



AGENDA

PLANNING AND ZONING

May 9, 2013 @ 7:00 P.M.

Notice is hereby given; the Planning and Zoning Commission for the City of Parker will hold a Regular Meeting on Thursday, May 9, 2013 at 7:00 P.M. at Parker City Hall, 5700 E. Parker Road, Parker, Texas 75002.

CALL TO ORDER – Roll Call and Determination of a Quorum

PLEDGE OF ALLEGIANCE

AMERICAN PLEDGE: I pledge allegiance to the flag of the United States of America; and to the republic for which it stands, one nation under God, indivisible with liberty and justice for all.

TEXAS PLEDGE: Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.

PUBLIC COMMENTS The City Council invites any person with business before the Council to speak to the Council. No formal action may be taken on these items at this meeting. Please keep comments to 3 minutes.

INDIVIDUAL CONSIDERATION ITEMS

1. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON MEETING MINUTES FOR APRIL 25, 2013.
2. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON PRELIMINARY PLAT FOR ESTATES AT CREEKSIDE PARKER, PHASE 1, ZONED SF-T AND GENERALLY LOCATED EAST OF MOSS RIDGE.
3. CONDUCT INTERVIEW WITH BOARD APPLICANT: TONY CASSAVECHIA

ROUTINE ITEMS

4. FUTURE AGENDA ITEMS
Next Regular Meeting – May 23, 2013
Thoroughfare Map
Zoning Change Request by Wynne/Jackson
5. ADJOURN

In addition to any specifically identified Executive Sessions, the Planning and Zoning Commission may convene into Executive Session at any point during the open meeting to discuss any item posted on this Agenda. The Open

Meetings Act provides specific exceptions that require that a meeting be open. Should Commission elect to convene into Executive Session, those exceptions will be specifically identified and announced. Any subsequent action, as a result of this Executive Session, will be taken and recorded in open session.

I certify that this Notice of Meeting was posted on or before May 3, 2013 by 5:00 p.m. at the Parker City Hall, and as a courtesy, this Agenda is also posted to the City of Parker Website at www.parkertexas.us

Date Notice Removed

Carrie L. Smith, City Secretary

The Parker City Hall is Wheelchair accessible. Sign interpretations or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972 442 6811.

MINUTES
PLANNING AND ZONING COMMISSION MEETING
APRIL 25, 2013

CALL TO ORDER – Roll Call and Determination of a Quorum

The Planning and Zoning Commission met on the above date. Chairperson Wright called the meeting to order at 7:01 P.M.

Commissioners Present:

X	Chairperson Wright	X	Commissioner Stone
X	Commissioner Schroeder	X	Commissioner Lozano
X	Commissioner Stanislav		

X	Alternate Raney	Alternate Herzberger
X	Alternate Sutaria	

Staff Present

X	City Administrator Flanigan	X	City Secretary Smith
X	City Attorney Shepherd	X	Councilmember Leamy

PLEDGE OF ALLEGIANCE

The pledges to the American and Texas flags were recited.

PUBLIC COMMENTS The City Council invites any person with business before the Council to speak to the Council. No formal action may be taken on these items at this meeting. Please keep comments to 3 minutes.

None

INDIVIDUAL CONSIDERATION ITEMS

1. CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON MEETING MINUTES FOR MARCH 28, 2013.

MOTION: Commissioner Stone moved to approve the minutes for March 28, 2013 as written. Commissioner Lozano seconded with Commissioners Stone, Schroeder, Wright, Lozano and Stanislav voting for. Motion carried 5-0.

2. PUBLIC HEARING, CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON A ZONING CHANGE REQUESTED BY WYNNE/JACKSON, INC. FOR RE-ZONING APPROXIMATELY 322.34 ACRES OF LAND LOCATED IN THE GW GUNNELL SURVEY, ABSTRACT NO. 350, AND THE THOMAS ESTES SURVEY, ABSTRACT NO. 298, COLLIN COUNTY, TEXAS FROM SINGLE- FAMILY AND AGRICULTURAL-OPENSOURCE TO SINGLE-FAMILY TRANSITIONAL WITH SPECIAL CONDITIONS. THE PROPERTY IS GENERALLY LOCATED AT THE WEST SIDE OF FM 2551 SOUTH OF KARA LANE AND NORTH OF E. PARKER ROAD.

Developer Wynne/Jackson Representative Christopher Jackson reviewed the proposed development and requested a zoning change from SF and AO to SFT with Special Conditions:

Density:

1.7 gross acres to the unit

Total of 195 units

Unit sizes:

1 acre minimum

1.5 acre minimum lot size adjacent to Easy Acres

2 acre minimum lot size adjacent to the western boundary

Size of tract:

322.3 acres

Flood Plain:

79 acres currently according FEMA

40 acres after the proposed flood control work, if approved by FEMA and all applicable regulatory agencies

There are proposed retention/detention ponds throughout the development, trails, pocket parks and a clubhouse all to be maintained by the homeowners association (HOA).

The entry street into the development is to be divided throughout for emergency access. The streets will include loops and curves to break up the neighborhood. The second point of access will be on the west side adjoining Pecan Orchard. (Exhibit A)

Chairperson Wright opened the public hearing at 7:40 p.m.

Tom and Eleanor Evans, 3507 Hogge Road – Mr. Evans asked if the property owners in this area would still have to carry flood insurance if the flood plain land is reclaimed. Mrs. Evans was concerned with the demand on the Volunteer Fire Department. She does not feel the additional tax base revenue would cover the cost for a paid department.

Pam Cummings, 4511 Dillehay Drive is concerned with the increase in water going into to the creek that runs through her property. Her property has flooded twice in the last five years after a subdivision was built to the north in the City of Allen.

John Wingfield, Kara Lane - asked the time frame of the development. Mr. Jackson stated if approved, phase 1 would begin approximately 12 to 15 months after engineering is completed and estimates 4 to 5 years for build out. Mr. Wingfield stated he would hope the additional tax base would provide enough tax revenue to finance a full-time, paid fire department. He feels the development would be a benefit to the City.

Mark Barnaby, 4704 Boulder Drive asked the Commission take into consideration the future City fire and police protection needs.

Rebecca Graves, 5610 Kara Lane stated she would prefer sewer rather than septic, lot sizes are not an issue, all parks need to be open to all Parker residents and there needs to be fishing allowed. She would like to see the developer complete the flood zone before home building begins.

Mr. Jackson noted the parks would not be public, but they may give the parks to the City if the City requests. There will not be fishing due to the liability.

Karen Pritzkee, 4706 Pecan Orchard does not feel there is a down side to keeping larger lots. She feels people will still come to Parker.

Ron Knoche, 5501 Kara Lane is concerned with additional flooding in the area with 1.5 acre lots, more homes and more concrete. Parker's zoning requires 2 acre lots.

Pat Moorer, 4902 Hackberry Lane submitted a written comment. (Exhibit B.)

Chairperson Wright closed the public hearing at 8:02 pm.

Chairperson Wright requested an Executive Session to get legal advice from the City Attorney. He adjourned the meeting at 8:15 p.m.

Chairperson Wright reconvened the regular meeting at 8:36 p.m.

Commission discussion ensued. The Commission would like the developer to increase the average lot size to 1.5 acres as required in SFT zoning.

MOTION: Commissioner Stone moved to table this item to a future agenda. Commissioner Lozano seconded with Commissioners Stone, Wright, Lozano, Schroeder and Stanislav voting for. Motion carried 5-0.

3. CONDUCT INTERVIEW WITH BOARD APPLICANT: WEI WEI JEANG

The Commission conducted an interview with board applicant Wei Wei Jeang, as required by Resolution 2011-378.

A recommendation will be made for Council at a future meeting.

ROUTINE ITEMS

4. FUTURE AGENDA ITEMS

Next Regular Meeting – May 9, 2013

- Estates at Creekside Parker Phase 1 - Preliminary Plat
- Thoroughfare Map
- Recommendation to City Council for 2013-2014 appointments

5. ADJOURN

Adjourned at 9:23 p.m.

Minutes Approved on _____ day of _____, 2013.

Chairman Russell Wright

Attest:

Commission Secretary Stanislav

Prepared by City Secretary Carrie L. Smith

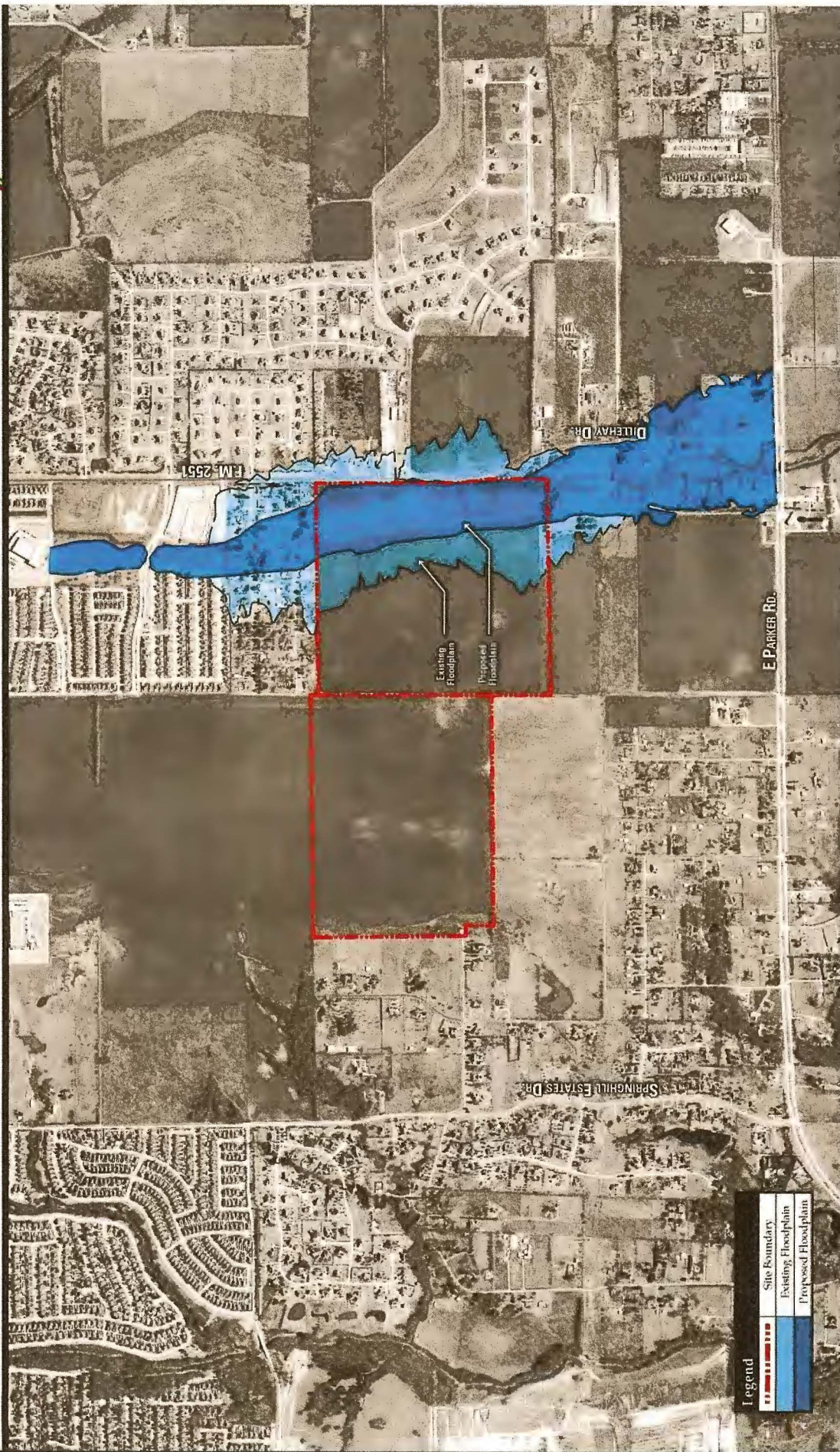
WYNNE JACKSON



Parker Estates Conceptual Master Plan

TBG
Scale 1" = 200'
March 12, 2012

The information herein is based on the best information available and is subject to change without notice.



Legend

	Site Boundary
	Existing Floodplain
	Proposed Floodplain

TBG Scale 1" = 100'
March 12, 2012

The information shown is based on the best information available and is subject to change without notice.

Parker Estates Floodplain Adjustment Plan

Pat Moorer
4902 Hackberry Ln.
Parker, TX. 75002-5626

Planning & Zoning Committee
City of Parker
5700 East Parker Rd.
Parker, Tx 75002


Apr.23, 2013

Re: Re-zoning property located at the west side of FM2551 South of Kara Lane and
North of E Parker Road.

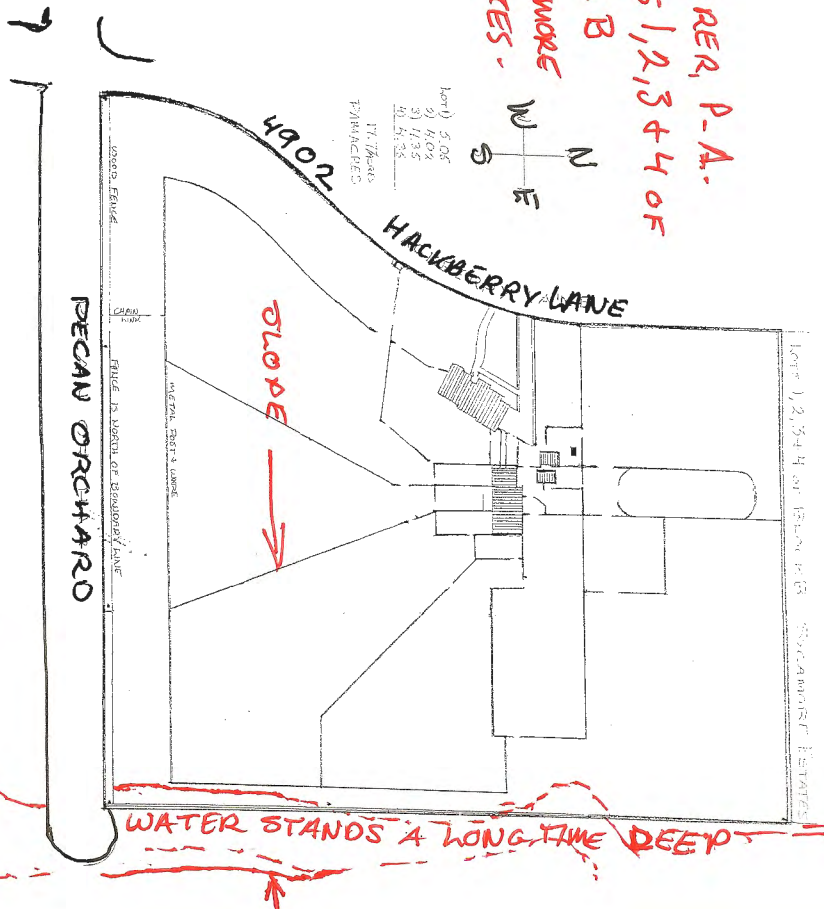
Dear Committee;

My property at the northeast quadrant of Hackberry and Pecan Orchard abuts the west boundary of the property discussed. Attached is a plat of my property with the area noted in red. May I call your attention to the drainage situation which must be dealt with if this is ever developed. The land from Hackberry slopes downward to the eastern border. From that border it begins a steep rise as it continues east. The result is that the east line of our properties is the lowest point with no outlet for the water

Considering our existence, I would hope you would provide any properties adjoining ours to be of comprable size in order to accomadate the drainage problem and to create a visual transition.

Respectfully,

Patricia Ann Moorer

MOORE, P. A.
 LOTS 1, 2, 3 + 4 OF
 BLK. B
 SYCAMORE
 ESTATES -



NO ADEQUATE
 PROVISION TO MOVE
 THE WATER TO THE
 LAKE —

COMMENT CARD

Please complete and give to the City Secretary prior to the start of the meeting.
All comments will be limited to 3 minutes. If you are with a group, please select
one spokes person to speak on the groups behalf.

Name: KARA PRITZKEE Date: 4-25-13 ^{-Thank you}

Street Address: 4706 Pecan Orchard

Subject/Agenda Item: _____

☒ I WISH TO SPEAK OT THE MAYOR AND CITY COUNCIL.

() I DO NOT WISH TO SPEAK, BUT WOULD LIKE TO REGISTER MY OPINION.

Comments: _____

STAY INFORMED: WWW.PARKERTEXAS.US

COMMENT CARD

Please complete and give to the City Secretary prior to the start of the meeting.
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one spokes person to speak on the groups behalf.

Name: RON KNOWLE Date: _____ ^{-Thank you}

Street Address: 5501 KARA LN, PARKER

Subject/Agenda Item: REZONE SOUTH OF KARA

() I WISH TO SPEAK OT THE MAYOR AND CITY COUNCIL.

() I DO NOT WISH TO SPEAK, BUT WOULD LIKE TO REGISTER MY OPINION.

Comments: FLOOD CONSIDERATIONS

LESS THAN 15 ACRE LOTS

SIZE NOT WHAT ZONING OR

PARKER ADVERTISED

STAY INFORMED: WWW.PARKERTEXAS.US

COMMENT CARD

Please complete and give to the City Secretary prior to the start of the meeting. All comments will be limited to 3 minutes. If you are with a group, please select one spokes person to speak on the groups behalf.

Name: Mark Barnaby Date: 4-25-13 ^{-Thank you}

Street Address: 4704 Boulder Dr

Subject/Agenda Item: _____

() I WISH TO SPEAK OT THE MAYOR AND CITY COUNCIL.

() I DO NOT WISH TO SPEAK, BUT WOULD LIKE TO REGISTER MY OPINION.

Comments: The City needs to plan ahead for future revenue needs. ~~2 new developments~~ ~~sell the property and not at all~~

STAY INFORMED: WWW.PARKERTEXAS.US

COMMENT CARD

Please complete and give to the City Secretary prior to the start of the meeting. All comments will be limited to 3 minutes. If you are with a group, please select one spokes person to speak on the groups behalf.

Name: Pam Cumming Date: 4/25/2013 ^{-Thank you}

Street Address: 4511 Dillehay Dr

Subject/Agenda Item: _____

() I WISH TO SPEAK OT THE MAYOR AND CITY COUNCIL.

(☒) DO NOT WISH TO SPEAK, BUT WOULD LIKE TO REGISTER MY OPINION.

Comments: I am concerned about the water that it will add to the creek that runs through my property

STAY INFORMED: WWW.PARKERTEXAS.US

COMMENT CARD

Please complete and give to the City Secretary prior to the start of the meeting. All comments will be limited to 3 minutes. If you are with a group, please select one spokes person to speak on the groups behalf.

Name: William Nolan Date: 4-25-13 ^{-Thank you}

Street Address: 4702 Pecan Court

Subject/Agenda Item: _____

() I WISH TO SPEAK OT THE MAYOR AND CITY COUNCIL.

() I DO NOT WISH TO SPEAK, BUT WOULD LIKE TO REGISTER MY OPINION.

Comments: _____

STAY INFORMED: WWW.PARKERTEXAS.US

COMMENT CARD

Please complete and give to the City Secretary prior to the start of the meeting. All comments will be limited to 3 minutes. If you are with a group, please select one spokes person to speak on the groups behalf.

Name: Rebecca Graves Date: 4/25/13 ^{-Thank you}

Street Address: 5210 Kara Ln

Subject/Agenda Item: new development

() I WISH TO SPEAK OT THE MAYOR AND CITY COUNCIL.

() I DO NOT WISH TO SPEAK, BUT WOULD LIKE TO REGISTER MY OPINION.

Comments: sewer (not septic), lot size is ok with me all parks need to be open to all park residents, and there needs to be fishing address food zone first (or early).

STAY INFORMED: WWW.PARKERTEXAS.US

COMMENT CARD

Please complete and give to the City Secretary prior to the start of the meeting.
All comments will be limited to 3 minutes. If you are with a group, please select
one spokes person to speak on the groups behalf.

Name: Tom & Eleanor Date: 4.25.13 ^{-Thank you}

Street Address: 3507 Hogge Rd

Subject/Agenda Item: New Development

() I WISH TO SPEAK OT THE MAYOR AND CITY COUNCIL.

() I DO NOT WISH TO SPEAK, BUT WOULD LIKE TO REGISTER MY OPINION.

Comments: This new development will not
complelly pay for a fire Dept.

large lots & with higher priced homes
is more likely likely to pay for fire Dept.

STAY INFORMED: WWW.PARKERTEXAS.US



PLANNING AND ZONING COMMISSION

Meeting Date: May 9, 2013

Agenda Subject:

CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON ESTATES AT CREEKSIDE PARKER, PHASE 1, PRELIMINARY PLAT, GENERALLY LOCATED EAST OF MOSS RIDGE.

Exhibits: City Engineer Comment Letter – First Review dated 2/18/2013*
* Second review in progress and will be provided for the meeting.
Proposed Preliminary Plat 11 X 17 and 24 X 36

Developer Gary Defrain's comments below:

Attachment 1: Ordinance No. 500

This is the ordinance, approved by Parker 3/20/01 for the development of this tract. Property was zoned Single Family Transitional (SFT) and required average lot size to be a minimum of 1.42 acres and developed per attached Concept Plan (Exhibit B).

Attachment 2: Phase I Preliminary Plat and Zoning Concept Plan

Have indicated on the Concept Plan how the Phase I Preliminary Plat fits. Also on the Preliminary Plat have indicated the temporary access easement (Bois Arc), the bridge location and the park dedication.

Attachment 3: City 2000 land Use Plan

This is what I had in my file when the zoning was passed in 2001. On the street light plan I have indicated the number of lots in Phase I and the future Phase II. I then compared to the Zoning Ordinance No. 500 to confirm the minimum average lot size was met. As you'll see, the Zoning Ordinance allowed a total of 67 lots averaging 1.55 acres/lot, exceeding the Ordinance's required minimum of average 1.42 acres/lot. The Phase I Preliminary Plat has 32 lots with an average lot size of 1.85 acres, the Future Phase II would have 28 lots for an overall total of 60 lots with an average lot size average of 1.73 acres. Therefore, both the Phase I and overall development will meet the Zoning Ordinance No. 500 criteria.

Attachment 4: Overall Park Schematic

This is the Overall Park Schematic approved by Wylie Park Department. On this exhibit I have indicated the location of Estates at Creekside Parker Phase I. I have also indicated in a yellow circle the location of the parker park dedication required to make the greenbelt connection. I had previously worked with Jeff on this proposed Parker park dedication connection. The second

sheet of this attachment is an overall exhibit that shows our land holdings in Wylie/Parker and how they fit together. Parker's tract is highlighted showing Phase I, the bridge location and the park dedication with greenbelt going north and south.

Attachment 5: Bridge

This is the final attachment and graphically shows details of the proposed bridge connection to Parker Road

Possible action:

Approve
Table
Deny

BIRKHOFF, HENDRICKS & CARTER, L.L.P.
PROFESSIONAL ENGINEERS

11910 Greenville Ave., Suite 600

Dallas, Texas 75243

Fax (214) 461-8390

Phone (214) 361-7900

JOHN W. BIRKHOFF, P.E.
GARY C. HENDRICKS, P.E.
JOE R. CARTER, P.E.
MATT HICKEY, P.E.
ANDREW MATA, JR., P.E.
JOSEPH T. GRAJEWSKI, III, P.E.
DEREK B. CHANEY, P.E.

February 18, 2013

Mr. Jeff Flanigan
City of Parker
5700 E. Parker Rd.
Parker, Texas 75002

Re: Estates at Creekside Review

Dear Mr. Flanigan:

As requested, we have reviewed the Preliminary Plat and Engineering Plans for the Estates at Creekside Phase 1, dated January 29, 2013. We received these plans from you on February 4, 2012.

Our review of the Engineering Plans is for general compliance with the City of Parker's development requirements and good engineering practice, and does not relieve the engineer of record of his responsibilities under the Texas Engineering Practice Act. Listed below are the comments regarding the enclosed plans:

Preliminary Plat Comments

1. Label the zoning on the preliminary plat.
2. Easements dedicated to the City of Parker shall be a minimum of 15-feet in width.
3. City ordinance requires two points of access to be provided.
4. Overall tract shall be platted prior to subdividing.

General Notes Comments

5. Fire hydrants shall be painted in accordance with City of Parker standards.
6. Minimum cover for a water line is 4-feet.

Paving Plan and Profile Comments

7. Provide paved positive overflow at all sag inlets. Maximum ponding allowable is 6-inches.
8. Specify compaction methods in areas where fill is being placed.
9. Sidewalks and barrier free ramps shall meet all ADA and TAS regulations.

10. Provide pavement design details. Strength of concrete, rebar and spacing, percentage of lime to be used, etc.

Grading Plan Comments

11. It appears that fill is proposed within the floodplain. We recommend a flood study be completed and that the developer submit a CLOMR to FEMA for this project.
12. Maximum slope is 4:1.
13. Cross lot drainage is not allowed. Provide a drainage easement in locations where conveyance between properties is required.

Drainage Area Map and Calculations Comments

14. It is unclear why a portion of the project is using an underground storm sewer system, and other portions are utilizing an open drainage ditch conveyance system.
15. Show all drainage structures, including inlets, pipes, and culverts, on the drainage area map.
16. Provide an off-site drainage area map. It appears that off-site water could be draining across this site. Provide drainage easements for off-site water being conveyed through this project.
17. Show channel capacity calculations.

Storm Plan and Profile Comments

18. Hydraulic grade line (HGL) shall be a minimum of 1-foot below of the pavement surface,
19. Proposed drainage improvements are shown outside the easements.
20. Size of rip rap shall be labeled on the plans.
21. Label the radius of the storm pipe. Verify if the radius can be achieved using standard RCP or if radius pipe will be required. Label on the plans.
22. Verify callouts below storm profile are accurate.

Water Plan Comments

23. Dead end water lines are not allowed.
24. Label 8-inch valves as R.S. (Resilient Seated) Gate Valves.
25. Where plugging the end of the water line, extend the water line a minimum of 20-feet past the last valve prior to the plug.
26. The proposed water line is shown thru and under storm drainage structures.
27. Label the radii shown on the water line.

28. Install a valve on the main line on each side of the bridge.
29. Water lines may be no closer than 9-feet to any sanitary sewer line. In locations where water and sanitary sewer lines cross, plans must be in accordance with TCEQ regulations.
30. Minimum 18-inches of vertical clearance between water lines and crossing utility lines.
31. Water service material, copper or poly, shall be at the City's discretion.

Erosion Control and Bridge Plans

32. Not reviewed.

Estates at Creekside, Wylie Water Line Plan Comments

33. As recommended in our letter dated August 3, 2012, a pressure reducing valve in a vault will be required where connecting to the City of Parker's existing 18-inch water line.
34. Dead end water lines are not allowed.

The plans provided for our review have been marked-up to represent the comments above and are enclosed with this letter. We are available to discuss our review comments further at your convenience.

Sincerely,



Craig M. Kerkhoff, P.E.

Enclosures

cc: Bury + Partners

ORDINANCE NO. 500

AN ORDINANCE OF THE CITY OF PARKER, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF PARKER AS HERETOFORE AMENDED, BY ZONING A NEWLY ANNEXED PARCEL OF LAND OF APPROXIMATELY 104.012 ACRES OF LAND IN THE LEWIS M. MARSHALL SURVEY, ABSTRACT NO. 594 AND THE WILLIAM PATTERSON SURVEY, ABSTRACT NO. 716, COLLIN COUNTY, TEXAS,, SAID PARCEL OF LAND BEING ZONED SINGLE FAMILY TRANSITIONAL (SFT) WITH SPECIAL CONDITIONS; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF \$2,000.00 FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Parker Planning and Zoning Commission and the governing body of the City of Parker, in compliance with the laws of the State of Texas and the ordinances of the City of Parker, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, and in the exercise of its legislative discretion have concluded that the Comprehensive Zoning Ordinance of the City of Parker should be amended to zone the land described herein; **NOW, THEREFORE,**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PARKER, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Parker, Texas, Ordinance 242A, as heretofore amended, be, and the same is hereby amended by zoning as Single Family Transitional (SFT), with Special Conditions, a 104.012 acres of land in The Lewis M. Marshall Survey, Abstract No. 594 And The William Patterson Survey, Abstract No. 716, Collin County, Texas, as recently annexed by Ordinance No. 497 of the City of Parker, said parcel particularly described in Exhibit A, attached hereto and made a part hereof for all purposes, and subject to Special Conditions set forth below.

SECTION 2. The tract of land described in Exhibit A attached hereto is hereby zoned Single Family Transitional (SFT), with the following special conditions, to wit:

- a. The average lot size for this development shall be not less than 1.42 acres, not.
- b. Subject to the requirements of the City of Parker Subdivision Ordinance, the property shall be developed in accordance with the concept plan attached hereto as Exhibit B.

SECTION 3. That the property shall be used only in the manner and for the purposes as required in the SFT zoning classification provided for by this Ordinance pursuant to the Amended Comprehensive Zoning Ordinance of the City of Parker, as heretofore amended, and subject to the

aforementioned special condition.

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

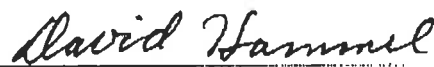
SECTION 5. That all provisions of the ordinances of the City of Parker in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Parker not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 6. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Parker, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of \$2,000.00 for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This Ordinance shall be effective from and after its adoption.

ADOPTED this 20th day of March, 2001, by the Parker City Council.

APPROVED:



David Hammel, Mayor

ATTEST:



Betty McMenamy, City Secretary

APPROVED AS TO FORM:



James B. Shepherd, City Attorney

PROPERTY DESCRIPTION

BEING a 104.012 acre tract of land situated in the Lewis M. Marshall Survey, Abstract No. 594, and the William Patterson Survey, Abstract No. 716, Collin County, Texas, and being a portion of that called 47.8265 acre tract of land described in deed to Campbell/Wylie Partners recorded in Volume 4571, Page 1058 of the Deed Records of Collin County, Texas, (DRCCT), and a portion of that called 209.3886 acre tract of land described in deed to Campbell/Wylie Partners recorded in Collin County Clerk's File No. 98-0032454, DRCCT, said 104.012 acre tract of land being more particularly described by as follows;

BEGINNING at a 5/8-inch iron rod found for the northwest corner of said 209.3886 acre tract, same being the southwest corner of that called 49.092 acre tract of land described in deed to Hugh L. Lewis recorded in Volume 706, Page 455, DRCCT and being in the east line of MOSS RIDGE ESTATES an addition to the City of Parker described by plat recorded in Cabinet D, Slide 196, Plat Records of Collin County, Texas;

THENCE North 88°55'03" East along the common line of said 209.3886 acre tract of land and said 49.092 acre tract of land, a distance of 1674.48 feet to a point for the southeast corner of said 49.092 acre tract of land same being the southwest corner of said 47.8265 acre tract of land;

THENCE North 00°20'10" East along the common line of said 49.092 acre tract of land and said 47.8265 acre tract of land, a distance of 109.30 feet to a point for corner in the approximate centerline of Turner Branch;

THENCE generally along the centerline meanders of said Turner Branch the following:

South 70°29'50" East, a distance of 20.42 feet to a point for corner;

North 56°50'48" East, a distance of 207.02 feet to a point for corner;

North 45°30'08" East, a distance of 143.31 feet to a point for corner;

North 42°01'37" East, a distance of 105.33 feet to a point for corner;

South 85°53'16" East, a distance of 52.53 feet to a point for corner;

South 30°05'11" East, a distance of 52.79 feet to a point for corner;

South 10°42'21" West, a distance of 50.29 feet to a point for corner;

North 85°37'20" East, a distance of 137.58 feet to a point for corner in the approximate centerline of Muddy Creek;

THENCE generally along the centerline meanders of Muddy Creek the following:

South 15°19'47" West, a distance of 67.73 feet to a point for corner;

South 88°29'19" West, a distance of 195.89 feet to a point for corner;

South 26°17'05" West, a distance of 550.24 feet to a point for corner;

South 00°17'20" East, a distance of 102.48 feet to a point for corner in the city limit line of Parker and Wylie;

THENCE along said city limit line the following:

South 88°44'46" West, a distance of 1870.34 feet to a point for corner;

South 01°19'11" East, a distance of 304.63 feet to a point for corner;

South 88°40'49" West, a distance of 450.00 feet to a 1/2-inch iron rod found for the southeast corner of the aforementioned MOSS RIDGE ESTATES;

THENCE North 00°07'11" East along the common line of said MOSS RIDGE ESTATES and said 209.3886 acre tract of land, a distance of 1874.59 feet to the POINT OF BEGINNING;

CONTAINING a computed area of 4,530,771 square feet or 104.012 acres of land.



NOTES:

1. THE LOT OWNER OF EACH LOT THAT CONTAINS 100 YEAR FLOODPLAIN SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE 100 YEAR FLOODPLAIN. HOWEVER, THE LIMITS OF THE 100 YEAR FLOODPLAIN ON EACH LOT ARE ALSO DESIGNATED AS A PUBLIC DRAINAGE EASEMENT TO ALLOW THE CITY TO ACCESS THE CREEK. THE LOT OWNERS SHALL NOT CONSTRUCT ANY IMPROVEMENTS (INCLUDING BUILDINGS, DECKS, RETAINING WALLS, DAMS, ETC.) WITHOUT A CITY APPROVED PERMIT. ADDITIONAL TREES SHALL NOT BE PLANTED WITHIN THE 100 YEAR FLOODPLAIN.
2. 32 RESIDENTIAL LOTS.
3. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHDRAWAL OF UTILITIES AND BUILDING PERMITS.
4. STATE PLANE COORDINATES SHOWN HEREON ARE TEXAS NORTH CENTRAL ZONE, NAD83 GRID VALUES DATA BASED ON OBSERVATIONS OF CITY OF WYLLIE CONTROL POINTS CM1, CM2, CM3, CM4, AND CM5 COMBINED SCALE FACTOR = 0.9999945 BEARING ROTATION FROM RECORD BEARING TO STATE PLANE BEARING = 0.03121°.
5. THE SUBJECT OF LAND IS CURRENTLY ZONED "SF1", SINGLE FAMILY RESIDENTIAL DISTRICT 1.5AC AND ALSO ZONED "A-D" AGRICULTURAL - OPEN SPACE.
6. UPON FILING OF ESTATES AT CREEKSIDE, PHASE 2, THE TEMPORARY ACCESS EASEMENT IN LOT 8, BLOCK B SHALL BECOME NULL & VOID.

REFERENCE BENCHMARKS:

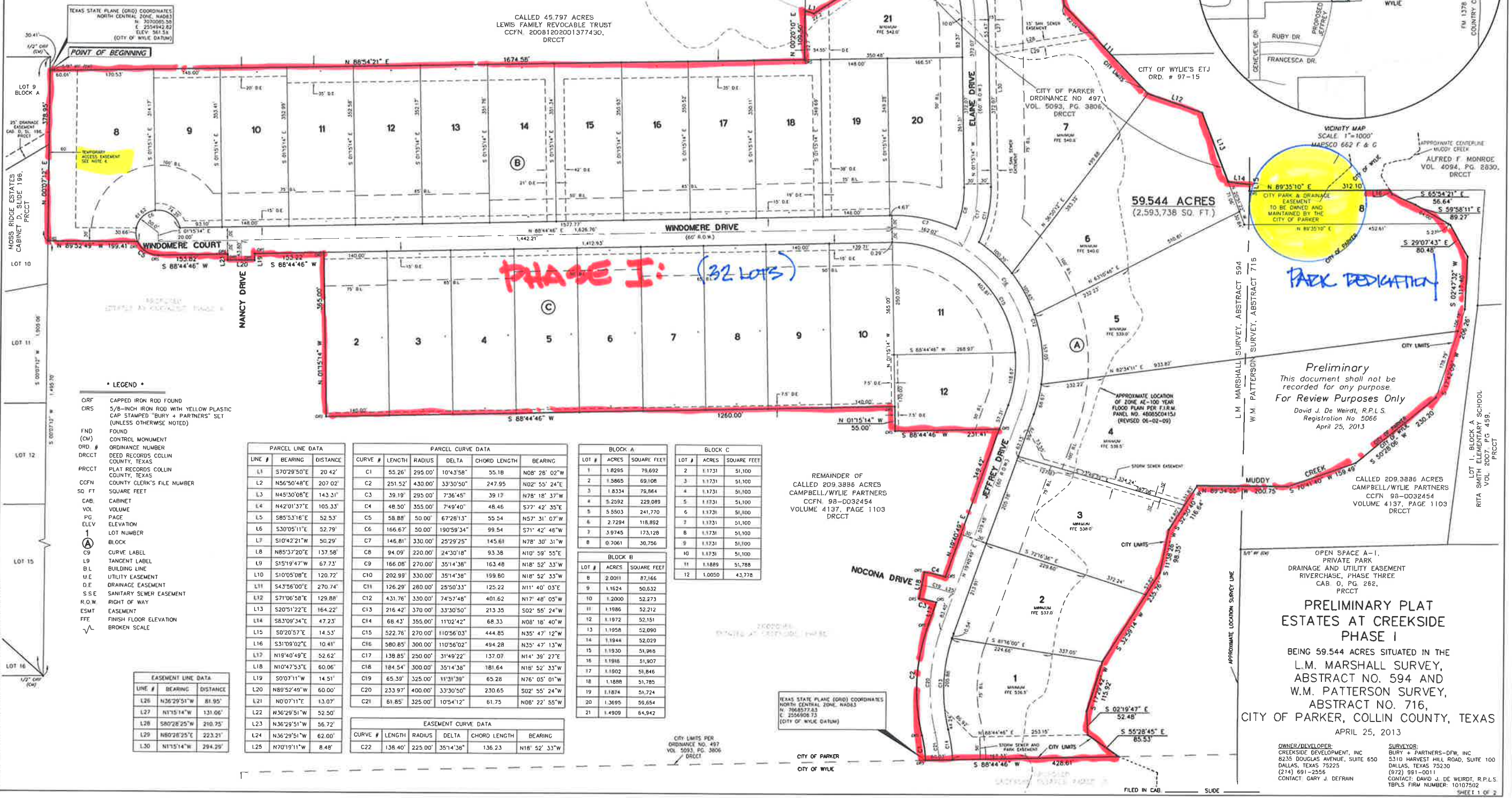
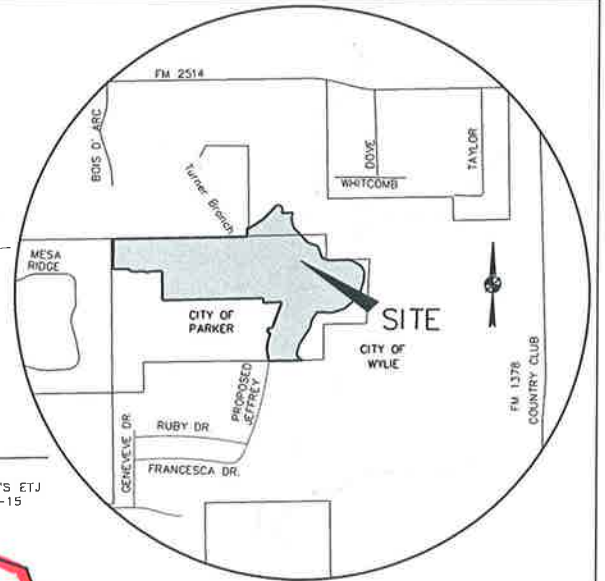
1. CITY OF WYLLIE GEODETIC CONTROL MONUMENT NUMBER CM 3, ELEVATION = 520.31'
2. CITY OF WYLLIE GEODETIC CONTROL MONUMENT NUMBER CM 4, ELEVATION = 562.91'
3. SITE BENCHMARKS:
 - CUT "X" FOUND AT THE CENTERLINE INTERSECTION OF LESLIE DRIVE AND PEGGY LOFTICE DRIVE, ELEVATION = 536.41'
 - CUT "X" FOUND AT THE CENTERLINE INTERSECTION OF LESLIE DRIVE AND LEWIS DRIVE, ELEVATION = 546.66'

TEXAS STATE PLANE (GRID) COORDINATES
NORTH CENTRAL ZONE, NAD83
E 2554942.82
N 3030865.50
ELEV. 561.58
(CITY OF WYLLIE DATUM)

POINT OF BEGINNING

CALLED 45,797 ACRES
LEWIS FAMILY REVOCABLE TRUST
CCFN. 20081202001377430,
DRCT

CALLED 47,826 ACRES
CAMPBELL/WYLLIE PARTNERS
CCFN 99-0155327,
VOL. 4571, PG. 1058,
DRCT



LEGEND

- DIR CAPPED IRON ROD FOUND
- DIRS 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "BURY + PARTNERS" SET (UNLESS OTHERWISE NOTED)
- FND FOUND
- ORD # CONTROL MONUMENT
- ORD # ORDNANCE NUMBER
- PRCCT DEED RECORDS COLLIN COUNTY, TEXAS
- CCFN PLAT RECORDS COLLIN COUNTY, TEXAS
- SQ FT COUNTY CLERK'S FILE NUMBER
- CAB SQUARE FEET
- VOL CABINET
- PG PAGE
- ELEV ELEVATION
- LOT NUMBER
- 1 BLOCK
- C9 CURVE LABEL
- L9 TANGENT LABEL
- BL BUILDING LINE
- UE UTILITY EASEMENT
- DE DRAINAGE EASEMENT
- SSE SANITARY SEWER EASEMENT
- R.O.W. RIGHT OF WAY
- ESMT EASEMENT
- FFE FINISH FLOOR ELEVATION
- BSK BROKEN SCALE

EASEMENT LINE DATA		
LINE #	BEARING	DISTANCE
L26	N36°29'51"W	81.95'
L27	N1°15'14"W	131.06'
L28	S80°28'25"W	210.75'
L29	N80°28'25"E	223.21'
L30	N1°15'14"W	294.29'

PARCEL LINE DATA		
LINE #	BEARING	DISTANCE
L1	S70°29'50"E	20.42'
L2	N56°50'48"E	207.02'
L3	N45°30'08"E	143.31'
L4	N42°01'37"E	105.33'
L5	S85°53'16"E	52.53'
L6	S30°05'11"E	52.79'
L7	S10°42'21"W	50.29'
L8	N85°37'20"E	137.58'
L9	S15°19'47"W	67.73'
L10	S10°05'08"E	120.72'
L11	S43°56'00"E	270.74'
L12	S71°06'58"E	129.88'
L13	S20°51'22"E	164.22'
L14	S83°09'34"E	47.23'
L15	S0°20'57"E	14.53'
L16	S31°09'02"E	10.41'
L17	N19°40'49"E	52.62'
L18	N10°47'53"E	60.06'
L19	S0°07'11"W	14.51'
L20	N89°52'49"W	60.00'
L21	N0°07'11"E	13.07'
L22	N36°29'51"W	52.50'
L23	N36°29'51"W	56.72'
L24	N36°29'51"W	62.00'
L25	N70°19'11"W	8.48'

PARCEL CURVE DATA					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	BEARING
C1	55.26'	295.00'	10°43'58"	55.18'	N08°28'02"W
C2	251.52'	430.00'	33°30'50"	247.95'	N02°55'24"E
C3	39.19'	295.00'	7°36'45"	39.17'	N78°18'37"W
C4	48.50'	355.00'	7°49'40"	48.46'	S77°42'35"E
C5	58.88'	50.00'	67°28'13"	55.54'	N57°31'07"W
C6	166.67'	50.00'	190°59'34"	99.54'	S71°42'46"W
C7	146.81'	330.00'	25°29'25"	145.81'	N78°30'31"W
C8	94.09'	220.00'	24°30'18"	93.38'	N10°59'55"E
C9	166.08'	270.00'	35°14'38"	163.48'	N18°52'33"W
C10	202.99'	330.00'	35°14'38"	199.80'	N18°52'33"W
C11	126.29'	280.00'	25°50'33"	125.22'	N11°40'03"E
C12	431.76'	330.00'	74°57'48"	401.62'	N17°48'05"W
C13	216.42'	370.00'	33°30'50"	213.35'	S02°55'24"W
C14	68.43'	355.00'	11°02'42"	68.33'	N08°18'40"W
C15	522.76'	270.00'	110°56'03"	444.85'	N35°47'12"W
C16	580.85'	300.00'	110°56'02"	494.28'	N35°47'13"W
C17	138.85'	250.00'	31°49'22"	137.07'	N14°39'27"E
C18	184.54'	300.00'	35°14'38"	181.64'	N18°52'33"W
C19	65.39'	325.00'	11°31'39"	65.28'	N76°05'01"W
C20	233.97'	400.00'	33°30'50"	230.65'	S02°55'24"W
C21	61.85'	325.00'	10°54'12"	61.75'	N08°28'55"W

EASEMENT CURVE DATA					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	BEARING
C22	138.40'	225.00'	35°14'38"	136.23'	N18°52'33"W

BLOCK A		
LOT #	ACRES	SQUARE FEET
1	1.8295	79,692
2	1.5865	69,108
3	1.8334	79,864
4	1.2592	54,770
5	5.5503	241,770
6	2.7294	118,892
7	3.9745	173,128
8	0.7061	30,756
BLOCK B		
LOT #	ACRES	SQUARE FEET
9	2.0011	87,166
10	1.1624	50,832
11	1.1986	52,212
12	1.1972	52,151
13	1.1958	52,090
14	1.1944	52,029
15	1.1930	51,968
16	1.1916	51,907
17	1.1902	51,846
18	1.1888	51,785
19	1.1874	51,724
20	1.1860	51,663
21	1.1846	51,602

BLOCK C		
LOT #	ACRES	SQUARE FEET
1	1.1731	51,100
2	1.1731	51,100
3	1.1731	51,100
4	1.1731	51,100
5	1.1731	51,100
6	1.1731	51,100
7	1.1731	51,100
8	1.1731	51,100
9	1.1731	51,100
10	1.1731	51,100
11	1.1889	51,788
12	1.0050	43,778

REMAINDER OF
CALLED 209,388 ACRES
CAMPBELL/WYLLIE PARTNERS
CCFN. 98-0032454
VOLUME 4137, PAGE 1103
DRCT

TEXAS STATE PLANE (GRID) COORDINATES
NORTH CENTRAL ZONE, NAD83
E 2554942.82
N 3030865.50
ELEV. 561.58
(CITY OF WYLLIE DATUM)

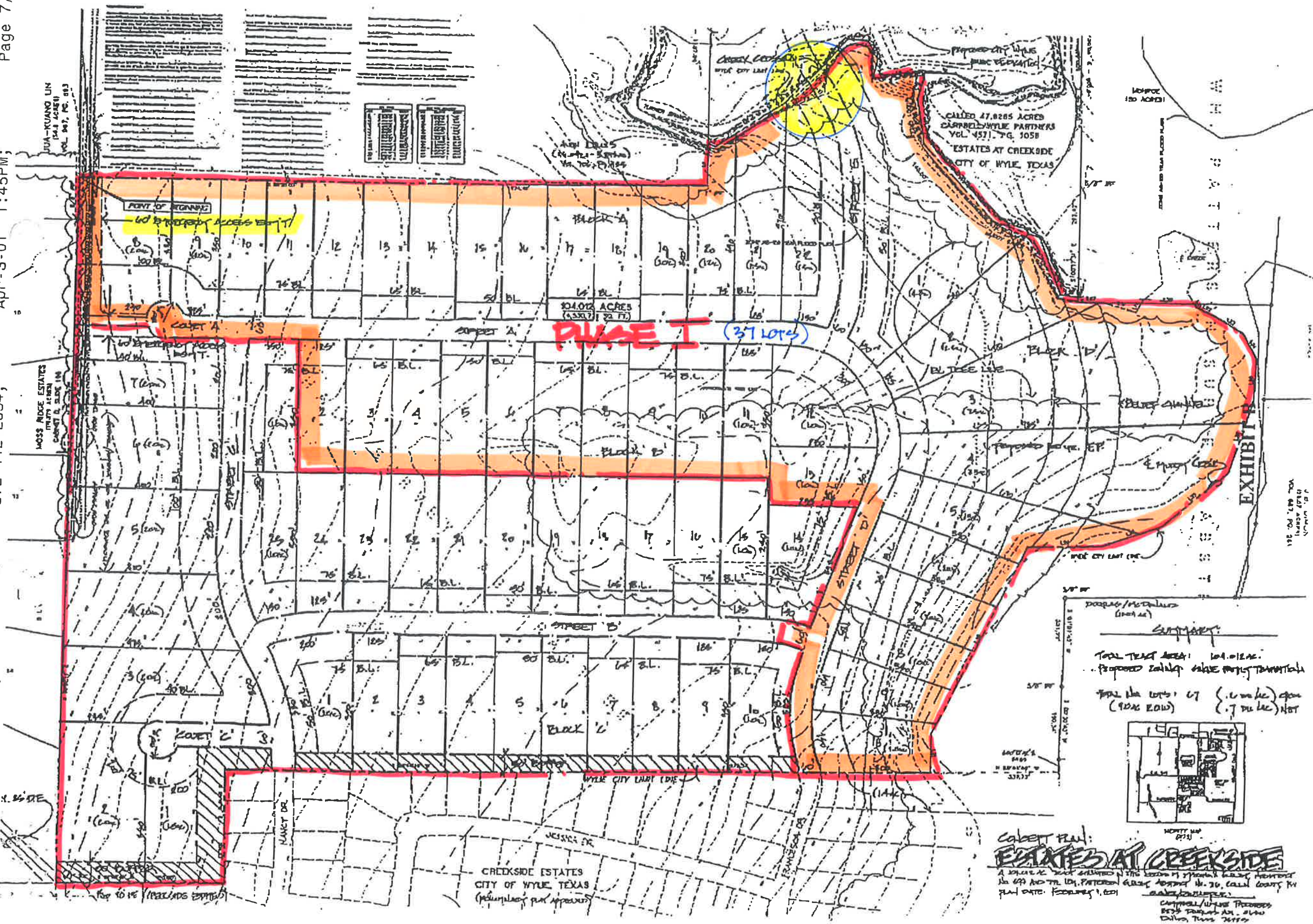
Preliminary
This document shall not be
recorded for any purpose
For Review Purposes Only
David J. De Weir, R.P.L.S.
Registration No. 5066
April 25, 2013

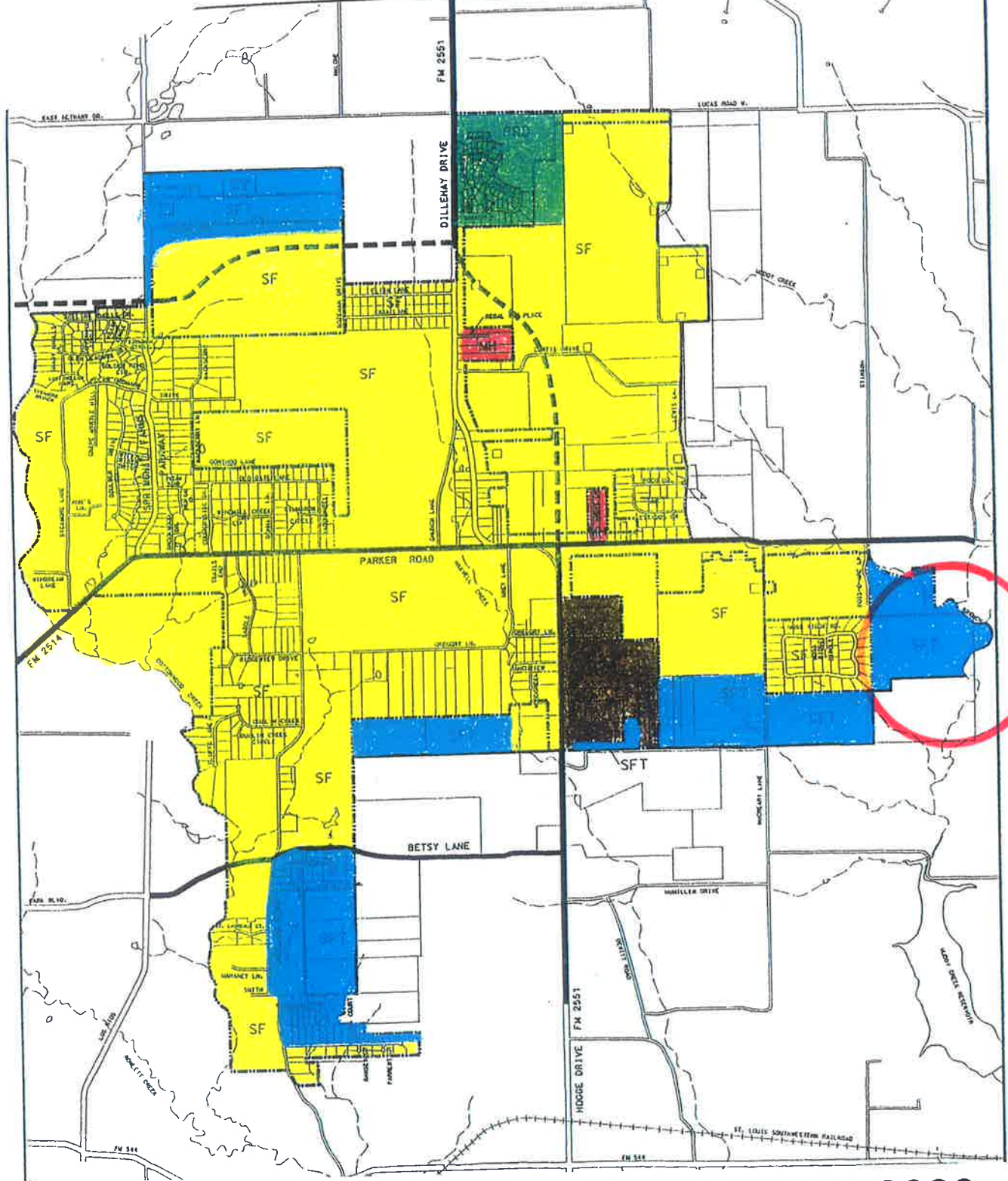
PRELIMINARY PLAT
ESTATES AT CREEKSIDE
PHASE I
BEING 59,544 ACRES SITUATED IN THE
L.M. MARSHALL SURVEY,
ABSTRACT NO. 594 AND
W.M. PATTERSON SURVEY,
ABSTRACT NO. 716,
CITY OF PARKER, COLLIN COUNTY, TEXAS
APRIL 25, 2013

OWNER/DEVELOPER:
CREEKSIDE DEVELOPMENT, INC.
8235 DOUGLAS AVENUE, SUITE 650
DALLAS, TEXAS 75225
(214) 691-2556
CONTACT GARY J. DEFRAN

SURVEYOR:
BURY + PARTNERS-DFW, INC.
5310 HARVEST HILL ROAD, SUITE 100
DALLAS, TEXAS 75220
(972) 991-0011
CONTACT: DAVID J. DE WEIRD, R.P.L.S.
TBLPS FIRM NUMBER: 10107502

LOT 1, BLOCK A
RITA SMITH ELEMENTARY SCHOOL
VOL. 2007, PG. 459,
PRCCT





DRAFT PROPOSED LAND USE MAP 2000

LAND USE PLAN CITY OF PARKER, TEXAS

LEGEND	
	EXISTING MAJOR THOROUGHFARE
	PROPOSED MAJOR THOROUGHFARE
	STREAMS
	STREETS
	CITY LIMITS
	RAILROAD
	SURVEY LINES
	ETJ BOUNDARY LINES

LAND USE	
	SF-SINGLE FAMILY
	SFT-SINGLE FAMILY TRANSITIONAL
	PRD-PLANNED RESIDENTIAL DEVELOPMENT
	MH-MANUFACTURED HOUSING
	SA-SPECIAL ACTIVITIES



SUMMARY OF ZONING DISTRICTS

The Land Use Map for Parker defines land areas into the following districts:

1. SINGLE FAMILY -- SF

(Only a brief summary of conditions/requirements are listed.)

Purpose:	To provide for development that is most consistent with the general desires of the community
Minimum lot size:	2 acre net
Minimum living space:	2,500 square feet air-conditioned space
Building materials:	Not less than 90% of the exterior materials on first floor elevation shall be brick or stone, exclusive of doors and windows Not less than 75% of the exterior materials used on the entire elevation, including the first floor elevation shall be brick or stone, excluding doors and windows
Fences:	Fencing in side yard or backyard areas shall not exceed 5'0" in height. All fences shall be of open construction and not solid, or near-solid fabric or surfacing. Chain link fences and solid wood privacy fences are prohibited. A fenced dog run may not be more than 200 square feet in area, per lot.
Animals:	No more than one large animal per acre of area in excess of one acre. (example: 3 acre lot can have 2 large animals.) Minimum lot size of 2 acres for large animals. Swine are expressly prohibited.

2. SINGLE FAMILY TRANSITIONAL -- SFT

(Only a brief summary of conditions/requirements are listed.)

Purpose:	To provide for the gradual transition from the smaller lot sizes in neighboring cities to the larger lot sizes preferred by most City residents
Lot size:	Average lot size shall not be less than 1.5 acres net. The minimum lot size shall be 1 acre net. Lots next to streets existing as of 1/99 shall be a minimum of 2 acres; lots next to city developments existing as of 1/99 shall be a minimum of 2 acres or not less than the smallest lot in the existing development.
Minimum living space:	2,500 square feet air-conditioned space
Building materials:	Not less than 90% of the exterior materials used on the first floor elevation shall be brick or stone, exclusive of doors and windows

- Not less than 75% of the exterior materials used on the entire elevation, including the first floor elevation shall be brick or stone, excluding doors and windows
- Fences:** No fences shall be permitted in front yard areas and side yards extending beyond the house facade except for lots of 2 acres or more.
Fencing in side yard or backyard areas shall not exceed 5'0" in height. All fences shall be of open construction and not solid, or near-solid fabric or surfacing. Chain link fences and solid wood privacy fences are prohibited.
A fenced dog run may not be more than 200 square feet in area, per lot.
- Animals:** Minimum lot size of 2 acres for large animals.
Swine are expressly prohibited.

3. PLANNED RESIDENTIAL DEVELOPMENT -- PRD

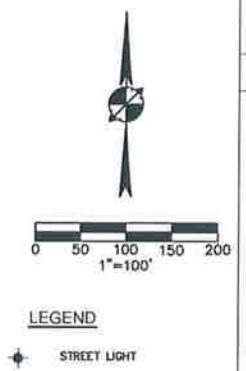
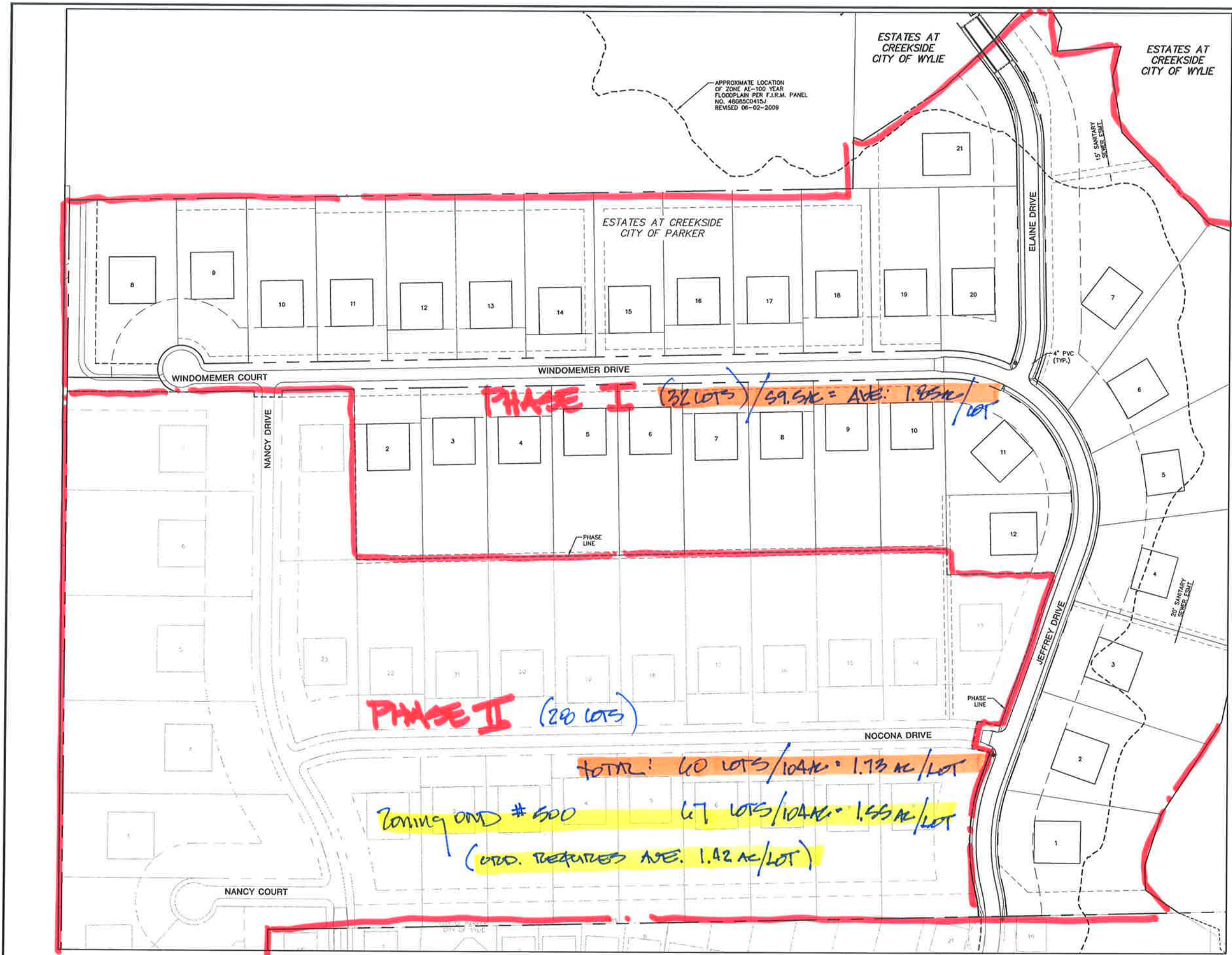
This zoning classification is closed and not available for zoning applications.

4. SPECIAL ACTIVITIES DISTRICT -- SA

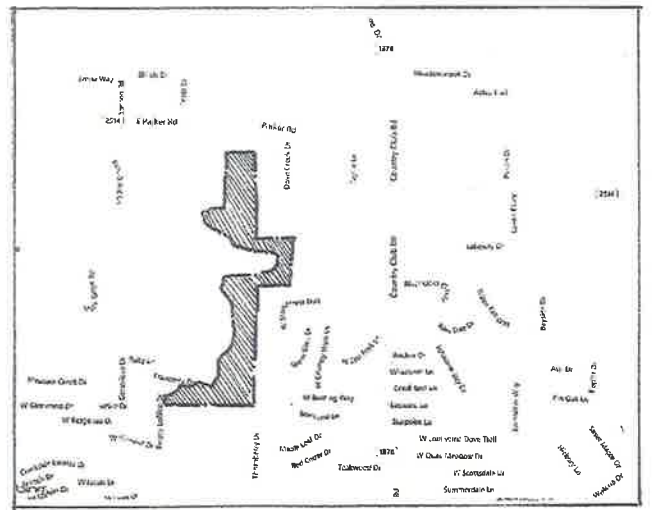
Purpose: To provide for tourist-related commercial uses that are integrated through site planning and architectural design guidelines. A site plan shall be required for all land to be zoned Special Activities. The acreage of this district shall be not less than 175 acres.

5. MANUFACTURED HOMES DISTRICT -- MH

Purpose: To provide an adequately controlled area for the placement of Manufactured Homes and to assure an environment suitable for family living.



NO.		REVISION		BY	DATE
<div>Bury+Partners ENGINEERING SOLUTIONS 5310 Harvard Hill Road, Suite 100 Dallas, Texas 75230 Tel. (972) 991-0011 Fax (972) 991-8278 Bury+Partners-DTP, Inc. ©Copyright 2012 Texas Registration #P-1068</div>					
<div>PRELIMINARY FOR REVIEW ONLY Not for Construction or Permit Purpose Drawn: JAYE MARSH P.E. No. 70773 Date: 04/12/2013</div>					
<div>STREET LIGHT PLAN</div>					
<div>ESTATES AT CREEKSIDE CITY OF PARKER, TEXAS LAFAYETTE PROPERTIES, INC.</div>					
<div>Scale: 1"=100' Date: JAN 2013 Designed By: WLL Drawn By: WLL Checked By: JEM File: 10203903.DWG Project No.: 0102039-30003</div>					
<div>SHEET C7.1</div>					



VICINITY MAP
N.T.S.

DEVELOPER PARKING LOT

DEVELOPER TRAIL
(CONCRETE TO PARKING)

DEVELOPER TRAIL BRIDGE (1)

PHASE I

ESTATES AT CREEKSIDE PARKER

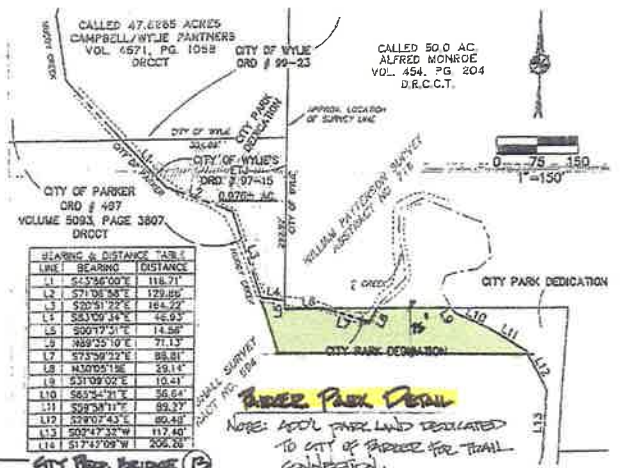
CITY TRAIL (NATURAL)

60' ACCESS RAMP FROM
RIVERCHASE HOX
(CONCRETE TRAIL)

CREEKSIDE ESTATES

CITY TRAIL BRIDGE (A)

60' CITY TRAIL, CONCRETE TO BRIDGE



TRAIL PARK DETAIL

NOTE: TRAIL PARK DETAIL
TO CITY OF PARKER FOR TRAIL
CONNECTION

LEGEND:

- ★ DEVELOPER PEDIESTRIAN BRIDGE (1)
- ★ CITY PEDIESTRIAN BRIDGE (3)
- DEVELOPER TRAIL (2,100 LF)
- CITY TRAIL (4,700 LF)
- CITY TOT LOT / SHADE STRUCTURE (1)
- RIVERCHASE HOX ACCESS EASEMENT (1.6 AC)

GENERAL NOTES:

1. 60' RIVERCHASE HOX ACCESS EASEMENT REQUIRED TO ELIMINATE TWO ADDITIONAL PEDIESTRIAN CROSSINGS.
2. DEVELOPER TRAIL SYSTEM TO BE 6' CONCRETE (NORTH END)
3. CITY TRAIL SYSTEM FROM TOT LOT / SHADE STRUCTURE TO SOUTHERN PEDIESTRIAN CROSSING TO BE 6' CONCRETE.
4. TRAIL SYSTEM WITHIN RIVERCHASE HOX ACCESS EASEMENT TO BE DETERMINED BY CITY.
5. BALANCE OF TRAIL SYSTEM TO BE NATURAL GROWTH.

CONSTRUCTION SCHEDULE

1. WITHIN 2013 BUDGET YEAR, CITY TO INSTALL TOT LOT / SHADE STRUCTURE
2. UPON DEVELOPMENT OF ESTATES AT CREEKSIDE WYTHE, DEVELOPER TO INSTALL PARKING LOT AND TRAIL TO BRIDGE CROSSING.
3. DEVELOPER TO INSTALL BRIDGE CROSSING AND BALANCE OF ESTATES AT CREEKSIDE WYTHE TRAIL UPON CITY COMPLETION OF TRAILS, INCLUDING BRIDGES, TO TOT LOT.

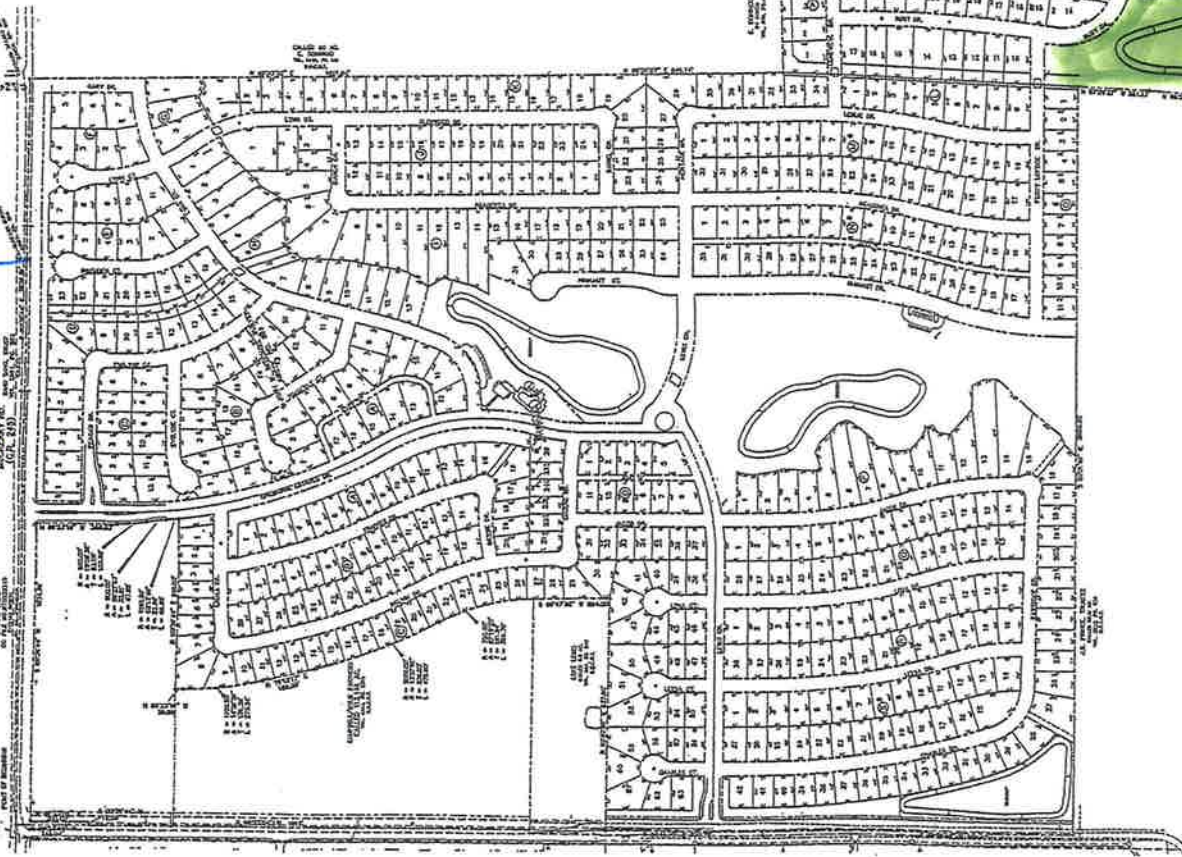
CONCEPTUAL SITE PLAN:

CREEKSIDE GREEN/PAINT PARK
WYTHE, TEXAS

11/20/12

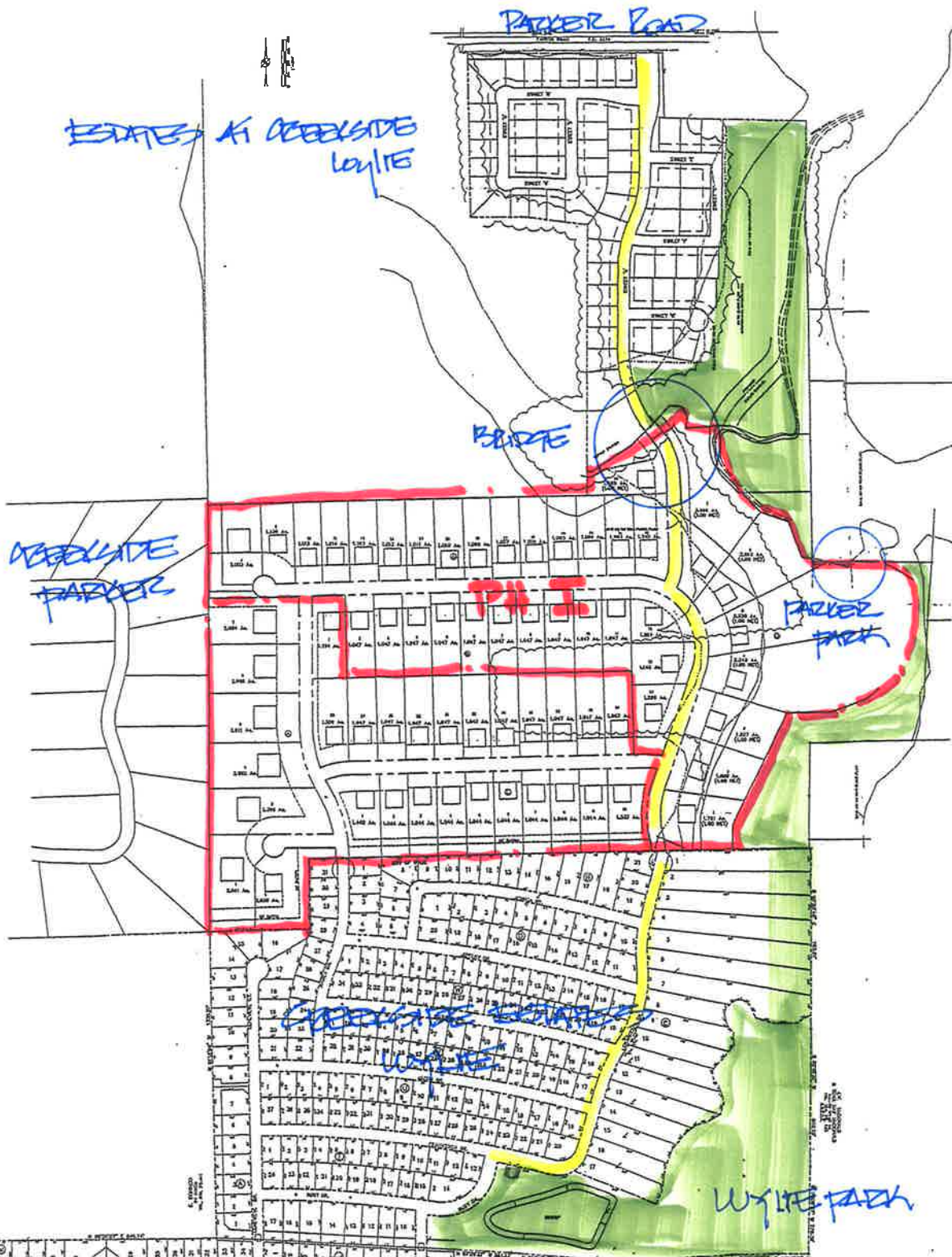
SCALE: 1"=200'-0"

Mc CREARY ROAD



ESTATES AT OAKSIDE PARKER

ESTATES AT OAKSIDE WAY

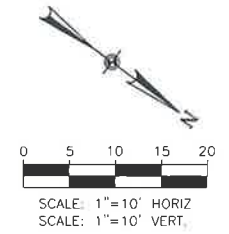


DESIGN FOR INTERIM REVIEW
THIS DOCUMENT IS FOR REVIEW ONLY
AND IS NOT TO BE USED FOR CONSTRUCTION
OR FOR PERMITS
CHANDLER A. ANDERSON, P.E.
TEXAS REG. # 2002
DATE: 04-12-13

BRIDGE LAYOUT
STREET "A"

ESTATES AT CREEKSIDE
CITY OF WYLIE, TEXAS
LAFAYETTE PROPERTIES, INC.

Scale: N.T.S.	Date: 10-04-12
Designed By: CGA	
Drawn By: CGA	
Checked By: CGA	
File:	
Project No.: XXXXX-XX	



Legend

- 540 — EXISTING CONTOURS
- 540 — PROPOSED CONTOURS
- RW-X RETAINING WALL DESIGNATION
(REF TO STRUC PLANS FOR WALL LOCATION & DETAILS)

Design Notes

BRIDGE DESIGNED FOR HL93 LOADING PER AASHTO AND INTERIM REVISIONS THERETO.

TEST HOLE DATA PROVIDED BY FARGO CONSULTANTS, INC. PROJECT NO. G12-1938, SEPT. 18, 2012.

CONTRACTOR SHALL LOCATE ALL UTILITIES AND INFORM ENGINEER IN WRITING OF ANY CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.

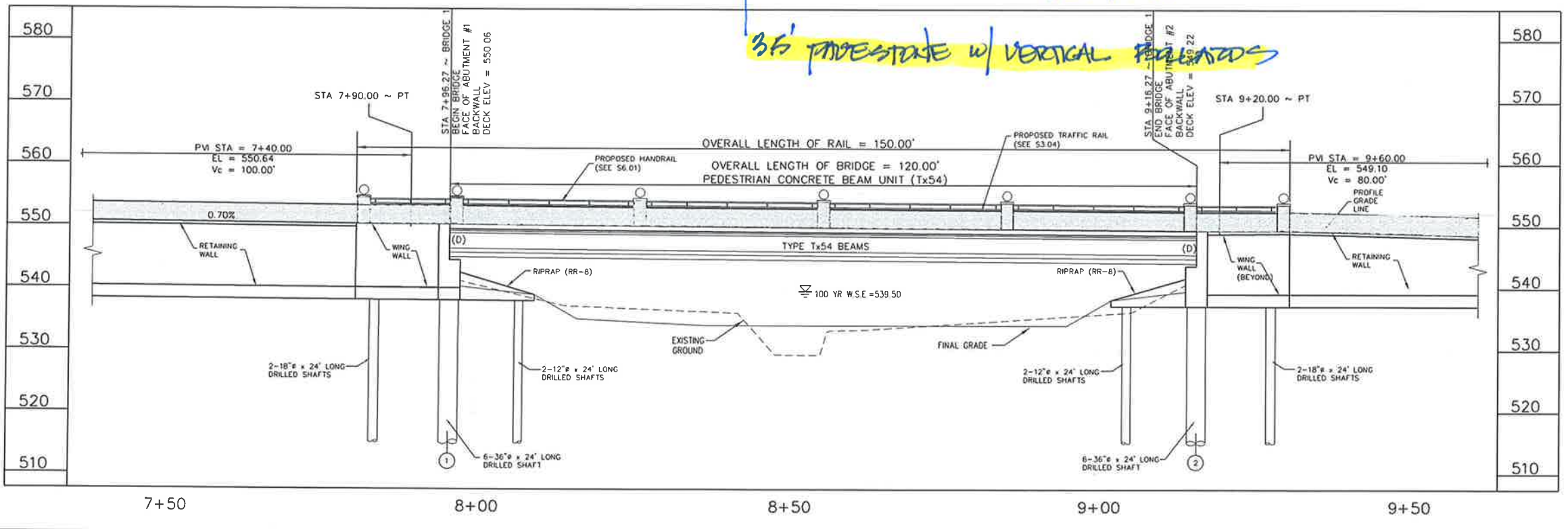
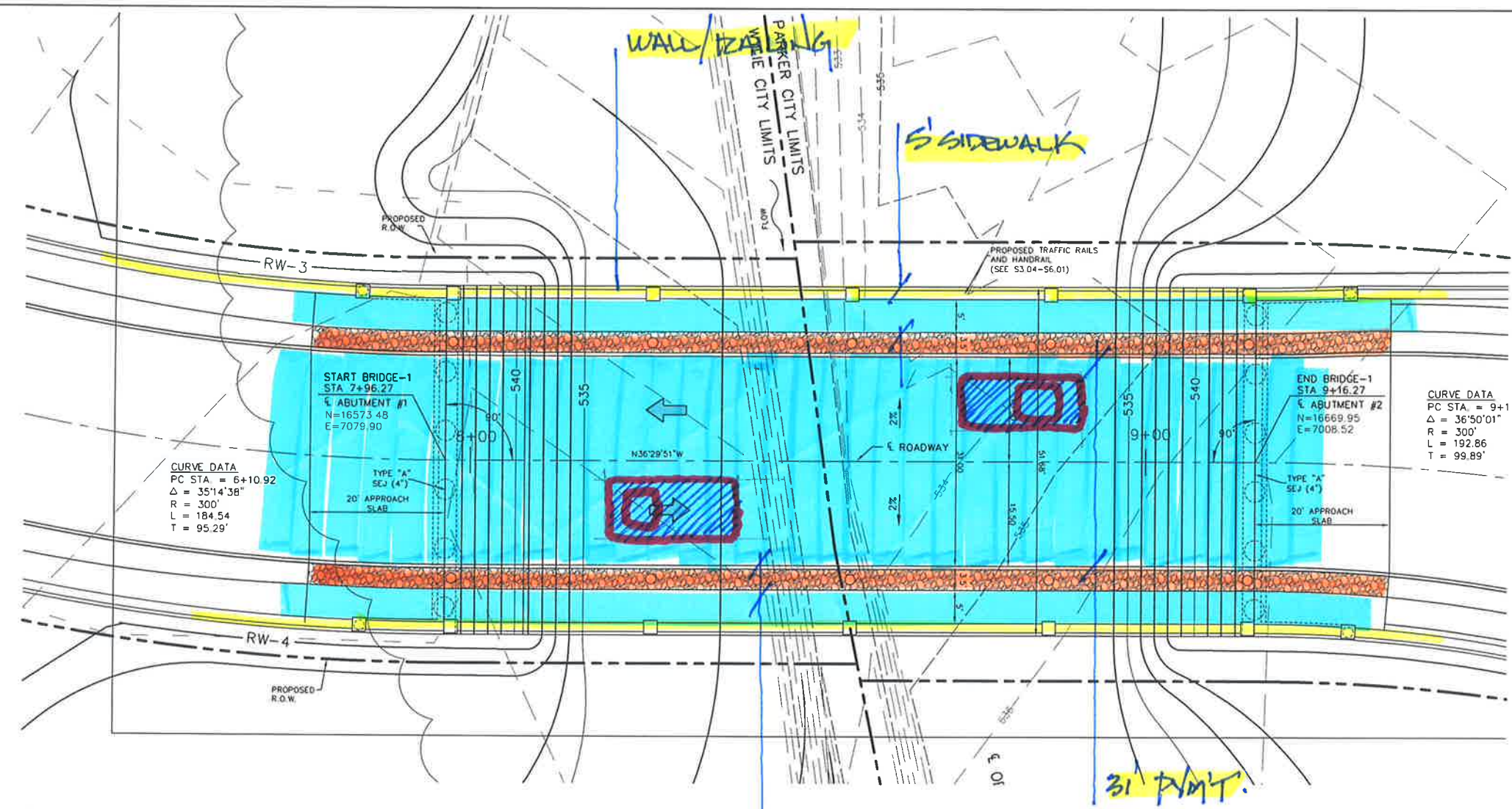
"D" DENOTES CAPS WITH D BARS AND SLOTTED HOLES AT EXTERIOR BEAMS.

ALL BRIDGE DECK, APPROACH SLAB, AND RAIL REINFORCEMENT SHALL BE EPOXY COATED.

Foundation Notes

ALL DRILLED SHAFTS AT ABUTMENTS AND BENTS ARE DESIGNED FOR COMBINED SKIN FRICTION AND POINT BEARING.

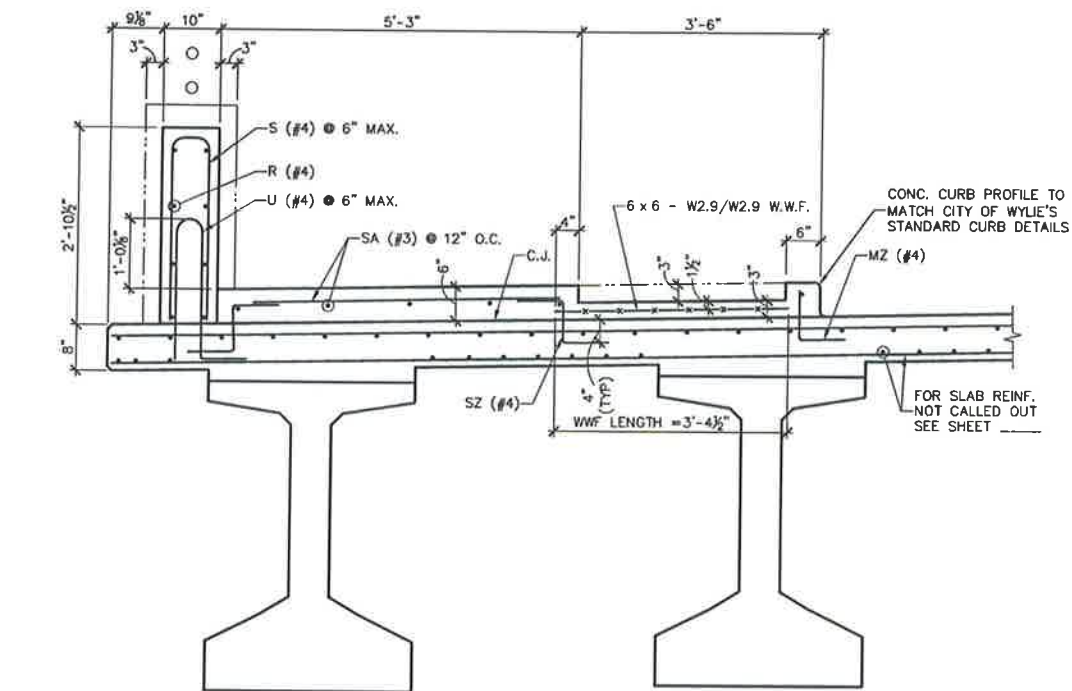
FOUND DRILLED SHAFTS AT THE ELEVATION SHOWN OR DEEPER AS NECESSARY TO PENETRATE GRAY SHALEY LIMESTONE. THE MINIMUM DEPTHS:
ABUTMENTS - 8.0' FT



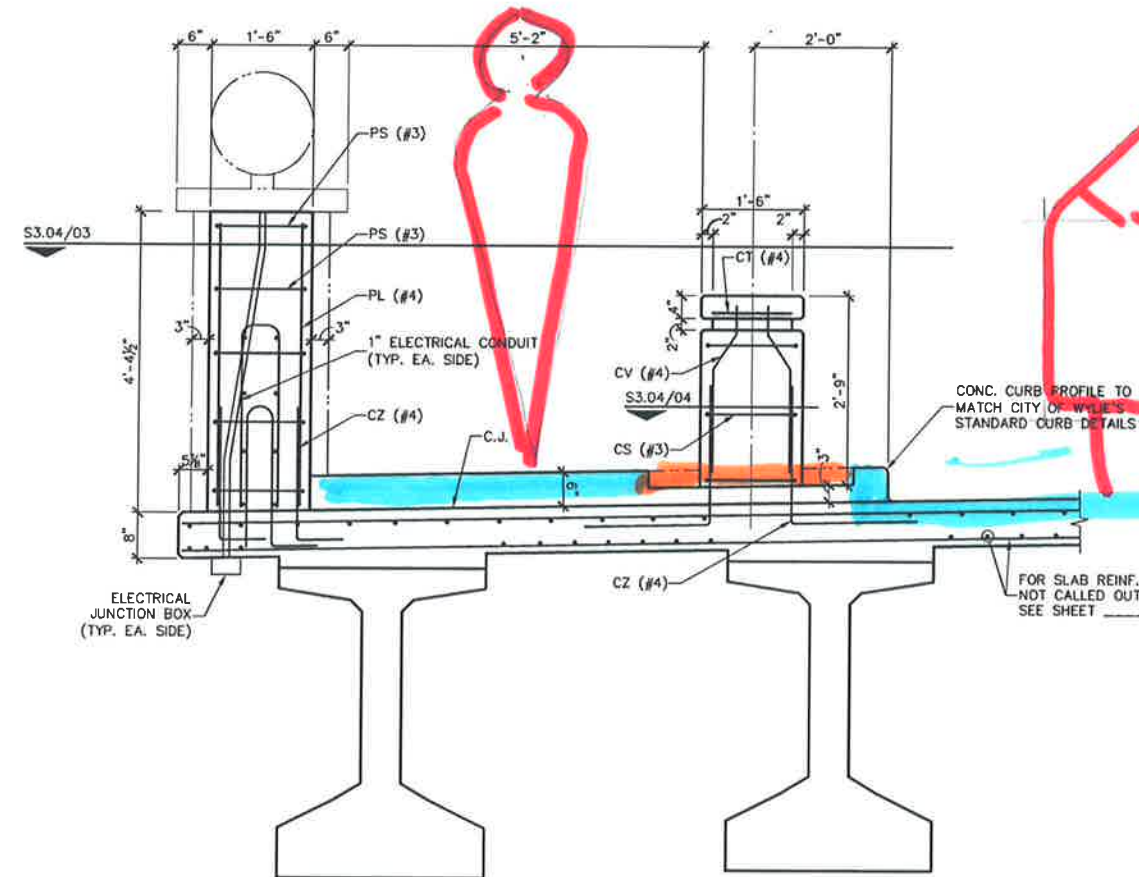




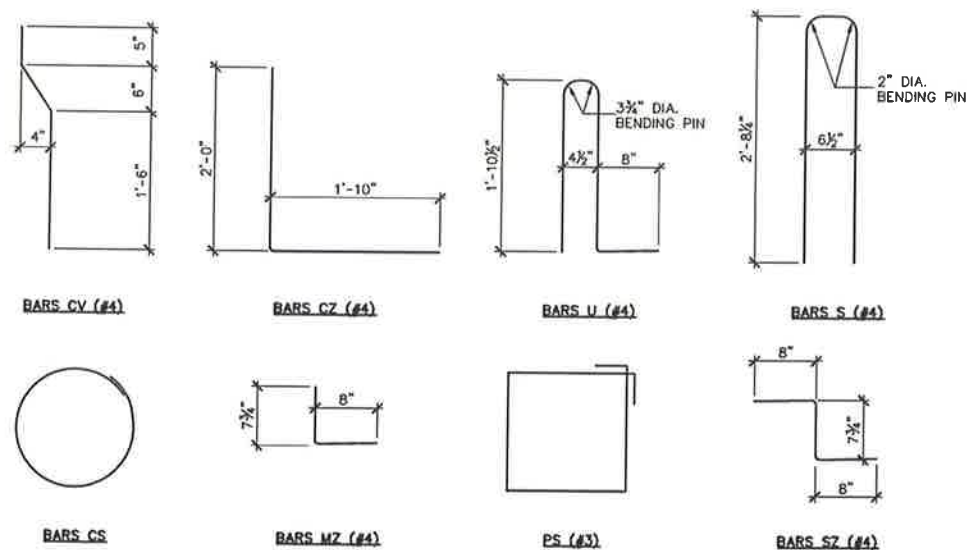
12-134\STRUCT\2134-S3.04.DWG / 3/4=1'-0" / APR 05, 2013 / 12:18 AM / OMDEH / XRF5402.



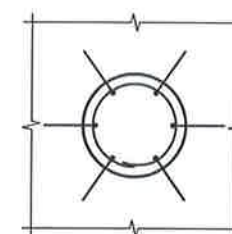
01 SECTION
SCALE: 3/4"=1'-0"



02 SECTION
SCALE: 3/4"=1'-0"



03 SECTIONAL PLAN
SCALE: 3/4"=1'-0"



04 SECTION
SCALE: 3/4"=1'-0"



Charles Gojer and Associates, Inc.
Consulting Engineers
Texas Firm Registration No. F-897
11615 Forest Central Dr. Suite 303
Dallas, Texas 75243 (214) 340-1199

Bury+Partners
5018 Harvard Blvd, Suite 100
Dallas, Texas 75226
Tel: (972) 991-4011 Fax: (972) 991-0270
TDD: (972) 991-0270
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REVISION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT REVIEW	04-12-13

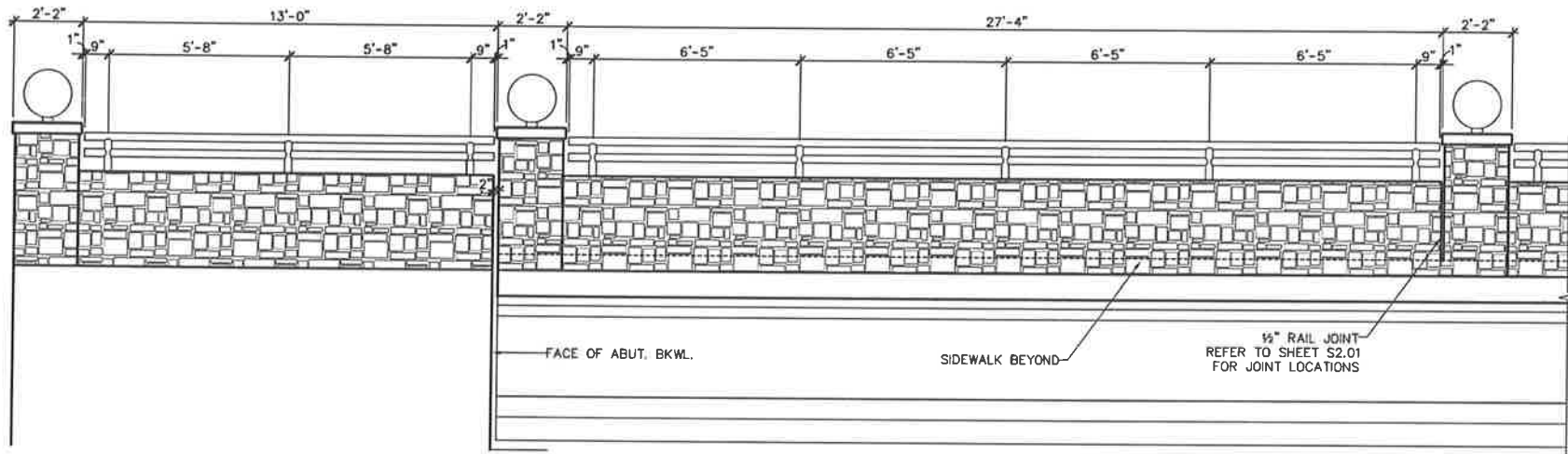
THIS DOCUMENT IS NOT TO BE USED FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF BURY+PARTNERS, P.C.
DARREN A. ANDREWS, P.E.
TEXAS REG. NO. 10087
DATE: 04-12-13

ABUTMENT
SECTIONS & DETAILS

ESTATES AT CREEKSIDE
CITY OF WYLIE, TEXAS
LAFAYETTE PROPERTIES, INC.

Scale: N.T.S.	Date: 04-12-13
Designed By: BPI	
Drawn By: BPI	
Checked By: BPI	
File:	
Project No.: 0102039-30002	

SHEET
S3.04

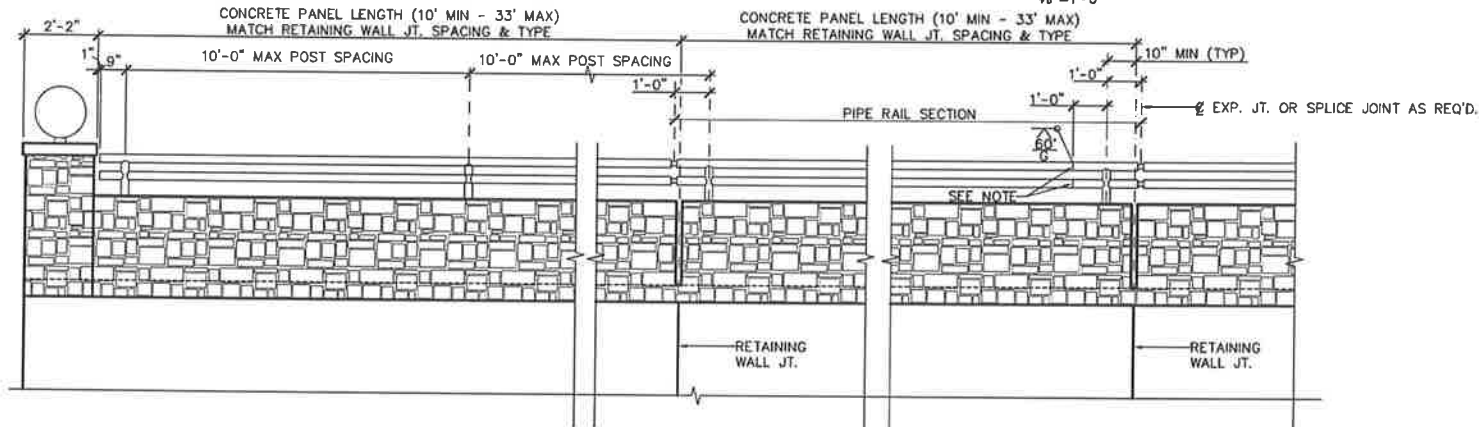


WINGWALL

BRIDGE

01 TYPICAL PIPE RAIL ELEVATION ON BRIDGE

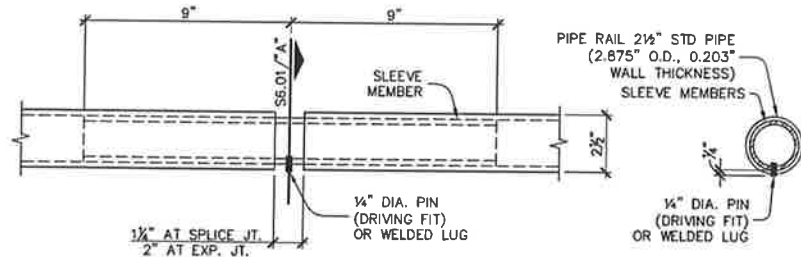
SCALE: 3/8"=1'-0"



NOTE:
ONE SHOP SPlice PER PIPE RAIL SECTION IS PERMITTED W/
MINIMUM 85% PENETRATION. THE WELD MAY BE SQUARE
GROOVE OR SINGLE VEE GROOVE. GRIND SMOOTH.

02 TYPICAL PIPE RAIL ELEVATION ON RETAINING WALLS

SCALE: 3/8"=1'-0"

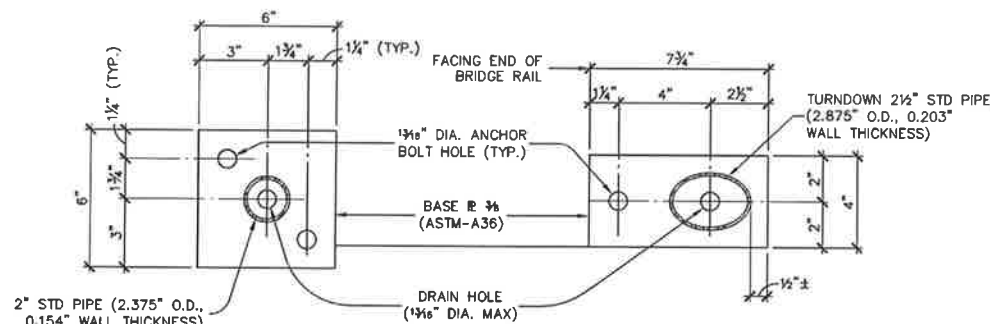


AT SPLICE OR EXP. JT.

THE DIFFERENCE BETWEEN THE OUTSIDE DIMENSION OF SLEEVE AND
INSIDE DIMENSION OF PIPE RAIL MUST NOT EXCEED 0.167" BEFORE
GALVANIZING. MINIMUM WALL THICKNESS OF SLEEVE IS 0.120".

03 PIPE SPLICE DETAILS

SCALE: 3/8"=1'-0"



POST BASE PLATE PLAN

RAIL TURNDOWN
BASE PLATE PLAN

04 PIPE RAIL DETAILS

SCALE: 3/8"=1'-0"

CONSTRUCTION NOTES:

FACE OF RAIL, PARAPET MUST BE PLUMB UNLESS OTHERWISE
APPROVED BY THE ENGINEER. PIPE RAIL POSTS MUST BE SQUARE
TO THE TOP OF PARAPET. USE EPOXY MORTAR UNDER POST BASE
PLATES IF GAPS LARGER THAN 1/16" EXIST.

EXPOSED EDGES OF PIPE RAIL AND PIPE RAIL POSTS MUST BE
ROUNDED OR CHAMFERED TO APPROXIMATELY 1/16" BY GRINDING.

AT THE CONTRACTOR'S OPTION ANCHOR BOLTS MAY BE CAST WITH
THE PARAPET (SEE CAST-IN-PLACE ANCHOR BOLT OPTIONS).

PIPE RAIL SECTIONS MUST NOT INCLUDE LESS THAN TWO POSTS,
AND NO MORE THAN FOUR (EXCEPT AT ABUTMENT)

CHAMFER ALL PARAPET EXPOSED CORNERS.

MATERIAL NOTES:

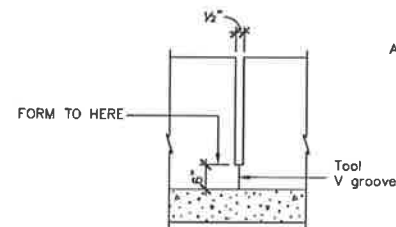
ALL STEEL COMPONENTS EXCEPT REINFORCING MUST BE GALVANIZED
UNLESS OTHERWISE SHOWN ON PLANS.

EPOXY COAT ALL RAIL REINFORCEMENT IF SLAB BARS ARE EPOXY
COATED.

PIPE FOR PIPE RAIL MUST CONFORM TO ASTM A53 GRADE B OR
A500 GRADE B.

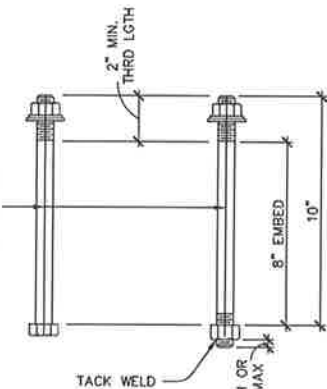
ANCHOR BOLTS MUST BE 5/8" DIA ASTM A36 FULLY THREADED RODS
WITH ONE HEX NUT AND ONE HARDENED STEEL WASHER AT EACH BOLT.
EMBED THREADED RODS INTO PARAPET WALL WITH A TYPE III CLASS C
EPOXY ANCHORAGE SYSTEM. MINIMUM EMBEDMENT DEPTH IS 3".
ANCHORAGE SYSTEM CHOSEN MUST BE ABLE TO ACHIEVE AN ULTIMATE
TENSILE RESISTANCE OF 8.4 KIPS PER BOLT. THE CONTRACTOR MUST
PROVIDE EVIDENCE TO THE ENGINEER THAT THIS CAN BE ACHIEVED.
EVIDENCE OF ADEQUATE TENSILE RESISTANCE CAN BE BASED ON THE
MANUFACTURER'S PUBLISHED VALUES OF ULTIMATE TENSILE STRENGTH
(ANCHOR SPACING AND EDGE DISTANCE MUST BE ACCOUNTED FOR).
ANCHOR INSTALLATION, INCLUDING HOLE SIZE, DRILLING, AND
CLEAN-OUT, MUST BE IN ACCORDANCE WITH THE MANUFACTURER'S
INSTRUCTIONS.

OPTIONAL CAST-IN-PLACE ANCHOR BOLTS MUST BE 5/8" DIA
ASTM A307 GRADE A BOLTS (OR A36 THREADED RODS WITH ONE TACK
WELDED HEX NUT EACH) WITH ONE HEX NUT AND ONE HARDENED STEEL
WASHER AT EACH BOLT.

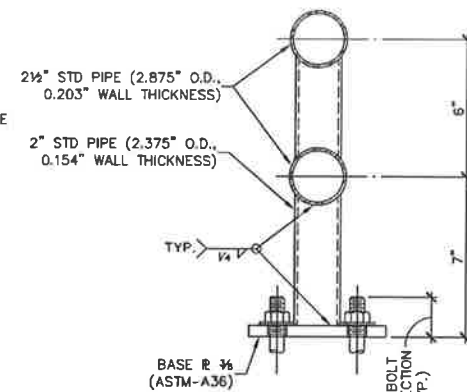


PACE EQUALLY IN BETWEEN AT
33" MAX, 10" MIN. LOCATION
INDEPENDENT OF PIPE RAIL SPLICES.

INTERMEDIATE RAIL JOINT



CAST-IN-PLACE
ANCHOR BOLT OPTIONS



TRANSVERSE SECTION



**Charles Gojer
and Associates, Inc.**
Consulting Engineers
Texas Firm Registration No. F-697
11615 Forest Central Dr. Suite 303
Dallas, Texas 75243 (214) 340-1199

Bury+Partners
5000 Harvest Hill Blvd., Suite 100
Dallas, Texas 75220
Tel: (972) 491-4001 Fax: (972) 491-4075
TXS Registration Number F-1000
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HANDRAIL
SECTIONS & DETAILS

ESTATES AT CREEKSIDE
CITY OF WYLIE, TEXAS
LAFAYETTE PROPERTIES, INC.

Scale: 3/8"=1'-0" Date: 04-12-13
Designed By: BPI
Drawn By: BPI
Checked By: BPI
File:
Project No.: 0102039-30002

SHEET
S6.01



PLANNING AND ZONING COMMISSION

Meeting Date: MAY 9, 2013

Agenda Subject:

CONDUCT INTERVIEW WITH BOARD APPLICANT Anthony "Tony" Cassavechia

Exhibits:

APPLICATION
RESOLUTION 2011-348 Appointment Process

Summary:

SECTION 4. Interview Questions. The following questions will be the standard questions for all candidates for Board or Commission positions. These questions are required, but are not exclusive:

1. Please provide a brief summary of your background, including professions, volunteer and community roles you have held. (If you would like to submit a resume, please do so, but also give details about municipal experiences you have had).
2. Why did you move to Parker?
3. What is your vision for the future of Parker?
4. How would you describe the role of (Planning and Zoning Commission, Parks and Recreation Commission, Zoning Board of Adjustments) member?
5. Please describe your personal style when working on volunteer committees.
6. How do you manage conflict or difference of opinion in committee/small group settings?
7. Why are you interested in serving on (Planning and Zoning Commission, Parks and Recreation Commission, Zoning Board of Adjustments)? What changes do you think are needed in Parker?
8. Specific to Planning and Zoning Commission: What is your philosophy for future development and land use within Parker?
9. How do you feel about retail developments within Parker?
10. Specific to Parks and Recreation Commission: What is your philosophy on parks and open spaces within a city?
11. Specific to Zoning Board of Adjustments: What thought process will you use to rule on issues brought to Zoning Board of Adjustments?

Recommended action:

Interview applicant and bring back to May 23rd meeting for action.



APPLICATION FOR CITY COUNCIL

Currently there is one vacant Council seat and applications are being accepted until June 1 at 3:00 p.m. to fill the vacancy. Interviews will be held on Tuesday, June 5 beginning at 3:00 p.m. Basic interview questions are on page 3 of this application for review.

All questions are to be directed to City Administrator Jeff Flanigan at 972-442-6811 or by email at JFlanigan@parkertexas.us.

Please answer the following questions:

Name: Anthony Cassmeyer Phone: 972.342.9116 (cell)
Home Address: 5001 Reserve Ct Parker TX 75082 Spouse's Name (Optional): Denise
Email Address: tcassar@aol.com Best Method to Contact You: cell or email
Resident of Parker for 1 Years Are you a registered voter? : YES
Are you related to any City employee and/or City Councilmember? O YES ☒ NO
If yes please provide name and position: _____

Occupation: Independent Consultant
Education: MBA, CPA

Work Experience Applicable to the City Council duties and the position for which you are applying:

A resume may be attached if you wish to provide more information.

Strong business finance, planning & strategy background
(See Attached Resume)

Special Knowledge or Experience Applicable to the City Council:

As a Public / City Experience. Looking forward to the
New Experience

Previous Volunteer Experience (Religious, Civic, Youth, etc.):

Former Board member Catholic Charities of Dallas

Have you attended any meetings of the Council? No How many in the last 12 months? 0

Please tell us briefly why you wish to serve as a volunteer and how your past business and/or work experience qualifies you:

Parker is unique in many ways and I plan on being here a long time.
As my current role as an independent consultant, I now have the time to
volunteer. I also fundamentally enjoy helping others. I would like to think
my strong Finance/Business planning background will be an asset to Parker.

In the event that I am placed on the City Council with the City of Parker, I understand that I will be required to comply with all the City and State laws, rules, policies and regulations. I fully understand that the term will expire in May 2013, and that I may run for election at that time.

Signature: Anthony Cernaich Date: 6/1/12

Please return to City of Parker, City Secretary, 5700 E. Parker Road, Parker, Texas 75002, Fax 972-442-2894 or Email csmith@parkertexas.us.

NOTE: Information on this application is subject to the Texas Public Information Act. Certain information may be withheld if requested in writing (see page 4 of this application).

Individuals appointed to serve on a board/commission/committee will be required to complete one hour of training relative to the Texas Open Meetings Act and Public Information Act.

INFORMATION DISCLOSURE

NOTICE TO ALL ELECTED AND APPOINTED OFFICIALS

The Public Information Act (LGC §552.117), was amended to allow an elected official and/or appointed board member of a governmental body to choose whether to allow public access to the information in the custody of the City that relates to the home address, home phone number, or that reveals whether the official has family members.

Written notice is necessary to restrict public access to your information. To satisfy the requirement for written notification, complete and return this notice to be retained by the City Secretary's Office. Once notification has been received to close public access to this information further written notice is required before this information can be made public.

Please complete the following and return to the City Secretary's Office.

As an official/board member of the City of Parker, I choose to:

Release	Withhold
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

Home Address
Home Phone Number
Whether I have Family Members

Anthony Cassavchia
Signature
Anthony Cassavchia
Printed Name
6/1/12
Date
tcassav@parker.tx.us
Email Address (Exempt from PIA)

5001 Reserve Ct, Parker, TX 75002
Home Address
972 422 2604
Home Phone
972 342 7116
Cell Phone (Exempt from PIA)

Business Phone (Exempt from PIA)

What is the best method to contact you and what time of the day? _____

LGC § 552.117. Exception: Certain Addresses, Telephone Numbers, Social Security Numbers, and Personal Family Information(a) Information is excepted from the requirements of Section 552.021 if it is information that relates to the home address, home telephone number, or social security number of the following person or that reveals whether the person has family members: (1) a current or former official or employee of a governmental body, except as otherwise provided by Section 552.024; (2) a peace officer as defined by Article 2.12, Code of Criminal Procedure, or a security officer commissioned under Section 51.212, Education Code, regardless of whether the officer complies with Section 552.024 or 552.1175, as applicable; (3) a current or former employee of the Texas Department of Criminal Justice or of the predecessor in function of the department or any division of the department, regardless of whether the current or former employee complies with Section 552.1175; (4) a peace officer as defined by Article 2.12, Code of Criminal Procedure, or other law, a reserve law enforcement officer, a commissioned deputy game warden, or a corrections officer in a municipal, county, or state penal institution in this state who was killed in the line of duty, regardless of whether the deceased complied with Section 552.024 or 552.1175; or (5) a commissioned security officer as defined by Section 1702.002, Occupations Code, regardless of whether the officer complies with Section 552.024 or 552.1175, as applicable. b) All documents filed with a county clerk and all documents filed with a district clerk are exempt from this section.

Anthony (Tony) C. Cassavechia

Consultant, Chief Financial Officer



Home: 972-422-2684
Cell: 972-342-9116
Tcassav@aol.com

CORE COMPETENCIES

LEADERSHIP

- High Achiever
- Win Together
- Hard Worker
- Selfless
- Cares for People

INDUSTRY

- Consumer Goods
- Technology
- Consulting

FUNCTIONS

- CFO
- Strategic Planning
- Finance and Accounting
- Information Technology
- Procurement

EDUCATION

- MBA University of Connecticut
- BS Fairfield University
- CPA
- Executive Programs
 - Dartmouth
 - Harvard

TONY'S VALUE PROPOSITION

Tony is a strategic and hands-on change leader and business partner, bridging finance and IT with 25 years of experience at PepsiCo and Heinz. Tony seeks introductions to CEOs, CFOs and CIOs in consumer goods, information technology and business consulting.

His experience includes senior finance roles in both domestic and international units, and leading enterprise wide business process and technology change initiatives. Tony is a hands-on, high achiever. At the same time, he is selfless, looking to win together and genuinely cares for people. He has a legacy of developing strong talent and shares a style of "take charge and do the right thing", with emphasis on doing it the right way with respect, openness, and high integrity.

BACKGROUND

Tony comes from challenging, humble beginnings. At an early age, his father passed, leaving him and his mother to struggle largely on their own. Despite financial constraints, he did attend Catholic schools, helping him develop a strong moral foundation and a sense of fairness and respect for others. He is faithful and looks to act consistent with his beliefs.

During his college years, Tony maintained a strong work ethic both in and out of school. He held several small jobs simultaneously while also graduating at the top of his accounting class from university. He then quickly passed the CPA exam. While going for his MBA (in the evenings), he also worked in demanding roles at PepsiCo and started his family.

Tony began his career in public accounting and within four years, left to become VP, Finance of a small, public startup. He then moved to PepsiCo where he spent the next 20 years. He enjoyed promotions at a rapid pace as senior executives took an active interest in him, helping him develop his talents in increasingly challenging assignments. It is this set of mentoring he received that has fostered his caring and passion for developing others.

Leveraging his strong financial foundation, he has more recently worked with CIOs and functional heads to help business leaders understand how information technology and process change can make a real difference. He has enjoyed partnering with business leaders looking for the combined "win, win." Roles at PepsiCo and in the last five years at Heinz were largely engaged in high impact change initiatives.

Tony has gained insight from his experiences. He has seen the implications of being overly aggressive, taking on too much too soon, and losing focus. He brings a can do attitude and likes to move quickly, but at the same time, he is well grounded in reality.

The other side of Tony includes a strong sense of family and faith, and an interest in golf and sports. He met his wife Denise when he was 18 years old and they have been married for nearly 30 years. The pride of their lives is their two children who they enjoy beyond what words can describe here.

Anthony (Tony) C. Cassavechia

5001 Reserve Court ♦ Parker, Texas 75002 ♦ Home: (972) 422-2684 ♦ Cell: (972) 342-9116 ♦ tcassav@aol.com

SUMMARY- CFO/ Strategic Advisor/Consultant

Experience driving change and operational improvement, and as a trusted advisor/consultant to the C-Suite. Expert in global consumer products working 25 years with PepsiCo and H.J. Heinz. Results oriented, high achieving, hands-on executive who enjoys partnering and winning together.

- Works with CFOs, CIOs, Heads of Strategy, Global Supply Chain and HR Leaders.
- Brings a unique blend of CFO and CIO related experiences.
- CPA, MBA.

H.J. HEINZ COMPANY:

2006-2011

SVP, Global Process and Business Enablement Officer

2010-2011

Leader of the company's global capabilities program. Implementation of upgraded processes, improved information, and operational integration using SAP as the enterprise system. Role reported to the Corporate CFO and partnered closely with the Global CIO. Key accomplishments:

- Developed plans to deliver \$400MM in annual cost savings.
- Presented to Board and Audit Committee, received approval for Europe and North America roll-outs.
- Delivered the first go-live of the new footprint in Europe, on time and within budget.
- Restructured internal and external resources, increasing delivery speed and reducing cost.

Consultant, Office of the CFO

2006-2010

Consultant reporting to the H.J. Heinz Corporate CFO. Partnered with company leaders on Strategy and Financial plan development and on improving Financial Operations, Information Technology, Supply Chain, and Procurement. Key accomplishments:

- With the CFO and CIO, led the company's adoption of enterprise process and systems change.
- Prepared several Board and Sr. Management strategic and financial plan reviews/updates.
- Developed the Global Information Technology strategic plan; renegotiated global outsourcing contract.
- Analyzed M&A; developed Investor Relations materials; advised on Organization strategy.

PEPSICO:

1985-2006

Chief Financial Officer, Business Transformation and Shared Services

2003-2006

One of the "founding" members of the company's largest internal change program, implementing new processes and systems across North America. Role included strategic planning, financial planning, purchasing, reporting and internal control. Key accomplishments:

- Supported the new strategic move with a business case for \$500M M in annual cost savings.
- Led the formation of North America shared services.
- Developed the information technology strategy and proposal to move to SAP.
- Led business case development for outsourcing human resources.

Chief Financial Officer, PepsiCo Business Solutions Group

2001-2003

Chief Financial Officer of newly created shared services information technology function, PepsiCo's first shared service organization. Responsible for financial strategy, planning, purchasing, reporting and control. Established financial structure and credibility for this new organization. Key accomplishments:

- Turned around cost structure, exceeded financial performance targets.
- Pulled together first ever global strategic plan for information technology.
- Led integration of information technology for the \$14B acquisition of Quaker Oats.
- Delivered full cost visibility while transitioning technology to shared services.

*Anthony (Tony) C. Cassavechia, Page 2***PEPSICO continued:**

Vice President, Finance and Controller, Frito Lay International **1997-2000**
 Led financial operations for PepsiCo's international snacks, the fastest growing division with over \$5B in system sales. Was the only member of the Executive Committee that did not report to the Division CEO. Responsible for all aspects of controllership function. Key accomplishments:

- Consistently delivered exceptional performance with sound financial controls.
- Led financial integration of nine newly acquired businesses representing over \$1B in M&A activity.
- Consolidated back-office operations and replaced reporting systems.
- Led delivery of significant cost and tax savings.

Vice President, Chief Financial Officer Designate, Pepsi Cola North America **1995-1997**
 Developmental broadening assignment. Gained orientation to domestic beverage business while working on key planning and strategic projects. Key accomplishments:

- Developed three year financial framework to jump shift volume.
- Led cost structure review to capture \$30MM in annual savings.

Vice President, Controller, Pepsi Cola North America **1990-1995**
 Led financial control and reporting environment for \$3B in systems sales in over 190 countries. Delivered controllership during a period of heavy M&A across several continents.

Assistant Controller, Pepsi Cola International **1987-1990**
 Responsible for the financial reporting and internal control for international beverage operations.

Manager, 7UP International Acquisition **1986-1987**
 Managed the financial accounting, reporting and integration for this \$250MM acquisition.

Manager Corporate Accounting **1985-1986**
 Responsible for corporate accounting operations- World Headquarters in Purchase, N.Y.

ADDITIONAL EXPERIENCE:

Vice President of Finance, CFO-Smiles, Inc (first CFO of this newly formed public company). **1984-1985.**

Senior Auditor, Price Waterhouse, public accounting and auditing **1980-1983**

EDUCATION UNIVERSITY OF CONNECTICUT, Stamford, Connecticut, M.B.A.
 FAIRFIELD UNIVERSITY, Fairfield, Connecticut, B.S. Accounting

CERTIFICATION Certified Public Accountant, Connecticut

PROFESSIONAL DEVELOPMENT Senior Executive Program at Dartmouth Tuck School of Business
 Executive Management Program, Harvard Strategy Program

AFFILIATIONS Catholic Charities of Dallas (recent Board member)
 Member, CSCP and AICPA

PERSONAL Married. Two children. Enjoys golf. General sports enthusiast.

Anthony (Tony) C. Cassavechia, Page 3

Key Words:

- CFO, CIO, Strategy, Supply Chain, Controller, Advisor, Consultant, SVP, C-Suite
- Change Driver, Leader, Achiever, Results, Performance, Hands-on, Win Together
- Process, Systems, Information Technology, Enterprise Systems, SAP, Shared Services, Controllershship, Procurement, HR, Global, International, Corporate, Strategic and Financial Planning, Accounting, Reporting and Internal Control
- Board, Audit Committee, Executive Committee, Business Case, Cost Savings, Operational Improvement, M&A, Integration, Restructuring; Renegotiating; Outsourcing
- Global Consumer Products, 25 years
- CPA, MBA