\$ 40.00	\$ 2,700.00
18	Furnish & Lay Asphalt Pavement including Base	7,536	S.Y.	\$ 70.00	\$ 527,520.00
19	Furnish Trench Safety System Plan	1	L.S.	\$ 2,500.00	\$ 2,500.00
20	Trench Safety System Implementation	6,152	L.F.	\$ 1.00	\$ 6,152.00
21	Furnish & Establish Hydromulch	6,836	S.Y.	\$ 1.50	\$ 10,253.33
22	Furnish Erosion Control Plan	1	L.S.	\$ 2,500.00	\$ 2,500.00
23	Furnish, Install, Maintain & Remove Erosion Control Devices	1	L.S.	\$ 5,000.00	\$ 5,000.00
24	Furnish Traffic Control Plan	1	L.S.	\$ 2,500.00	\$ 2,500.00
25	Furnish, Install, Maintain & Remove Traffic Control Devices	1	L.S.	\$ 12,000.00	\$ 12,000.00
	Subtotal:				\$ 1,689,290.33
	Contingencies and Miscellaneous Items	5%			\$ 84,464.52
	Total:				\$ 1,773,754.85
				USE:	\$ 1,774,000.00

BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
Texas Firm F526

Project No. 2024-116

Client: CITY OF PARKER
 Project: 8-Inch Dublin Water Line - Segment 2
 (Betsy to Parker Road)

Date: 15-Aug-24
 By: CMK

ENGINEER'S OPINION OF CONSTRUCTION COST

Item No.	Description	Quantity	Unit	Price	Amount
1	Mobilization , Bonds and Insurance	1	L.S.	\$ 75,000.00	\$ 75,000.00
2	Furnish & Install 8-Inch P.V.C. AWWA C900 DR18 Water Line by Open Cut with Class 'B-1' Embedment and All Fittings	5,918	L.F.	\$ 90.00	\$ 532,656.00
3	Furnish & Install 6-Inch P.V.C. AWWA C900 DR18 Water Line by Open Cut with Class 'B-1' Embedment and All Fittings	177	L.F.	\$ 80.00	\$ 14,160.00
4	Furnish & Install 8-Inch Resilient Seated Gate Valve	13	Ea.	\$ 2,750.00	\$ 35,750.00
5	Furnish & Install 6-Inch Resilient Seated Gate Valve	12	Ea.	\$ 2,500.00	\$ 30,000.00
6	Cut, Plug & Abandon Existing Water Line, including valve	5	Ea.	\$ 1,000.00	\$ 5,000.00
7	Connect to Existing 4-Inch Water Line	1	Ea.	\$ 4,500.00	\$ 4,500.00
8	Connect to Existing 6-Inch Water Line	1	Ea.	\$ 4,500.00	\$ 4,500.00
9	Connect to Existing 8-Inch Water Line	3	Ea.	\$ 4,500.00	\$ 13,500.00
10	Furnish & Install Standard Fire Hydrant Assembly	12	Ea.	\$ 6,000.00	\$ 72,000.00
11	Remove & Salvage Existing Fire Hydrant, including Valve and Piping	5	Ea.	\$ 1,200.00	\$ 6,000.00
12	Transfer Water Service	26	Ea.	\$ 1,250.00	\$ 32,500.00
13	Remove Asphalt Pavement, including Sawcut	6,930	S.Y.	\$ 30.00	\$ 207,900.00
14	Furnish & Lay Asphalt Pavement including Base	6,930	S.Y.	\$ 70.00	\$ 485,100.00
15	Remove & Replace Concrete Driveway	112	S.Y.	\$ 150.00	\$ 16,800.00
16	Remove & Replace Gravel Driveway	40	S.Y.	\$ 40.00	\$ 1,600.00
17	Furnish Trench Safety System Plan	1	L.S.	\$ 2,500.00	\$ 2,500.00
18	Trench Safety System Implementation	5,922	L.F.	\$ 1.00	\$ 5,922.40
19	Furnish & Establish Hydromulch	6,580	S.Y.	\$ 1.50	\$ 9,870.67
20	Furnish Erosion Control Plan	1	L.S.	\$ 2,500.00	\$ 2,500.00
21	Furnish, Install, Maintain & Remove Erosion Control Devices	1	L.S.	\$ 5,000.00	\$ 5,000.00
22	Furnish Traffic Control Plan	1	L.S.	\$ 2,500.00	\$ 2,500.00
23	Furnish, Install, Maintain & Remove Traffic Control Devices	1	L.S.	\$ 7,500.00	\$ 7,500.00
	Subtotal:				\$ 1,572,759.07
	Contingencies and Miscellaneous Items	5%			\$ 78,637.95
	Total:				\$ 1,651,397.02
				USE:	\$ 1,652,000.00

BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS
Texas Firm F526

Project No. 2024-116

Client: CITY OF PARKER

Date: 15-Aug-24

Project: 8-Inch Connector Line - Segment 3

(Dublin to Bluffs)

By: CMK

ENGINEER'S OPINION OF CONSTRUCTION COST

Item No.	Description	Quantity	Unit	Price	Amount
1	Mobilization , Bonds and Insurance	1	L.S.	\$ 17,500.00	\$ 17,500.00
2	Furnish & Install 8-Inch P.V.C. AWWA C900 DR18 Water Line by Open Cut with Class 'B-1' Embedment and All Fittings	2,071	L.F.	\$ 90.00	\$ 186,390.00
3	Furnish & Install 8-Inch P.V.C. AWWA C900 DR18 Water Line Other Than by Open Cut with fittings	320	L.F.	\$ 300.00	\$ 96,000.00
4	Furnish & Install 8-Inch P.V.C. AWWA C900 DR18 Water Line Other Than by Open Cut with steel encasement and fittings	20	L.F.	\$ 400.00	\$ 8,000.00
5	Furnish & Install 6-Inch P.V.C. AWWA C900 DR18 Water Line by Open Cut with Class 'B-1' Embedment and All Fittings	6	L.F.	\$ 80.00	\$ 480.00
6	Furnish & Install 8-Inch Resilient Seated Gate Valve	3	Ea.	\$ 2,750.00	\$ 8,250.00
7	Furnish & Install 6-Inch Resilient Seated Gate Valve	1	Ea.	\$ 2,500.00	\$ 2,500.00
8	Connect to Existing 8-Inch Water Line	2	Ea.	\$ 4,500.00	\$ 9,000.00
9	Furnish & Install Standard Fire Hydrant Assembly	1	Ea.	\$ 6,000.00	\$ 6,000.00
10	Furnish & Install 2-Inch Service Line	364	L.F.	\$ 40.00	\$ 14,560.00
11	Remove & Replace Concrete Pavement, including Sawcut	8	S.Y.	\$ 150.00	\$ 1,200.00
12	Transfer Water Service	0	Ea.	\$ 1,250.00	\$ -
13	Furnish Trench Safety System Plan	1	L.S.	\$ 2,500.00	\$ 2,500.00
14	Trench Safety System Implementation	2,071	L.F.	\$ 1.00	\$ 2,071.00
15	Furnish & Establish Hydromulch	2,301	S.Y.	\$ 1.50	\$ 3,451.67
16	Furnish Erosion Control Plan	1	L.S.	\$ 1,500.00	\$ 1,500.00
17	Furnish, Install, Maintain & Remove Erosion Control Devices	1	L.S.	\$ 2,000.00	\$ 2,000.00
18	Furnish Traffic Control Plan	1	L.S.	\$ 1,500.00	\$ 1,500.00
19	Furnish, Install, Maintain & Remove Traffic Control Devices	1	L.S.	\$ 1,500.00	\$ 1,500.00
	Subtotal:				\$ 364,402.67
	Contingencies and Miscellaneous Items	5%			\$ 18,220.13
	Total:				\$ 382,622.80
				USE:	\$ 383,000.00

CITY OF PARKER, TEXAS**DUBLIN WATER LINE****NOTICE TO BIDDERS**

Sealed bids will be received in the office of the Director of Public Works of the City of Parker, 5700 E. Parker Road, Parker, Texas 75002 until **3:00 p.m., Thursday, October 3, 2024**, then publicly opened and read for furnishing all necessary materials, machinery, equipment, superintendence, and labor for Dublin Water Line. The project includes approximately 14,350 linear feet of 8" waterline, valves, and fire hydrants along with all necessary appurtenances.

The successful bidder must furnish Performance Bond and Payment Bond in the amount of one hundred percent (100%) of the total contract price from a Surety Company holding a permit from the State of Texas to act as Surety. Should the total contract price be less than \$25,000.00, no performance bond or payment bond will be required.

All lump sum and unit prices must be stated in both script and figures on the forms provided. The City of Parker reserves the right to reject any or all bids and to waive formalities. In case of ambiguity or lack of clearness in stating prices in the bids, the City of Parker reserves the right to consider the most advantageous construction thereof, or to reject the bid. Unreasonable (or "unbalanced") unit prices will authorize the City of Parker to reject any bid.

Bidders are expected to inspect the site of work and to inform themselves regarding all local conditions.

Bidders are required to submit a cashier's or certified check issued by a bank satisfactory to the City of Parker, or a Bid Bond (with proper Power of Attorney) from a surety licensed to do business in the State of Texas, payable without recourse to the City of Parker, in an amount not less than five (5%) percent of the total amount of the proposal submitted to insure that the successful bidder will enter into a contract and execute all necessary bonds within ten (10) days after notice of award of the contract to him. **This bid security must be included in the bid envelope for the bidder to be considered responsive.** The successful bidder will be required to furnish Performance, Payment and Maintenance Bonds as described in the bidding documents.

Plans and specifications will be electronically posted on Civcast. Plans purchased from Plan Rooms or third-party websites shall be at the Bidder's sole risk. No guarantee of receipt of Addenda, as clarifications will be made for third-party downloads. Plans and specifications may also be examined, without charge, or purchased at the office of the City Engineer; Birkhoff, Hendricks & Carter, L.L.P. located at 11910 Greenville Ave., Suite 600, Dallas, Texas 75243.

Advertisement Dates: Thursday, September 19, 2024

Thursday, September 26, 2024



Council Agenda Item

Budget Account Code:	Meeting Date:	See above.
Budgeted Amount:	Department/ Requestor:	Administration
Fund Balance-before expenditure:	Prepared by:	ACA/CS Scott Grey for Interim City Attorney Clifton
Estimated Cost:	Date Prepared:	September 9, 2024
Exhibits:	1. Proposed Resolution 2. Copy of Sections 97.11 and 97.14 of the Code of Ordinances	

AGENDA SUBJECT

CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON RESOLUTION NO. 2024-811 REGARDING THE SUSPENSION OF SELECT PARK RULES PURSUANT TO PARKER CODE OF ORDINANCE SECTIONS 97.11 AND 97.14 FOR PARKERFEST 2024 ON SUNDAY, OCTOBER 20, 2024, FROM 12:00 P.M. TO 8:00 P.M. UPON SATISFYING CERTAIN CONDITIONS.

SUMMARY

The Parks and Recreation Commission has requested suspension of certain Code of Ordinance provisions for Parkerfest. Specifically, the Commission proposes suspending Parker Code of Ordinances Sections 97.11(A)(1), (10), (11), (19), (22), and (24) Parkerfest 2024, subject to certain conditions.

Parkerfest 2024 is set to be held in The Preserve on Sunday, October 20, 2024, from 3:00 p.m. to 6:00 p.m. Games, activities, food, drink, live music, exhibitions, and vendors are expected to be part of the event.

Subsection (B) of 97.11 allows the City to approve the waiver of Park Rules for good cause. Further, Section 97.14 states that City sponsored events or use of park facilities may be exempt from the Park Rules as reasonably necessary for the operation of the event.

The proposed resolution would waive the six rules itemized above and a limited portion of Section 97.11(A)(15) as described with particularity between the hours of 12:00 p.m. and 8:00 p.m. for the set-up, operation, and clean-up of Parkerfest 2024.

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		

Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/13/2024
Mayor:	<i>Lee Pettie</i>	Date:	09/XX/2024

RESOLUTION NO. 2024-811
(Park Rules Suspension for Parkerfest 2024)

A RESOLUTION SUSPENDING CERTAIN PARK RULES APPLICABLE TO THE PRESERVE, A CITY PARK, PURSUANT TO SECTIONS 97.11 AND 97.14 OF THE PARKER CODE OF ORDINANCES FOR PARKERFEST 2024 ON SUNDAY, OCTOBER 20, 2024, FROM 12:00 P.M. TO 8:00 P.M., UPON SATISFYING CERTAIN CONDITIONS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Parker, Texas (the City) through the Parks and Recreation Commission (“P&R”) will host the Parkerfest 2024 event on Sunday, October 20, 2024, as a community event (“Parkerfest”); and

WHEREAS, P&R has requested that they be allowed to have vendors at the event to sell food, drink, confections, merchandise, and/or services at Parkerfest; and

WHEREAS, P&R has also requested that a live band be allowed to play amplified music at the event; and

WHEREAS, P&R has requested that a vendor be able to perform an equestrian archery presentation within defined parameters; and

WHEREAS, a sponsor and/or vendor has requested the presentation of airsoft air guns; and

WHEREAS, Section 97.11(A) of the Parker Code of Ordinances states, in part, that the following activities are unlawful in the limits of a City park:

“... (1) No motorized vehicles, except for wheelchairs for the disabled, are allowed in any park, trail, or sidewalk, except within designated parking areas...

...(10) To distribute, post, place, or erect any advertising, handbill, circular, bill, notice, paper, or other advertising device...

...(11) To sell or offer for sale any food, drinks, confections, merchandise, or services...

(15) Discharge...”**air guns, bow and arrows”... Suspension of this number 15 will be limited to airsoft air guns and bow and arrows for registered vendor(s) or sponsors only.**

... (19) To park or operate any truck-tractor, trailer, semitrailer, pole-trailer in a park facility parking lot at any time...

... (22) To advertise, solicit, and/or conduct a business in the park in any manner that either creates a disturbance to other park guests, or displaces other park guests in the park, or involved more than 2 representatives of the business, or which occurs for more than 1 hour in any 3-day period...[and]

...(24) To use or operate mechanical or amplified music, sound or voice.” ; and

WHEREAS, pursuant to Section 97.11(B) of the Parker Code of Ordinances, the City may approve in advance the waiver of park rules for good cause; and

WHEREAS, Section 97.14 of the Parker Code of Ordinances states that “City sponsored events or use of park facilities may be exempt from all or a portion of the provisions of § 97.11 as is reasonably necessary for operation of the event”; and

WHEREAS, the City Council deems it in the public interest and that good cause has been shown to waive the six rules specified above for and during Parkerfest on Sunday, October 20, 2024, so long as certain conditions are met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARKER, COLLIN COUNTY, TEXAS:

Section 1. The findings set forth in the preamble of this Resolution are incorporated by reference into the body of this Resolution as if fully set forth herein.

Section 2. Subject to the following conditions, Sections 97.11(A)(1), (10), (11), (19), (22), and (24), and very limited and specific portions of 97.11(A)(15) which is **“air guns, bow and arrows”** (suspension of this number 15 will be limited to airsoft air guns and bow and arrows for registered vendor(s) or sponsors only) are hereby waived for Parkerfest 2024, on Sunday, October 20, 2024, from 12:00 p.m. to 8:00 p.m., to be held at the Preserve, located at 5700 E. Parker Road, Parker, Texas 75002:

1. The Parks & Recreation Commission shall be responsible for rental of any booth or space necessary by vendors.
2. Vendors at the event shall abide by all laws, resolutions, rules, and regulations, and shall be responsible to obtain any temporary license(s) and permit(s) necessary for the selling of their respective items, including but not limited to, alcoholic beverages.
3. Any vendor must agree to indemnify the City of Parker against any liability incident to the selling of their respective products at Parkerfest 2024.

Section 3. This Resolution shall be effective upon passage and approval.

DULY RESOLVED BY THE CITY COUNCIL OF PARKER, COLLIN COUNTY, TEXAS, THIS 17TH DAY OF SEPTEMBER 2024.

Lee Pettle, Mayor

ATTEST:

APPROVED AS TO LEGAL FORM:

Patti Scott Grey, City Secretary

Catherine Clifton, Interim City Attorney

§ 97.11 UNLAWFUL ACTS.

(A) Within the limits of any city park, or designated city open space, it shall be unlawful for any person to do any of the acts hereinafter specified, except as may be otherwise provided:

(1) No motorized vehicles, except for wheelchairs for the disabled, are allowed in any park, trail, or sidewalk, except within designated parking areas.

(2) To damage, move, alter, cut, break, injure, deface, or disturb any tree, shrub, plant, rock, building, cage, pen, monument, fence, bench, equipment, or other structure, apparatus or property, or to pluck, pull up, cut, take, or remove any shrub, bush, plant or flower, or to mark or write upon, paint, or deface in any manner, any building, monument, fence, bench, equipment or other structure;

(3) To cut or remove any wood, turf, grass, soil, rock, sand, gravel, or fertilizer;

(4) To make or kindle a fire except in picnic stoves, braziers, fire pits, or designated areas provided for that purpose;

(5) To place, abandon, or leave garbage, cans, bottles, papers, or other refuse in any park except in proper waste receptacles;

(6) To participate or engage in any activity in any park area when such activity will create a danger to the public or may be considered a public nuisance;

(7) To camp overnight, without written permission of the City Administrator or Mayor;

(8) To possess or consume any alcoholic beverage;

(9) To disturb in any manner any picnic, meeting, service, concert, exercise, or exhibition;

(10) To distribute, post, place, or erect any advertising, handbill, circular, bill, notice, paper, or other advertising device;

(11) To sell or offer for sale any food, drinks, confections, merchandise, or services.

(12) To place or dump any trash, refuse, solid waste, grass clippings, leaves, or other objectionable or unsightly matter in any park; and/or

(13) To conduct or participate in any tournament, camp, or organized sporting activity which has not been specifically authorized by the City Administrator or Mayor or which conflicts with a scheduled activity or event authorized by the City Administrator or Mayor.

(14) To carry a firearm, except those persons who are peace officers or are duly licensed by the State of Texas to carry a concealed handgun in accordance with the provisions of the Texas Concealed Handgun License Laws, as amended.

(15) To discharge firearms, fireworks, BB guns, air guns, bow and arrow, sling shots, blow guns, rockets, or paint ball guns.

(16) To swim, bathe, wade in or pollute the water of any fountain, pond, lake or stream.

(17) To remain, stay or loiter in the area of the park between the hours of 11:00 p.m. and 5:00 a.m. inclusive, every day of the week.

(18) To enter into/onto the wooden structure in the Preserve known as the “Barn,” including its loft, stairs, roof; and/or all other structures or areas as restricted by signage.

(19) To park or operate any truck-tractor, trailer, semitrailer, pole-trailer in a park facility parking lot at any time.

(20) For the owner or person with possession or custody of a domestic animal to allow the animal to defecate in the park without immediate removal and disposal of such feces in proper waste receptacles.

(21) To discard, abandon, litter, or break any glass container. No glass beverage containers are permitted in the park.

(22) To advertise, solicit, and/or conduct a business in the park in any manner that either creates a disturbance to other park guests, or displaces other park guests in the park, or involves more than 2 representatives of the business, or which occurs for more than 1 hour in any 3-day period.

(23) To use or operate any gas operated remote controlled airplanes; boat, car, drone or other motorized, model device, including radio-controlled devices such as helicopters; parasail, hang glider or hot air balloons, in any manner that either creates a disturbance to other park guests, or displaces other park guests in the park.

(24) To use or operate mechanical or amplified music, sound or voice.

(B) One or more of the rules above may be waived for good cause, in advance, by the city, upon written request by an applicant.

(Ord. 608, passed 2-27-2007; Am. Ord. 722, passed 1-20-2015) Penalty, see § [97.99](#)

§ 97.14 CITY-SPONSORED EVENTS.

City sponsored events or use of park facilities may be exempt from all or a portion of the provisions of § [97.11](#) as is reasonably necessary for operation of event.

(Ord. 608, passed 2-27-2007; Am. Ord. 722, passed 1-20-2015)

RESOLUTION NO. 2023-761
(Park Rules Suspension for Parkerfest 2023)

A RESOLUTION SUSPENDING CERTAIN PARK RULES APPLICABLE TO THE PRESERVE, A CITY PARK, PURSUANT TO SECTIONS 97.11 AND 97.14 OF THE PARKER CODE OF ORDINANCES FOR PARKERFEST 2023 ON SUNDAY, OCTOBER 29, 2023, FROM 12:00 P.M. TO 8:00 P.M., UPON SATISFYING CERTAIN CONDITIONS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Parker, Texas (the City) through the Parks and Recreation Commission ("P&R") will host the Parkerfest 2023 event on Sunday, October 29, 2023, as a community event ("Parkerfest"); and

WHEREAS, P&R has requested that they be allowed to have vendors at the event to sell food, drink, confections, merchandise, and/or services at Parkerfest; and

WHEREAS, P&R has also requested that a live band be allowed to play amplified music at the event; and

WHEREAS, Section 97.11(A) of the Parker Code of Ordinances states, in part, that the following activities are unlawful in the limits of a City park:

"... (1) No motorized vehicles, except for wheelchairs for the disabled, are allowed in any park, trail, or sidewalk, except within designated parking areas...

...(10) To distribute, post, place, or erect any advertising, handbill, circular, bill, notice, paper, or other advertising device...

...(11) To sell or offer for sale any food, drinks, confections, merchandise, or services...

... (19) To park or operate any truck-tractor, trailer, semitrailer, pole-trailer in a park facility parking lot at any time...

... (22) To advertise, solicit, and/or conduct a business in the park in any manner that either creates a disturbance to other park guests, or displaces other park guests in the park, or involved more than 2 representatives of the business, or which occurs for more than 1 hour in any 3-day period...

(23) To use or operate any gas operated remote controlled airplanes; boat, car, drone or other motorized, model device, including radio-controlled devices such as helicopters; parasail, hang glider or hot air balloons, ... [and]

(24) To use or operate mechanical or amplified music, sound or voice."

WHEREAS, pursuant to Section 97.11(B) of the Parker Code of Ordinances, the City may approve in advance the waiver of park rules for good cause; and

WHEREAS, Section 97.14 of the Parker Code of Ordinances states that "City sponsored events or use of park facilities may be exempt from all or a portion of the provisions of § 97.11 as is reasonably necessary for operation of the event"; and

WHEREAS, the City Council deems it in the public interest and that good cause has been shown to waive the seven rules specified above for and during Parkerfest on Sunday, October 29, 2023, so long as certain conditions are met.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PARKER, COLLIN COUNTY, TEXAS:

Section 1. The findings set forth in the preamble of this Resolution are incorporated by reference into the body of this Resolution as if fully set forth herein.

Section 2. Subject to the following conditions, Sections 97.11(A)(1), (10), (11), (19), (22), (23) and (24) are hereby waived for Parkerfest 2023, on Sunday, October 29, 2023, from 12:00 p.m. to 8:00 p.m., to be held at the Preserve, located at 5700 E. Parker Road, Parker, Texas 75002:

1. The Parks & Recreation Commission shall be responsible for rental of any booth or space necessary by vendors.
2. Vendors at the event shall abide by all laws, resolutions, rules, and regulations, and shall be responsible to obtain any temporary license(s) and permit(s) necessary for the selling of their respective items, including but not limited to, alcoholic beverages.
3. Any vendor must agree to indemnify the City of Parker against any liability incident to the selling of their respective products at Parkerfest 2023.


Section 3. This Resolution shall be effective upon passage and approval.

DULY RESOLVED BY THE CITY COUNCIL OF PARKER, COLLIN COUNTY, TEXAS, THIS 19TH DAY OF SEPTEMBER 2023.



ATTEST:


Patti Scott Grey, City Secretary


Lee Pettie, Mayor

APPROVED AS TO LEGAL FORM:


Amy J. Stanphill, City Attorney

§ 97.11 UNLAWFUL ACTS.

(A) Within the limits of any city park, or designated city open space, it shall be unlawful for any person to do any of the acts hereinafter specified, except as may be otherwise provided:

(1) No motorized vehicles, except for wheelchairs for the disabled, are allowed in any park, trail, or sidewalk, except within designated parking areas.

(2) To damage, move, alter, cut, break, injure, deface, or disturb any tree, shrub, plant, rock, building, cage, pen, monument, fence, bench, equipment, or other structure, apparatus or property, or to pluck, pull up, cut, take, or remove any shrub, bush, plant or flower, or to mark or write upon, paint, or deface in any manner, any building, monument, fence, bench, equipment or other structure;

(3) To cut or remove any wood, turf, grass, soil, rock, sand, gravel, or fertilizer;

(4) To make or kindle a fire except in picnic stoves, braziers, fire pits, or designated areas provided for that purpose;

(5) To place, abandon, or leave garbage, cans, bottles, papers, or other refuse in any park except in proper waste receptacles;

(6) To participate or engage in any activity in any park area when such activity will create a danger to the public or may be considered a public nuisance;

(7) To camp overnight, without written permission of the City Administrator or Mayor;

(8) To possess or consume any alcoholic beverage;

(9) To disturb in any manner any picnic, meeting, service, concert, exercise, or exhibition;

(10) To distribute, post, place, or erect any advertising, handbill, circular, bill, notice, paper, or other advertising device;

(11) To sell or offer for sale any food, drinks, confections, merchandise, or services.

(12) To place or dump any trash, refuse, solid waste, grass clippings, leaves, or other objectionable or unsightly matter in any park; and/or

(13) To conduct or participate in any tournament, camp, or organized sporting activity which has not been specifically authorized by the City Administrator or Mayor or which conflicts with a scheduled activity or event authorized by the City Administrator or Mayor.

(14) To carry a firearm, except those persons who are peace officers or are duly licensed by the State of Texas to carry a concealed handgun in accordance with the provisions of the Texas Concealed Handgun License Laws, as amended.

(15) To discharge firearms, fireworks, BB guns, air guns, bow and arrow, sling shots, blow guns, rockets, or paint ball guns.

(16) To swim, bathe, wade in or pollute the water of any fountain, pond, lake or stream.

(17) To remain, stay or loiter in the area of the park between the hours of 11:00 p.m. and 5:00 a.m. inclusive, every day of the week.

(18) To enter into/onto the wooden structure in the Preserve known as the "Barn," including its loft, stairs, roof; and/or all other structures or areas as restricted by signage.

(19) To park or operate any truck-tractor, trailer, semitrailer, pole-trailer in a park facility parking lot at any time.

(20) For the owner or person with possession or custody of a domestic animal to allow the animal to defecate in the park without immediate removal and disposal of such feces in proper waste receptacles.

(21) To discard, abandon, litter, or break any glass container. No glass beverage containers are permitted in the park.

(22) To advertise, solicit, and/or conduct a business in the park in any manner that either creates a disturbance to other park guests, or displaces other park guests in the park, or involves more than 2 representatives of the business, or which occurs for more than 1 hour in any 3-day period.

(23) To use or operate any gas operated remote controlled airplanes; boat, car, drone or other motorized, model device, including radio-controlled devices such as helicopters; parasail, hang glider or hot air balloons, in any manner that either creates a disturbance to other park guests, or displaces other park guests in the park.

(24) To use or operate mechanical or amplified music, sound or voice.

(B) One or more of the rules above may be waived for good cause, in advance, by the city, upon written request by an applicant.

(Ord. 608, passed 2-27-2007; Am. Ord. 722, passed 1-20-2015) Penalty, see § [97.99](#)

§ 97.14 CITY-SPONSORED EVENTS.

City sponsored events or use of park facilities may be exempt from all or a portion of the provisions of § [97.11](#) as is reasonably necessary for operation of event.

(Ord. 608, passed 2-27-2007; Am. Ord. 722, passed 1-20-2015)



Council Agenda Item

Budget Account Code:	Meeting Date:	See above.
Budgeted Amount:	Department/ Requestor:	Council
Fund Balance-before expenditure:	Prepared by:	City Secretary Scott Grey for Mayor Pettie
Estimated Cost:	Date Prepared:	September 9, 2024
Exhibits:	<u>None</u>	

AGENDA SUBJECT

UPDATE(S):

FM2551

COMP PLAN

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ)

PROJECTS IN PROGRESS

ENGINEERING CONTRACTS

MONTHLY/QUARTERLY REPORTS

[August 2024 - Building Permit/Code Report](#)

[August 2024 – Court Report](#)

[August 2024 – Finance \(monthly financials\) Report](#)

[Fire 2nd Qtr. Report 2024](#)

[July/August 2024 – Police Report](#)

[August 2024 – Republic Services Inc., dba Allied Waste Services of Plano](#)

SUMMARY

Please review information provided.

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use

Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/xx/2024 via Municode
Mayor:	<i>Lee Pettie</i>	Date:	09/xx/2024



Council Agenda Item

Budget Account Code:	Meeting Date:	See above.
Budgeted Amount:	Department/ Requestor:	City Council
Fund Balance-before expenditure:	Prepared by:	City Secretary Scott Grey for City Administrator Olson
Estimated Cost:	Date Prepared:	September 9, 2024
Exhibits:	<u>None</u>	

AGENDA SUBJECT

ACCEPTANCE OF DONATION(S) FOR POLICE, FIRE, AND CITY STAFF FOR THE RECORD (Each valued at between \$0 - \$1,000 [RES. NO. 2024-801])

Tory and Melissa Tierce donated cookies valued at \$20 to the Police Department.

Patricia Mejia, President & CEO, Children's Advocacy Center for Rockwall County, donated a basket of flavored popcorn valued at \$30 to City Staff.

Dan Terrill & family donated popcorn valued at \$40 to the Police Department.

SUMMARY

Please review information provided.

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/xx/2024 via Municode
Mayor:	<i>Lee Pettie</i>	Date:	09/xx/2024



Council Agenda Item

Budget Account Code:	Meeting Date: See above.
Budgeted Amount:	Department/ Requestor: City Council
Fund Balance-before expenditure:	Prepared by: ACA/CS Scott Grey
Estimated Cost:	Date Prepared: September 9, 2024
Exhibits:	Future Agenda Items

AGENDA SUBJECT

FUTURE AGENDA ITEMS

SUMMARY

Please review information provided.

POSSIBLE ACTION

City Council may direct staff to take appropriate action.

Inter – Office Use			
Approved by:	Enter Text Here		
Department Head/ Requestor:	<i>Patti Scott Grey</i>	Date:	09/12/2024
Interim City Attorney:	<i>Catherine Clifton</i>	Date:	09/12 /2024 via Municode
Mayor:	<i>Lee Pettie</i>	Date:	09/xx/2024

FUTURE AGENDA ITEMS

	ITEM DESCRIPTION	CONTACT	Notes - Last Updated
2024			
Feb(Mar), May (July), Aug, Nov	Fire Department Quarterly Report	Sheff/Miller	2nd Qtr 2024 0917 CC Agenda - Done
Feb(Mar), May (July), Aug, Nov	Investment Quarterly Report	Savage	2nd Qtr 2024 0820 - Done
Feb(Mar), May (July), Aug, Nov	Enterprise Update	Clifton/Olson & Savage	Waiting on update
	Proposed Agenda for October 2:	Pettie	Per Mayor Pettie 2024 0819/0909 email
October 2, 2024	Other items ready from FAI		Mayor Pettie - 2024 0909 email
October 2, 2024	Reschedule 10-1 meeting to 10-2		Possibly 2024 0917 CC Mtg
October 2, 2024	Pump station	PWD GM	Public Works Director Gary Machado
October 2, 2024	Enterprise contract	ICA CC	Interim City Attorney Catherine Clifton
October 2, 2024	Fee Schedule	ICA CC, PWD GM, & F/HR D GS	Interim City Attorney Catherine Clifton, Public Works Director Gary Machado, & FIN/HR Director Grant Savage
October 2, 2024	Marino SUP	PWD GM, ICA CC	2024 0822 P&Z Agenda - Done
October 2, 2024	SF rezonings (2)	PWD GM, ICA CC	2024 0822 P&Z Agenda - Done
October 2, 2024	Budget Amendment, if not ready	Savage	2024 0829 requested; 2024 0917
October 2, 2024	Any plats ready		Mayor Pettie - 2024 0909 email
October 2, 2024	Any Resolutions/ILAs ready resolution		Mayor Pettie - 2024 0909 email
October 2, 2024	Rescind Newsletter committee resolution		Mayor Pettie - 2024 0909 email
October 2, 2024	ETJ Discussion if ready		Mayor Pettie - 2024 0819 email
October 2, 2024	NTMWD of anything ready		Mayor Pettie - 2024 0819 email
October 2, 2024	Records Retention Policy		Mayor Pettie - 2024 0819 email
October 2, 2024	Annual Records Review		Mayor Pettie - 2024 0819 email
October 2, 2024	Attorney appointment if ready		Mayor Pettie - 2024 0819 email
	Presentation:	Pettie	Per Mayor Pettie 2024 0826 email

FUTURE AGENDA ITEMS

	ITEM DESCRIPTION	CONTACT	Notes - Last Updated
TBD	Town Hall		
	Updates:	Pettie	Per Mayor Pettie 2024 0826 email
October 2, 2024	FM2551		
October 2, 2024	Comp plan		Tentative 2024 0926 P&Z - waiting on Public Hearing Notice
October 2, 2024	TCEQ		
October 2, 2024	Projects in Progress		
October 2, 2024	Engineering contracts		
	Workshops:	Pettie	Per Mayor Pettie 2024 0826 email
TBD	city protocols		
TBD	Open Meetings/Public records/Quorums/Ethics,	ICA CC	Interim City Attorney Catherine Clifton
TBD	Records/Quorums/Ethics		
TBD	Departmental Reports		
TBD	ADA Website/Info Workshop Agenda, etc.	MLP	2024 0830 Mayor Lee Pettie update
	Future Agenda Items	Pettie	Per Mayor Pettie 2024 0826 email
TBD	Southridge gate 2025		
TBD	Rescind Newsletter committee		
TBD	Procedural Manual		
TBD	Personnel Manual		
TBD	Procedures for Presentations		
TBD	Procedures for agendas		
TBD	Employment :Required time with city for paid training		
TBD	water impact fees (July 2025)		
TBD	CIP updates (April/May 2025)		

FUTURE AGENDA ITEMS

	ITEM DESCRIPTION	CONTACT	Notes - Last Updated
TBD	Microphones for Council Chambers, if not done	IT MF	Information Technology Mike Farchie
TBD	Pump station if not done		
TBD	Records retention policy		
TBD	Annual records review		
TBD	Any ILAs needed		
TBD	St Paul ILA/agreement		
TBD	Exceptions/Exemptions to water moratorium		
TBD	Contract review of expiring contracts fy 23-24		
TBD	Exemptions to water moratorium		
TBD	Attorney appointment		
TBD	Open Records requests process		